



HORIZON CITY

Incorporated 1988

**AGENDA
PUBLIC MEETING
SPECIAL CITY COUNCIL MEETING
THE TOWN OF HORIZON CITY, TEXAS
Tuesday, September 28, 2021, 6:00 PM**

Notice is hereby given that a Special City Council Meeting of the Town of Horizon City, Texas will be held on **Tuesday, September 28, 2021 at 6:00 PM** at City Council Chambers Room, 15001 Darrington Road, Horizon City, TX 79928, at which time the following will be discussed and considered:

- 1. Call to order; Pledge of Allegiance; Establishment of Quorum**
- 2. Open Forum:**

CONSENT AGENDA

All matters listed under the CONSENT AGENDA are considered routine and will be enacted in one motion. There will be no separate discussion of these items unless a member(s) of the City Council requests one or more items be removed from the CONSENT AGENDA to the REGULAR AGENDA for separate discussion and action prior to the City Council's vote to adopt the CONSENT AGENDA.

- 3. Approval of Minutes from:** **3**
9/14/21 Regular City Council Meeting.
- 4. Discussion and Action:** **10**
Mayor/Planning Director
On the appointment of David Miller to the Board of Adjustment as a Regular Member.
- 5. Request to Excuse Absent Council Members:**

REGULAR AGENDA

- 6. Discussion and Action:** **12**
Mayor/Chief McConnell
On a Resolution authorizing the Mayor to execute an Interlocal Agreement with the County of El Paso for animal welfare services on behalf of Horizon City. Compensation for services provided by the County of El Paso will be \$49,391.76 per year beginning October 1, 2021. The term of the Agreement is October 1, 2021 through September 30, 2024.

- 7. Discussion and Action:** **19**
Mayor/CIP Manager
On Change Order #2 to the construction contract with Allen Concrete, LLC for Corcoran "Corky" Park Improvements Project, Solicitation No. CIP 2018-102 (003) and authorizing the Mayor to execute documents.

- 8. Discussion and Action:** **36**
Mayor/Planning Director
On a Resolution authorizing the Mayor to sign a Memorandum of Understanding with El Paso County, Texas to identify the responsibilities for the design, construction, and installation of a passenger bus shelter along Darrington Road within the city limits of the Town of Horizon City, Texas.

- 9. Discussion and Action:** **37**
Mayor/Planning Director

This item was postponed at the 7/13/21 Regular City Council Meeting, the 8/4/2021 Special City Council Meeting, the 8/10/21 Regular City Council Meeting and the 9/14/21 Regular City Council Meeting.

On a preliminary and final plat subdivision applications (#SUB002477-2021) for Aria Subdivision, legally described as a portion of the E1/2 of the SW1/4 of the SW1/4 of section 39, Block 78, Township 3, Texas and Pacific RR Co. Surveys, El Paso County, Texas. Application submitted by CAD Consulting Co.

10. Executive Session

The City Council of the Town of Horizon City reserves the right to adjourn into executive session at any time during the course of this meeting to discuss any of the matters listed above, as authorized by Texas Government Code Sections 551.071 (Consultation with Attorney), 551.072 (Deliberations about Real Property), 551.073 (Deliberations about Gifts and Donations), 551.074 (Personnel Matters), 551.076 (Deliberations about Security Devices,) and 551.086 (Economic Development).

A. Discussion and Action:

Mayor/EDC Executive Director

Real estate acquisitions for Transit Oriented Development/Town Center. (551.071 and 551.072)

Adjournment:

Motion to Adjournment: _____ 2nd _____

Dated this Friday, 9/24/21

By: _____
Elvia Schuller, City Clerk

I, the undersigned authority, hereby certify that the above notice of the Special City Council Meeting of the Town of Horizon City, Texas is a correct copy of this notice, and that I posted this notice at least seventy-two (72) hours preceding the scheduled meeting at the City Hall Bulletin Boards of the Town of Horizon City, Texas on this Friday, 9/24/21 by 5:00 p.m.

Agenda Removed: _____ Time _____ By _____

In compliance with the Americans with Disabilities Act, the Town of Horizon City will provide for reasonable accommodations for persons attending meetings. Requests for auxiliary aids and services must be made 48 hours prior to this meeting by calling the City Clerk at (915) 852-1046.

**MINUTES
AGENDA
PUBLIC MEETING
REGULAR CITY COUNCIL MEETING
THE TOWN OF HORIZON CITY, TEXAS
Tuesday, September 14, 2021, 6:00 PM**

Notice is hereby given that a Regular City Council Meeting of the Town of Horizon City, Texas was held on **Tuesday, September 14, 2021 at 6:00 PM**, at City Council Chambers Room, 15001 Darrington Road, Horizon City, TX 79928, at which time the following was discussed and considered:

1. Call to order; Pledge of Allegiance; Establishment of Quorum

Meeting called to order at 6:00 pm. All City Council Members present. Quorum Established.

2. Open Forum:

No one signed up to speak.

CONSENT AGENDA

All matters listed under the CONSENT AGENDA are considered routine and will be enacted in one motion. There will be no separate discussion of these items unless a member(s) of the City Council requests one or more items be removed from the CONSENT AGENDA to the REGULAR AGENDA for separate discussion and action prior to the City Council's vote to adopt the CONSENT AGENDA.

3. Approval of Minutes from:

8/31/21 Special City Council Meeting

4. Discussion and Action:

Mayor/Planning Director

On the appointment of David Miller to the Board of Adjustments.

5. Discussion and Action:

Mayor/Planning Director

On the appointment of Eva Flores by Alderman Miller (Place 1) to the Planning and Zoning Commission.

6. Discussion and Action:

Mayor/Planning Director

On the recording plat application and authorizing the Mayor to sign the recording plat for the City Center Unit One subdivision (#SUB002474-2021), legally described as Tract 1M, W.J. Rand Survey No. 325, ABST 8814, Town of Horizon City, El Paso County, Texas.

7. Request to Excuse Absent Council Members:

A motion was made by Alderman Duran and seconded by Alderman Ortega to approve the Consent Agenda. The CITY CLERK polled the Council: MILLER – Aye; QUIROZ – Aye; ORTEGA – Aye; RENTERIA – Aye; DURAN – Aye; PADILLA – Aye; CORRAL – Aye. Motion passed.

REGULAR AGENDA

8. **Presentation:**

Mayor

On a presentation of appreciation awards to the Horizon City Police Department and the Horizon City City Council by Clint ISD Superintendent, Dr. Juan I. Martinez.

Dr. Juan Martinez spoke and presented appreciation awards to City Council and Chief McConnel.

9. **PUBLIC HEARING:**

Mayor/CIP Manager

On a Resolution adopting the updated Capital Improvement Program for FY 2022 - FY 2024.

CIP Manager, Terry Quezada spoke regarding this item. No one from the public spoke.

10. **Discussion and Action:**

Mayor/CIP Manager

On a Resolution adopting the updated Capital Improvement Program for FY 2022 - FY 2024.

CIP Manager, Terry Quezada and Huitt Zollars Vice President, Roxanne Medina spoke regarding this item.

A motion was made by Alderman Duran and seconded by Alderman Renteria to approve the Resolution adopting the updated Capital Improvement Program for FY 2022 - FY 2024. The CITY CLERK polled the Council: MILLER – Aye; QUIROZ – Aye; ORTEGA – Aye; RENTERIA – Aye; DURAN – Aye; PADILLA – Aye; CORRAL – Aye. Motion passed.

11. **Discussion and Action**

Mayor/CIP Manager

This item was postponed at the 8/31/21 Special City Council Meeting.

On a resolution authorizing the Mayor to sign an agreement for Construction Management Services with Huitt-Zollars, Inc. for the 2020 Street Maintenance Project and authorizing the Mayor to approve additional services in an amount not to exceed ten percent (10%) of the total estimated project amount.

Planning Director, Michelle Padilla spoke regarding this item.

A motion was made by Alderman Miller and seconded by Alderman Quiroz to approve the resolution authorizing the Mayor to sign an agreement for Construction Management Services with Huitt-Zollars, Inc. for the 2020 Street Maintenance Project and authorizing the Mayor to approve additional services in an amount not to exceed ten percent (10%) of the total estimated project amount. The CITY CLERK polled the Council: MILLER – Aye; QUIROZ – Aye; ORTEGA – Aye; RENTERIA – Aye; DURAN – Aye; PADILLA – Aye; CORRAL – Aye. Motion passed.

12. **Discussion and Action:**

Mayor/Planning Director

This item was postponed at the 7/13/21 Regular City Council Meeting, the 8/4/2021 Special City Council Meeting and the 8/10/21 Regular City Council Meeting.

On a preliminary and final plat subdivision applications (#SUB002477-2021) for Aria Subdivision, legally described as a portion of the E1/2 of the SW1/4 of the SW1/4 of section 39, Block 78, Township 3, Texas and Pacific RR Co. Surveys, El Paso County, Texas. Application submitted by CAD Consulting Co.

Planning Director, Michelle Padilla requested this item be postponed until the next available City Council Meeting.

A motion was made by Alderman Miller and seconded by Alderman Corral to approve to postpone this item until the next available City Council meeting. The CITY CLERK polled the Council: MILLER – Aye; QUIROZ – Aye; ORTEGA – Aye; RENTERIA – Aye; DURAN – Aye; PADILLA – Aye; CORRAL – Aye. Motion passed.

13. **PUBLIC HEARING:**

Mayor/Finance Director

2nd Reading of Ordinance No. _____ An Ordinance of the Town of Horizon City, Texas enacting the municipal budget for 2021-2022 fiscal year; funding municipal purposes; authorizing expenditures; providing for repealer and severability clauses.

Finance Accountant, Lily Gaytan spoke regarding this item. No one from the public spoke.

14. **Discussion and Action:**

Mayor/Finance Director

2nd Reading of Ordinance No. _____ An Ordinance of the Town of Horizon City, Texas enacting the municipal budget for 2021-2022 fiscal year; funding municipal purposes; authorizing expenditures; providing for repealer and severability clauses.

A motion was made by Alderman Renteria and seconded by Alderman Duran to approve the ordinance of the Town of Horizon City, Texas enacting the municipal budget for 2021-2022 fiscal year. The CITY CLERK polled the Council: MILLER – Aye; QUIROZ – Aye; ORTEGA – Aye; RENTERIA – Aye; DURAN – Aye; PADILLA – Aye; CORRAL – Aye. Motion passed.

15. **Discussion and Action:**

Mayor/Finance Director

On ratifying the property tax increase reflected in the adopted annual budget for Fiscal Year 2021/2022.

Finance Director, Pat Randleel spoke regarding this item.

A motion was made by Alderman Miller and seconded by Alderman Renteria to approve the maintenance and operations component of the tax rate of .389950. The CITY CLERK polled the Council: MILLER – Aye; QUIROZ – Aye; ORTEGA – Aye; RENTERIA – Aye; DURAN – Aye; PADILLA – Aye; CORRAL – Aye. Motion passed.

A motion was made by Alderman Duran and seconded by Alderman Corral to approve the debt component of the tax rate of .175553. The CITY CLERK polled the Council: MILLER – Aye; QUIROZ – Aye; ORTEGA – Aye; RENTERIA – Aye; DURAN – Aye; PADILLA – Aye; CORRAL – Aye. Motion passed.

16. **PUBLIC HEARING:**

Mayor/Finance Director

Public Hearing on the Proposed Tax Rate - On the proposed 2021 tax rate of \$0.565503, which is an increase to the total tax revenues from properties on the tax roll in the preceding tax year of \$227,461 or 4.04%. Individual taxes may increase at a greater or lesser rate, or even decrease, depending on the change in the taxable value of your property in relation to the change in taxable value of all other property and the tax rate that is adopted.

Finance Accountant, Lily Gaytan spoke regarding this item. No one from the public spoke.

17. **PUBLIC HEARING:**

Mayor/Finance Director

2nd Reading of Ordinance _____, An Ordinance of the City Council of the Town of Horizon City, Texas, approving the 2021 ad valorem tax rate and levy of assessed valuation of all taxable property within the corporate limits of the city; providing for penalties and interest; and providing for the following: findings of fact; severability; savings clause; publication and effective date.

Finance Accountant, Lily Gaytan spoke regarding this item. No one from the public spoke.

18. **Discussion and Action:**

Mayor/Finance Director

2nd Reading of Ordinance _____, An Ordinance of the City Council of the Town of Horizon City, Texas, approving the 2021 ad valorem tax rate and levy of assessed valuation of all taxable property within the corporate limits of the city; providing for penalties and interest; and providing for the following: findings of fact; severability; savings clause; publication and effective date.

A motion was made by Alderman Padilla and seconded by Alderman Renteria to approve the ordinance of the City Council of the Town of Horizon City, Texas, approving the 2021 ad valorem tax rate and levy of assessed valuation of all taxable property within the corporate limits of the city. The CITY CLERK polled the Council: MILLER – Aye; QUIROZ – Aye; ORTEGA – Aye; RENTERIA – Aye; DURAN – Aye; PADILLA – Aye; CORRAL – Aye. Motion passed.

19. **PUBLIC HEARING:**

Mayor/Finance Director

2nd Reading of Ordinance No. 0260 Amendment No. 02, an Ordinance amending Ordinance No. 0260 of the Town of Horizon City, adopting the municipal budget for the 2020-2021 fiscal year, to allow for the budgeting and expenditure of funds for the purchase of pothole patching equipment; and providing for repealer and severability clauses.

Finance Director, Pat Randleel spoke regarding this item. No one from the public spoke.

20. **Discussion and Action:**

Mayor/Finance Director

2nd Reading of Ordinance No. 0260 Amendment No. 02, an Ordinance amending Ordinance No. 0260 of the Town of Horizon City, adopting the municipal budget for the 2020-2021 fiscal year, to allow for the budgeting and expenditure of funds for the purchase of pothole patching equipment; and providing for repealer and severability clauses.

A motion was made by Alderman Duran and seconded by Alderman Renteria to approve the Ordinance amending Ordinance No. 0260 of the Town of Horizon City, adopting the municipal budget for the 2020-2021 fiscal year, to allow for the budgeting and expenditure of funds for the purchase of pothole patching equipment. The CITY CLERK polled the Council: MILLER – Aye; QUIROZ – Aye; ORTEGA – Aye; RENTERIA – Aye; DURAN – Aye; PADILLA – Aye; CORRAL – Aye. Motion passed.

21. **Discussion and Action:**

Mayor/Planning Director

On authorizing the purchase of an asphalt pothole patcher from H.D. Industries, Inc. for an amount not to exceed \$98,343.00, through Buy Board Contract #597-21, and authorizing the Mayor to execute the documents, as approved by the City Attorney.

Planning Director, Michelle Padilla spoke regarding this item.

A motion was made by Alderman Duran and seconded by Alderman Renteria to authorize the purchase of an asphalt pothole patcher from H.D. Industries, Inc. for an amount not to exceed \$98,343.00, through Buy Board Contract #597-21, and authorizing the Mayor to execute the documents, as approved by the City Attorney. The CITY CLERK polled the Council: MILLER – Aye; QUIROZ – Aye; ORTEGA – Aye; RENTERIA – Aye; DURAN – Aye; PADILLA – Aye; CORRAL – Aye. Motion passed.

22. **Discussion and Action:**

Mayor/Finance Director

On the extension of the employment contract for Pat Randleel as part-time Finance Director.

A motion was made by Alderman Padilla and seconded by Alderman Renteria to approve the extension of the employment contract for Pat Randleel as part-time Finance Director. The CITY CLERK polled the Council: MILLER – Aye; QUIROZ – Aye; ORTEGA – Aye; RENTERIA – Aye; DURAN – Aye; PADILLA – Aye; CORRAL – Aye. Motion passed.

23. **PUBLIC HEARING:**

Mayor/Chief McConnell

2nd Reading of Ordinance No _____, An Ordinance of the Town of Horizon City repealing Ordinance 0049 codified as Section 8.04 "Noise" in the Town of Horizon City Municipal Code and replacing it in its entirety; declaring certain noises to be a nuisance; enacting noise regulations, providing for enforcement including criminal fines not to exceed \$500 and civil penalties not to exceed \$100 per offense and injunctive relief.

Police Chief, Mike McConnell spoke regarding this item. No one from the public spoke.

24. **Discussion and Action:**

Mayor/Chief McConnell

2nd Reading of Ordinance No _____, An Ordinance of the Town of Horizon City repealing Ordinance 0049 codified as Section 8.04 "Noise" in the Town of Horizon City Municipal Code and replacing it in its entirety; declaring certain noises to be a nuisance; enacting noise regulations, providing for enforcement including criminal fines not to exceed \$500 and civil penalties not to exceed \$100 per offense and injunctive relief.

A motion was made by Alderman Padilla and seconded by Alderman Corral to approve the ordinance of the Town of Horizon City repealing Ordinance 0049 codified as Section 8.04 "Noise" in the Town of Horizon City Municipal Code and replacing it in its entirety; declaring certain noises to be a nuisance; enacting noise regulations, providing for enforcement including criminal fines not to exceed \$500 and civil penalties not to exceed \$100 per offense and injunctive relief. The CITY CLERK polled the Council: MILLER – Aye; QUIROZ – Aye; ORTEGA – Aye; RENTERIA – Aye; DURAN – Aye; PADILLA – Aye; CORRAL – Aye. Motion passed.

25. **Discussion:**

Mayor/Chief McConnell

On an Update concerning the 2021 National Night Out Program.

Police Chief, Mike McConnell spoke regarding this item.

26. **Discussion and Action:**

Mayor/Municipal Court Judge

On the First Amendment to the Employment Contract with Mario Gonzalez for Municipal Court Judge services pursuant to section 4.04 of the City Charter.

Municipal Court Judge, Mario Gonzalez spoke regarding this item.

A motion was made by Alderman Duran and seconded by Alderman Renteria to approve the the First Amendment to the Employment Contract with Mario Gonzalez for Municipal Court Judge services pursuant to section 4.04 of the City Charter. The CITY CLERK polled the Council: MILLER – Aye; QUIROZ – Aye; ORTEGA – Aye; RENTERIA – Aye; DURAN – Aye; PADILLA – Aye; CORRAL – Aye. Motion passed.

Items # 27 - # 36 were taken together

27. **Discussion:**

Mayor/Planning Director

1st Reading of Ordinance No. _____, An ordinance adopting a zoning change within the municipal limits of the Town of Horizon City, Texas; rezoning one parcel from C-1, A-1, A-2, R-2, R-3, R-4A, R-6, and R9 to R-3; containing approximately 276.104 acres; being situated in Section 30, Block 78, Township 3, Texas and Pacific Railway Company Surveys, El Paso County, Texas; north and east of the intersection of Desert Mist Drive and Eastlake Boulevard; and authorizing the notation of the change on the official zoning map of the Town; providing for the following: findings of fact; repealer; severability; and proper notice and hearing.

28. **Discussion:**

Mayor/Planning Director

1st Reading of Ordinance No. _____, An ordinance adopting a zoning change within the municipal limits of the Town of Horizon City, Texas; rezoning one parcel from R-2 to C-1; containing approximately 1.983 acres; being situated in Section 30, Block 78, Township 3, Texas and Pacific Railway Company Surveys, El Paso County, Texas; east of the intersection of Desert Mist Drive and Eastlake Boulevard; and authorizing the notation of the change on the official zoning map of the Town; providing for the following: findings of fact; repealer; severability; and proper notice and hearing.

29. **Discussion:**

Mayor/Planning Director

1st Reading of Ordinance No. _____, An ordinance adopting a zoning change within the municipal limits of the Town of Horizon City, Texas; rezoning one parcel from R-2 to C-1; containing approximately 1.453 acres; being situated in Section 30, Block 78, Township 3, Texas and Pacific Railway Company Surveys, El Paso County, Texas; east of the intersection of Desert Mist Drive and Eastlake Boulevard; and authorizing the notation of the change on the official zoning map of the Town; providing for the following: findings of fact; repealer; severability; and proper notice and hearing.

30. **Discussion:**

Mayor/Planning Director

1st Reading of Ordinance No. _____, An ordinance adopting a zoning change within the municipal limits of the Town of Horizon City, Texas; rezoning one parcel from C-1 and R-2 to R-3; containing approximately 45.426 acres; being situated in Section 30, Block 78, Township 3, Texas and Pacific Railway Company Surveys, El Paso County, Texas; east of the intersection of Desert Mist Drive and Eastlake Boulevard; and authorizing the notation of the change on the official zoning map of the Town; providing for the following: findings of fact; repealer; severability; and proper notice and hearing.

31. **Discussion:**

Mayor/Planning Director

1st Reading of Ordinance No. _____, An ordinance adopting a zoning change within the municipal limits of the Town of Horizon City, Texas; rezoning one parcel from R-2 to C-1; containing approximately 1.918 acres; being situated in Section 30, Block 78, Township 3, Texas and Pacific Railway Company Surveys, El Paso County, Texas; east of the intersection of Desert Mist Drive and Eastlake Boulevard; and authorizing the notation of the change on the official zoning map of the Town; providing for the following: findings of fact; repealer; severability; and proper notice and hearing.

32. **Discussion:**

Mayor/Planning Director

1st Reading of Ordinance No. _____, An ordinance adopting a zoning change within the municipal limits of the Town of Horizon City, Texas; rezoning one parcel from R-2 to C-1; containing approximately 1.642 acres; being situated in Section 30, Block 78, Township 3, Texas and Pacific Railway Company Surveys, El Paso County, Texas; east of the intersection of Desert Mist Drive and Eastlake Boulevard; and authorizing the notation of the change on the official zoning map of the Town; providing for the following: findings of fact; repealer; severability; and proper notice and hearing.

33. **Discussion:**

Mayor/Planning Director

1st Reading of Ordinance No. _____, An ordinance adopting a zoning change within the municipal limits of the Town of Horizon City, Texas; rezoning one parcel from R-2 to R-3; containing approximately 185.716 acres; being situated in Section 32, Block 78, Township 3, Texas and Pacific Railway Company Surveys, El Paso County, Texas; north and west of the intersection of Eastlake Boulevard and Horizon Boulevard (FM 1281); and authorizing the notation of the change on the official zoning map of the Town; providing for the following: findings of fact; repealer; severability; and proper notice and hearing.

34. **Discussion:**

Mayor/Planning Director

1st Reading of Ordinance No. _____, An ordinance adopting a zoning change within the municipal limits of the Town of Horizon City, Texas; rezoning one parcel from R-2 to C-2; containing approximately 13.451 acres; being situated in Section 32, Block 78, Township 3, Texas and Pacific Railway Company Surveys, El Paso County, Texas; north and west of the intersection of Eastlake Boulevard and Horizon Boulevard (FM 1281); and authorizing the notation of the change on the official zoning map of the Town; providing for the following: findings of fact; repealer; severability; and proper notice and hearing.

35. **Discussion:**

Mayor/Planning Director

1st Reading of Ordinance No. _____, An ordinance adopting a zoning change within the municipal limits of the Town of Horizon City, Texas; rezoning one parcel from R-2 to R-3; containing approximately 212.581 acres; being situated in Section 32, Block 78, Township 3, Texas and Pacific Railway Company Surveys, El Paso County, Texas; north and west of the intersection of Eastlake Boulevard and Horizon Boulevard (FM 1281); and authorizing the notation of the change on the official zoning map of the Town; providing for the following: findings of fact; repealer; severability; and proper notice and hearing.

36. **Discussion:**

Mayor/Planning Director

1st Reading of Ordinance No. _____, An ordinance adopting a zoning change within the municipal limits of the Town of Horizon City, Texas; rezoning one parcel from R-2 to C-2; containing approximately 4.263 acres; being situated in Section 32, Block 78, Township 3, Texas and Pacific Railway Company Surveys, El Paso County, Texas; north and west of the intersection of Eastlake Boulevard and Horizon Boulevard (FM 1281); and authorizing the notation of the change on the official zoning map of the Town; providing for the following: findings of fact; repealer; severability; and proper notice and hearing.

Planning Director, Michelle Padilla spoke regarding items #27 - #36.

37. **Executive Session**

The City Council of the Town of Horizon City may recess into EXECUTIVE SESSION pursuant to the Texas Government Code, Chapter 551, Subchapter D, under Article 551.071 – Consultation with Attorney; 551.072 – Deliberation Regarding Real Property; 551.073 – Deliberation Regarding Gifts and Donations; 551.074 – Personnel Matters; 551.076 – Deliberation Regarding Security Devices and 551.087 – Deliberation Regarding Economic Development Negotiations.

ADJOURNMENT

A motion was made by Alderman Corral and seconded by Alderman Padilla to adjourn at 7:26 PM.

Approved this ____ day of _____, 20__.

Attest:

Elvia Schuller, City Clerk

Ruben Mendoza, Mayor



**TOWN OF HORIZON CITY
MEMORANDUM**

Date: September 23, 2021
To: Honorable Mayor and Members of City Council
From: Michelle Padilla, Planning Director
SUBJECT: On the appointment of David Miller to the Board of Adjustment as a Regular Member.

On September 14, 2021, the City Council approved the appointment of David Miller to the Board of Adjustment as an Alternate Member. The Board has a vacancy for a Regular Member and staff recommends that David Miller now be appointed as Regular Member to the Board. This will leave two alternate member vacancies.

Staff recommends approval of the appointment as described.

Attached is Mr. Miller's application to serve on the Board.



TOWN OF HORIZON BOARDS AND COMMISSIONS APPLICATION

PLEASE PRINT OR TYPE

Name: David W. Miller Home pH: 915-500-5061
Home address: 15090 Isola Cell pH: 214-325-0172
City/State: Horizon City, TX Zip: 79928 Email: toro-industries@yahoo.com
Occupation: Retired Resident of Horizon City for 1/2 year; of Texas 60 years

Please indicate the Board or Commission in which you are interested in serving.

Board of Adjustment

Planning and Zoning Commission

Provide the name and the date(s) of prior service, if any, on any Horizon board: None

Are you currently holding any public office or appointment? No If so, what? _____

Please list any specific municipal officials' training, or any special knowledge, education or experience that qualifies you to serve in the areas you have indicated: BA-Govt, 1 Year Grad Study City Mgt. 7 Years Work experience City Mgt Austin & Dallas, Graduate School certificates in Homeland Security and Criminal Justice Mgt.

If applicable, please list any scheduled training, etc. you intend to complete that will further qualify you to serve in the areas indicated: None

Explain why you are seeking an appointment. Also, list any business or personal relationships with the city that might create a conflict of interest or that may affect your ability to serve. Want to serve the community. No conflicts.

What do you perceive to be Horizon City's two greatest strengths? Motivated Population, they are choosing to move/live here. Potential for favorable growth.

Signature: David W. Miller Date: 8/10/21

The City Council will receive this form only. Do not send resumes, photographs or letters of recommendation. Mail form to Board Sec'y; Liz Luna at 14999 Darrington Rd, Horizon City, TX 79928 or email eluna@horizoncity.org. For more information, call 915-852-1046 ext 404. Your application will be made available to the public upon request.

Public service opportunities are offered by the City of Horizon without regard to race, color, national origin, religion, gender or disability.

RESOLUTION

WHEREAS, the Town of Horizon City, Texas and the County of El Paso, Texas are authorized to enter into agreements pursuant to the Interlocal Cooperation Act, Chapter 791, Texas Government Code; and

WHEREAS, the El Paso County Animal Welfare Department employs animal welfare officers; and

WHEREAS, this Agreement for interlocal cooperation for the County of El Paso to provide certain animal welfare services to the Town of Horizon City, Texas is necessary for the mutual advancement of the health and general welfare of the citizens of all jurisdictions concerned; and

WHEREAS, the Town of Horizon City, Texas desires to have the designated local rabies control authority of County of El Paso Texas serve as the designated local rabies control authority for the Town of Horizon City Texas, as necessary pursuant to Texas state law.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE TOWN OF HORIZON CITY, TEXAS:

That the Mayor be authorized to sign an Interlocal Agreement between the Town of Horizon City, Texas and the County of El Paso, Texas for the County of El Paso, Texas to provide animal welfare services to the Town of Horizon City, Texas and to serve as the designated local rabies control authority for the Town of Horizon City, Texas.

PASSED AND ADOPTED this _____ day of _____, 2021.


THE TOWN OF HORIZON CITY

Ruben Mendoza, Mayor

ATTEST:

Elvia Schuller, City Clerk

APPROVED AS TO FORM:



Theresa Cullen
Assistant City Attorney

APPROVED AS TO CONTENT:

Michael McConnell, Ph.D.
Chief of Police

INTERLOCAL AGREEMENT FOR ANIMAL WELFARE SERVICES

This Agreement is entered into between the COUNTY OF EL PASO, TEXAS ("County of El Paso") and HORIZON CITY, TEXAS ("Horizon City") by and through their duly authorized officials, pursuant to the Interlocal Cooperation Act.

RECITALS

WHEREAS, the County of El Paso and Horizon City are authorized to enter into this Agreement pursuant to the Interlocal Cooperation Act, Chapter 791, Texas Government Code; and

WHEREAS, the El Paso County Animal Welfare Department employs animal welfare officers; and WHEREAS, this Agreement for inter local cooperation for the County of El Paso to provide certain animal welfare services to Horizon City is necessary for the mutual advancement of the health and general welfare of the citizens of all jurisdictions concerned; and

WHEREAS, Horizon City desires to have the County of El Paso's designated local rabies control authority serve as Horizon City's designated authority, as necessary pursuant to state law; and

FOR THESE REASONS, and in consideration of the mutual promises contained in this Agreement, the County of El Paso and Horizon City mutually agree as follows:

I. SCOPE OF SERVICES

The County of El Paso shall perform the following animal welfare services by and through the El Paso County Animal Welfare Department under the terms and conditions hereinafter stated, and Horizon City hereby accepts and agrees to the following terms and conditions:

A. The County of El Paso agrees to provide animal welfare services as determined to be appropriate by the El Paso Animal Welfare Department staff and as required by law, including, but not limited to, investigating citizen complaints related to animal welfare (e.g. violations of the County Animal Regulations Order), conducting periodic patrols to proactively enforce appropriate County and/or State animal-related rules and laws and engaging in the impoundment of stray animals, investigation of animal bite reports, quarantine of animals involved in bites, investigation of allegations of animal cruelty, and the euthanasia of animals as necessary. The El Paso County Animal Welfare Department will not respond to complaints regarding barking or noisy dogs.

B. Any animals impounded by the El Paso County Animal Welfare Department shall be delivered to the Shelter designated by Horizon City. Horizon City is responsible for any and all Shelter costs and fees, including, but not limited to, Shelter impoundment fees, daily kenneling fees, vaccination fees, and spay/neuter fees.

C. Any stray cat trapped by the El Paso County Animal Welfare Department that takes part in a trap-neuter- return program shall be returned by the El Paso County Sheriff's Office to the location

where it was trapped. Trap-neuter-return is the process of humanely trapping, sterilizing, vaccinating for rabies, ear tipping, and returning a cat to the location where it was trapped. Horizon City shall be responsible for any fees or costs related to the sterilization, vaccination, or ear tipping of the cat. When Animal Welfare Units are temporarily unavailable, the municipal police department or marshal shall respond to animal welfare calls, including but not limited to dangerous animal calls, to assess the situation and, when necessary, take immediate action.

D. The County of El Paso agrees to provide periodic free and/or low-cost spay/neuter and vaccination events for residents of Horizon City. The date, time, location, and frequency of these events shall be determined by the El Paso County Animal Welfare Department.

E. Nothing within the terms of this Agreement shall require the County of El Paso to purchase additional equipment or hire additional personnel in order to comply with the terms of this Agreement.

F. The County of El Paso agrees that it will keep accurate records of all services provided to Horizon City pursuant to this Agreement as part of its routine data collection processes and shall report such activities to Horizon City on a monthly basis via email.

II. LOCATION OF PERFORMANCE

The place where the services are to be performed is in Horizon City, Texas.

III. DESIGNATION OF LOCAL RABIES CONTROL AUTHORITY

The Parties agree that the individual or entity designated by the County of El Paso to serve as the local rabies control authority will serve as the local rabies control authority for Horizon City's designated authority, as necessary pursuant to Section 826.017, Texas Health and Safety Code.

IV. COUNTY ANIMAL REGULATIONS

The Parties acknowledge that the October 24, 2016 El Paso County Animal Regulations Order of the El Paso County Commissioners' Court, and any lawfully adopted successor orders and animal regulations, shall apply within the jurisdictional areas of Horizon City.

A. The El Paso County Animal Welfare Department will enforce the October 24, 2016 El Paso County Animal Regulations Order of the El Paso County Commissioners' Court, and any lawfully adopted successor orders and animal regulations, within the jurisdictional areas of Horizon City.

B. If Horizon City adopts animal regulations that supersede the County of El Paso animal regulations, the El Paso County Animal Welfare Department will enforce those municipal animal regulations to the extent that they are consistent with the County of El Paso animal regulations.

1. Horizon City will be responsible for passing all ordinances and resolutions necessary to give the El Paso County Animal Welfare Department the authority to issue citations for violations of any municipal animal regulations.

2. Horizon City will be responsible for making arrangements with the El Paso County Animal Welfare Department to provide a copy of any municipal animal regulations and municipal citation books.
3. The County of El Paso agrees that any citations issued for the violation of a municipal animal regulation will be filed with Horizon City Municipal Court. It is agreed that the appropriate personnel from the El Paso County Animal Welfare Department will be administratively directed to be present at such times as court sessions are set and cases involving said citations are on the court's docket, without the necessity for the issuance of a subpoena. Horizon City Municipal Court will provide reasonable notice of any case settings to the El Paso County Animal Welfare Department.

V. TIMES OF PERFORMANCE

The County of El Paso shall commence^h the provision of its services on the 1st day of October 2021 and shall terminate on the 30th day of September 2024, regardless of the date of execution of this Agreement.

VI. COMPENSATION

A. Horizon City agrees to pay FORTY NINE THOUSAND THREE HUNDRED NINETY ONE AND 76/100 DOLLARS (\$49,391.76) for services rendered in accordance with this Agreement for year one. Payments shall be made in three equal, consecutive monthly installments, each in the amount of SIXTEEN THOUSAND FOUR HUNDRED SIXTY THREE AND 92/100 DOLLARS (\$16,463.92), with the first payment becoming due and payable on the 1st day of October 2021 or within 15 days after the date that Horizon City signs this Agreement, whichever is later.

B. Horizon City agrees to pay FORTY NINE THOUSAND THREE HUNDRED NINETY ONE AND 76/100 DOLLARS (\$49,391.76) for services rendered in accordance with this Agreement for year two. Payments shall be made in three equal, consecutive monthly installments, each in the amount of SIXTEEN THOUSAND FOUR HUNDRED SIXTY THREE AND 92/100 DOLLARS (\$16,463.92), with the first payment becoming due and payable on the 1st day of October 2022.

C. Horizon City agrees to pay FORTY NINE THOUSAND THREE HUNDRED NINETY ONE AND 76/100 DOLLARS (\$49,391.76) for services rendered in accordance with this Agreement for year three. Payments shall be made in three equal, consecutive monthly installments, each in the amount of SIXTEEN THOUSAND FOUR HUNDRED SIXTY THREE AND 92/100 DOLLARS (\$16,463.92), with the first payment becoming due and payable on the 1st day of October 2023.

D. Payments submitted under this Agreement shall be made payable to the County of El Paso, Attn: El Paso County Auditor, 800 E. Overland, Room 406, El Paso, Texas 79901.

VII. TERMINATION

This Agreement may be terminated by either Party, without cause, by written notice received via certified mail at least forty-five (45) days in advance of the effective date of termination.

VIII. MISCELLANEOUS

A. Notice. Unless otherwise provided herein, all notices or other communications required or permitted to be given under this Agreement shall be in writing and shall be deemed to have been duly given if delivered personally in hand or sent by certified mail, return receipt requested, postage prepaid and addressed to the appropriate party at the following address or to any other person at any other address as may be designated in writing by the Parties. Notices are effective upon receipt. Parties may change their notice information in the same manner.

COUNTY: El Paso County
Animal Welfare
Department
9521 Socorro Rd.
Suite B3
El Paso, Texas 78827

cc: Lorena Rodriguez
County Contract Administrator
500 E. San Antonio,
Room 302A El Paso, Texas
79901

Horizon City: Elvia Schuller
City Clerk
14999 Darrington Rd.
Horizon City, Texas 79928

B. Governing Law. This Agreement and the rights and obligations of the Parties hereto shall be governed by, and construed according to, the laws of the State of Texas, except as specifically noted. Venue shall lie in El Paso County, Texas.

C. Entire Agreement; Amendment. This Agreement constitutes the entire agreement of the Parties and is intended as a complete and exclusive statement of the promises, representations, negotiations, discussions, and agreements that have been made in connection with the subject matter. No modifications or amendments to this Agreement shall be binding upon the Parties unless the same is in writing and signed by the respective Parties hereto. All prior negotiations, agreements, and understandings with respect to the subject matter of this Agreement are superseded hereby.

D. Waiver of Breach. The waiver by either party of a breach or violation of any provision of this Agreement shall not operate as, or be construed to be, a waiver of any subsequent breach of the same or other provision hereof.

E. Severability. In the event any provision of this Agreement is held to be unenforceable for any reason, the unenforceability thereof shall not affect the remainder of the Agreement, which shall remain in full force and effect and enforceable in accordance with its terms.

F. Force Majeure. Neither party shall be held responsible for any delay or failure in performance to the extent that such delay or failure is caused by fire, flood, explosion, war, strike, embargo, government regulation, civil or military authority, acts of God, acts or omissions of carriers, or other similar causes beyond their control.

IN WITNESS WHEREOF, the Parties have executed this Agreement in their official capacities, with legal authority to do so.

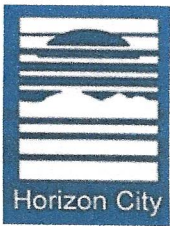
COUNTY OF EL PASO

Ricardo A. Samaniego
County Judge
Ricardo A. Samaniego

Lauralei J. Combs
El Paso County Animal Welfare Executive Director
Lauralei J. Combs

HORIZON CITY

Mayor
Ruben Mendoza



**TOWN OF HORIZON CITY
MEMORANDUM**

Date: September 21, 2021

To: Honorable Mayor and Members of City Council

From: Teresa Quezada, CIP Manager

SUBJECT: Discussion and Action: **On Change Order #2 to the construction contract with Allen Concrete, LLC for Corcoran "Corky" Park Improvements Project, Solicitation No. CIP 2018-102 (003) and authorizing the Mayor to execute documents**

T. Quezada
9/21/2021

Change Order No. 2 to the construction contract with Allen Concrete, LLC adds **\$19,118.45** as indicated below, and a total of **38 calendar days** to account for the time associated with the additional work to the contract amount and time.

These amounts and time for completion have been requested by the contractor and reviewed and recommended by Sites Southwest, the design consultants and Huitt Zollars, the Town's Construction Manager on this project. The **total contract** amount after these changes is **\$2,218,659.73**. The updated **completion date for the project is December 20, 2021**.

Since the value of the changes exceeds \$10,000 and the total time extension exceeds one calendar week, staff is presenting the change order to Council.

Change Item	Amount	Time
1. Increase – due to weather delay for heavy precipitation which caused the ground to become too saturated to move equipment on site.	N/A	3 calendar days
2. Increase – to construct asphalt path along the east side of the park; the asphalt path replaces the designed stabilized screenings.	\$10,392.56	14 calendar days
3. Increase – to modify the slope to the on-grade slide area to comply with ADA requirements.	\$8,725.89	21 calendar days
TOTALS	\$19,118.45	38 calendar days

Total change orders to this point account for 0.8% increase to the original contract amount.

Staff recommends approval.

Attachment: Change Order Form

PROJECT: Corky Park Improvements **DATE OF ISSUANCE:** September 28, 2021

OWNER: Town of Horizon City **BID NO.** CIP 21-100
 14999 Darrington Rd.
 Horizon City, Texas 79928

CONTRACTOR: Allen Concrete, LLC **ENGINEER:** Huitt-Zollars, Inc.

CONTRACT FOR: Park Improvements **ENGINEER'S PROJECT NO.** R313462.01

YOU ARE DIRECTED TO MAKE THE FOLLOWING CHANGE TO THE CONTRACT DOCUMENTS:

1. After the Contractor started construction on the established date, work progress has been affected several times due to inclement weather. For this reason, the project substantial and final completion dates will be adjusted to increase the contract time by five (5) Calendars Days. The five weather delay days are as follow:

Date	Observations
a. July 19, 2021	Construction stopped due to heavy precipitation and ground too saturated to move equipment on site. Add 1.5 calendar days to contract time.
b. August 16, 2021	Construction stopped due to heavy precipitation and ground too saturated to move equipment on site. Add 1.5 calendar days to contract time.

2. Increase the Contract Amount by **\$10,392.56** and Increase the Contract time by **14** Calendar Days to construct and asphalt path along the eastside of the park as opposed to stabilized screenings.
3. Increase the Contract Amount by **\$8,725.89** and Increase the Contract time by **21** Calendar Days to modify the slope to the on-grade slide area to comply with ADA requirements.

PURPOSE OF CHANGE ORDER:

1. For the safety of all employees and maintaining the highest quality construction standards, it is required to add contract time to the project schedule in the amount of three (3) calendar days due to inclement weather conditions at the project site. The Contractor was not able to perform construction activities on the days listed above in Item No. 1. The Construction Manager and Inspector have verified these dates and weather conditions.
2. During a field visit, it was determined that slope leading to the on-grade slide did not meet ADA requirements and that there were areas that might be prone to erosive runoff along the path running north-south on the east side of the park. During design, this section of the path was specified to be constructed with stabilized screening as a cost savings to the project; however, the designer looked at the cost difference between constructing the path using contract unit cost for asphalt and the stabilized screening and determined that the cost increase would be beneficial for the Town to consider. The asphalt path would provide the Town with feature that would provide a path that requires less maintenance over the life of the path. A change proposal was requested from the contractor and the cost was determine to be reasonable and within the contingency for the project. The contract amount is **INCREASED by \$ 10,392.56**. The contract time is **INCREASED BY 14 CALENDAR DAYS**.
3. During a field visit, the grades for the ramp that leads to the on-grade slide exceeded ADA requirements. The Designer and Civil Engineer revised the grades to meet ADA requirement and not exceed 5% running slope to the platform. The Contractor provided a cost proposal for the additional demolition, grading, header curb, and 18" garden wall. Bid Items Nos. 16, 18, 21 were used in calculating cost proposal. The contract amount is **INCREASED by \$ 8,725.89**. The contract time is **INCREASED BY 21 CALENDAR DAYS**.

IMPACT TO COST AND CONTRACT TIME (EACH TIME):

Add \$19,118.45 to the Contract amount and add 38 calendar days to the Contract time to bring the Final Completion date to November 12, 2021.

<u>Item No. 1</u>	Contract Cost Increase/Decrease	\$	0.00	Contract Time Increase	3	Calendar Days
<u>Item No. 2</u>	Contract Cost Increase	\$	10,392.56	Contract Time Increase	14	Calendar Days
<u>Item No. 3</u>	Contract Cost Increase/	\$	8,725.89	Contract Time Increase	21	Calendar Days
Summary	Contract Cost Increase/Decrease	\$	19,118.45	Contract Time Increase	38	Calendar Days

ATTACHMENTS:

- Daily logs for weather days.
- Letter for Contractor requesting weather days.
- Contractor Cost proposals
- Revised plan sheets.

PROJECT: Desmond Corcoran "Corky" Park Improvements

CHANGE IN CONTRACT PRICE:	CHANGE IN CONTRACT TIME
ORIGINAL PRICE <p style="text-align: center;">\$2,199,541.28</p>	ORIGINAL CONTRACT TIME MILESTONES: CONTRACT TIME: Substantial Completion: 270 Days Due Date: October 8, 2021 Final Completion: 300 Days Due Date: November 7, 2021
CONTRACT PRICE PRIOR TO THIS CHANGE ORDER <p style="text-align: center;">\$2,199,541.28</p>	CONTRACT TIME PRIOR TO THIS CHANGE ORDER MILESTONES: CONTRACT TIME: Substantial Completion: 275 Days Due Date: October 13, 2021 Final Completion: 305 Days Due Date: November 12, 2021
NET INCREASE OF THIS CHANGE ORDER <p style="text-align: center;">\$19,118.45</p>	NET INCREASE OF THIS CHANGE ORDER MILESTONES: CONTRACT TIME: Substantial Completion: 38 Calendar Days Final Completion: 38 Calendar Days
CONTRACT PRICE WITH ALL APPROVED CHANGE ORDERS <p style="text-align: center;">\$2,218,659.73</p>	CONTRACT TIME WITH ALL APPROVED CHANGE ORDERS MILESTONES: CONTRACT TIME: Substantial Completion: 313 Days Due Date: November 20, 2021 Final Completion: 343 Days Due Date: December 20, 2021

This amount indicated above shall be considered full and equitable adjustment for any claims, past and future, for the work described and shall include all costs, direct and indirect, including extended overhead.

ACCEPTED:

by 
Contractor


Date 9/20/21

REVIEWED:

by _____
Town of Horizon-Public Works Director

Date _____

RECOMMENDED:

by 
Roxanna Medina, PE
Construction Manager



Date 09/21/21

APPROVED:

by _____
Ruben Mendoza-Mayor
Town of Horizon

Date _____

INSPECTOR'S QUALITY ASSURANCE REPORT (QAR) DAILY LOG OF CONSTRUCTION – CIVIL					THE QCR WILL BE ATTACHED TO OR FILED WITH THE QAR				
REPORT NUMBER 190		(NTP) 12-14-2020 (1-11-2021)		Final Days Left 300-190= 110					
To: TOWN OF HORIZON CITY					7-19-2021 Monday		Days to Substantial 270-190= 80 days		
Project: DESMOND CORCORAN "CORKY" IMPROVEMENT					CONTRACT NUMBER: BID CIP 18-102				
CONTRACTOR: ALLEN CONCRETE, LLC					WEATHER: Overcast				
PORTION OF SCHEDULED DAY SUITABLE FOR OPERATIONS					TEMPERATURE				
STRUCTURAL EXCAVATION %	BORROW EXCAVATION %	EMBANKMENT %	CONCRETE %	STRUCTURE %	MINIMUM 66	MAXIMUM 89			
HAS ANYTHING DEVELOPED ON THE WORK WHICH MIGHT LEAD TO A CHANGE ORDER OR FINDING OF FACT?					<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (explain)		24 HOUR PRECIPITATION		
					INCHES - 0		ENDING - 0		
NUMBER OF CONSULTANT AND OWNER EMPLOYEES									
SUPERVISORY Consultant: Owner:		OFFICE Consultant: Owner:		LAYOUT Consultant: Owner:		INSPECTION Consultant: Owner:		LABOR Consultant: Owner:	
								TOTAL Consultant: Owner:	
NUMBER OF CONTRACTOR'S EMPLOYEES				NUMBER OF SHIFTS					
				<input checked="" type="checkbox"/> 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3					
SUPERVISOR 0	SKILLED 0	LABORERS 0	TOTAL 0	FROM 0.00 AM	TO 0.00 pm	FROM AM	TO PM		
Attach list of the following: (a) Major items of equipment either idle or working; and (b) Number and classification of contractor personnel onsite. Note: If the Contractor's Quality Control Report (QCR) contains the information it need not be reported here.									
CONTRACTOR AND AREA OF RESPONSIBILITY FOR WORK PERFORMED TODAY									
a. Allen Concrete: Not working—Inclement Weather									
b. All Trades Electric:									
c. Jordan-Foster:									
d. West Texas Landscaping & General Contractor:									
WORK PERFORMED TODAY (Indicate location and description of work performed. Refer to work performed by prime and/or subcontractors by letter in Table above.)									
Allen Concrete:									
Jordan-Foster:									
All Trades Electric:									
EQUIPMENT USED:									
One 938G front-end loader, One two-axle water truck One 35 ton smooth-drum roller One 1590 Bobcat track-fork lift, One E26 Bobcat mini excavator									
INFORMATION ON PROGRESS OF WORK; CAUSES FOR DELAYS AND EXTENT OF DELAY. PLANS, MATERIAL, ETC.									
None NA									
RESULTS OF QA INSPECTIONS AND TESTS, DEFICIENCIES OBSERVED, ACTIONS TAKEN AND CORRECTIVE ACTION OF CONTRACTOR. INCLUDE COMMENT PERTAINING TO CONTRACTORS ACTIVITIES									
VERBAL INSTRUCTIONS GIVEN TO CONTRACTOR (Include names, reactions and remarks.)									
NA									
CONTROVERSIAL MATTERS IN DETAIL									

NA			
INFORMATION, INSTRUCTIONS OR ACTIONS TAKEN NOT COVERED IN QCR REPORT OR DISAGREEMENTS NA			
REMARKS (Include visitors to project and miscellaneous remarks pertinent to work.) NA			
SAFETY (Include any infractions of approved trench safety plan, safety manual/plan or instructions from Government Owner or Consultant. Specify corrective action taken.) NA			
SCHEDULE COMPLIANCE STATUS			
PAYROLL REPORTS STATUS			
INSPECTOR'S SIGNATURE	DATE	SUPERVISOR'S INITIALS	DATE
	7/19/2021		7/19/2021

INSTALLATIONS:

INSPECTOR'S QUALITY ASSURANCE REPORT (QAR) DAILY LOG OF CONSTRUCTION – CIVIL					THE QCR WILL BE ATTACHED TO OR FILED WITH THE QAR				
REPORT NUMBER 218		(NTP) 12-14-2020 (1-11-2021)		Final Days Left 300-218= 82					
To: TOWN OF HORIZON CITY					8-16-2021 Monday		Days to Substantial 270-218= 52 days		
Project: DESMOND CORCORAN "CORKY" IMPROVEMENT					CONTRACT NUMBER: BID CIP 18-102				
CONTRACTOR: ALLEN CONCRETE, LLC					WEATHER: Overcast				
PORTION OF SCHEDULED DAY SUITABLE FOR OPERATIONS					TEMPERATURE				
STRUCTURAL EXCAVATION %	BORROW EXCAVATION %	EMBANKMENT %	CONCRETE %	STRUCTURE %	MINIMUM 70	MAXIMUM 90			
HAS ANYTHING DEVELOPED ON THE WORK WHICH MIGHT LEAD TO A CHANGE ORDER OR FINDING OF FACT?					<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (explain)		24 HOUR PRECIPITATION		
					INCHES - 0		ENDING - 0		
NUMBER OF CONSULTANT AND OWNER EMPLOYEES									
SUPERVISORY Consultant: Owner:		OFFICE Consultant: Owner:		LAYOUT Consultant: Owner:		INSPECTION Consultant: Owner:		LABOR Consultant: Owner:	
TOTAL Consultant: Owner:									
NUMBER OF CONTRACTOR'S EMPLOYEES				NUMBER OF SHIFTS					
				<input checked="" type="checkbox"/> 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3					
SUPERVISOR 4	SKILLED 7	LABORERS 7	TOTAL 16	FROM 7.00 AM	TO 3.30 pm	FROM AM	TO PM		
Attach list of the following: (a) Major items of equipment either idle or working; and (b) Number and classification of contractor personnel onsite. Note: If the Contractor's Quality Control Report (QCR) contains the information it need not be reported here.									
CONTRACTOR AND AREA OF RESPONSIBILITY FOR WORK PERFORMED TODAY									
a. Allen Concrete: Julio Chenoweth, Gilbert Parra, Fernando Ramirez, David Montillo, Antonio Rosiaga, Karla Garcia, Alonso Castillo, Arturo Barrera, Bryan Rivas, Javier Martinez,									
b. All Trades Electric: Esteban Garcia, Gustavo Jurado, Miguel Doporto									
c. Jordan-Foster: Not at project site									
d. West Texas Landscaping & General Contractor: Not at Project									
WORK PERFORMED TODAY (Indicate location and description of work performed. Refer to work performed by prime and/or subcontractors by letter in Table above.)									
Allen Concrete: Due to last night's hard rainfall, the crews were sent home.									
EQUIPMENT USED: One 938G front-end loader, One two-axle water truck One 35 ton smooth drum-roller One 1590 Bobcat track-fork lift, One E26 Bobcat mini excavator									
INFORMATION ON PROGRESS OF WORK; CAUSES FOR DELAYS AND EXTENT OF DELAY. PLANS, MATERIAL, ETC. None NA									
RESULTS OF QA INSPECTIONS AND TESTS, DEFICIENCIES OBSERVED, ACTIONS TAKEN AND CORRECTIVE ACTION OF CONTRACTOR. INCLUDE COMMENT PERTAINING TO CONTRACTORS ACTIVITIES NA									
VERBAL INSTRUCTIONS GIVEN TO CONTRACTOR (Include names, reactions and remarks.) NA									
CONTROVERSIAL MATTERS IN DETAIL									

NA			
INFORMATION, INSTRUCTIONS OR ACTIONS TAKEN NOT COVERED IN QCR REPORT OR DISAGREEMENTS NA			
REMARKS (Include visitors to project and miscellaneous remarks pertinent to work.) NA			
SAFETY (Include any infractions of approved trench safety plan, safety manual/plan or instructions from Government Owner or Consultant. Specify corrective action taken.) NA			
SCHEDULE COMPLIANCE STATUS			
PAYROLL REPORTS STATUS			
INSPECTOR'S SIGNATURE	DATE	SUPERVISOR'S INITIALS	DATE
<i>Eduardo Cordero</i>	8/16/2021	<i>Rexan R. Meli</i>	8/16/2021

INSTALLATIONS:

Rivera, Roxanne

From: Allen Concrete, LLC <aci@allenconcreteinc.com>
Sent: Thursday, July 29, 2021 4:03 PM
To: Rivera, Roxanne; Cordero, Lalo
Cc: Mark Merrill; Allen Concrete, LLC
Subject: Corky Park Improvements - weather day request #3

Categories: Filed by Newforma

Hello Roxanne,

Allen Concrete would like to have documented weather days below for the above referenced project.

7/19/21 correction *MA*
~~6/19/2021~~ – Monday – rain

Thank you,
Lizette Velasquez
Vice President



Allen Concrete, LLC
3800 Hueco Club Rd.
El Paso, TX 79938
O: 915.921.0678
F: 915.856.8834
E: aci@allenconcreteinc.com

The information contained in this communication is intended solely for the person/entity to which it is addressed and it may contain confidential or legally privileged information. It may not be used, copied or disclosed by unauthorized persons. If you received this communication in error, please contact the sender and delete the material from your system. This e-mail does not constitute an offer, acceptance, or contract amendment, unless designated as such by Allen Concrete, LLC

CAUTION: This email originated from outside Huitt-Zollars. Treat all links and attachments with appropriate caution. Verify with sender if unexpected.

Rivera, Roxanne

From: Allen Concrete, LLC <aci@allenconcreteinc.com>
Sent: Monday, August 30, 2021 3:48 PM
To: Rivera, Roxanne; Cordero, Lalo
Cc: Mark Merrill; Allen Concrete, LLC
Subject: Corky Park Improvements - weather day request #4

Hello Roxanne,

Allen Concrete would like to have documented weather days below for the above referenced project.

8/16/2021 – Monday – rain

Thank you,
Lizette Velasquez
Vice President



Allen Concrete, LLC
3800 Hueco Club Rd.
El Paso, TX 79938
O: 915.921.0678
F: 915.856.8834
E: aci@allenconcreteinc.com

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CAUTION: This email originated from outside Huitt-Zollars. Treat all links and attachments with appropriate caution. Verify with sender if unexpected.

Change Request Proposal

Project: 2020-35 / Corky Park Improvements
 (name and address) Rodman St
 Horizon City, TX 79928

Change request number: 1004
 Description: St. screenings trail converted to asphalt: New
 HMAC Trail 613 SY @ \$16/SY = \$9,808.00,
 Credit St. Screenings 5016 sf/ @ .92/SF =
 \$4,614.72 (\$9,808.00 - \$4,614.72 = \$5,193.28,
 Dirt work at Trail = \$5,199.28

Customer: Town of Horizon City

Notice to Proceed

Submitted date:
 Received date:
 Rough order of magnitude: 0.00

Status: Proposed
 Origination date: 08/03/21

Quotation

Submitted date: 08/03/21
 Due date: 08/13/21
 Submitted amount: 10,392.56
 Requested days delay: 10

Revenue Detail

Billing Item	Description	Revenue
CO	St. Screenings Trail to Asphal	15,007.28
CO	Credit for St. Screenings	-4,614.72
Total Revenue:		10,392.56

Contractor Pricing

Phase Code / Description	Cost Type	Quantity	UM	Amount
3000	1L Labor	1.00		2,292.62
3000	4E Equipment Owned	1.00		1,889.88
3000	6H Hauling	1.00		450.00
6000	1L Labor	1.00		1,532.50
6000	3M Material	1.00		5,719.96
6000	4E Equipment Owned	1.00		972.00
6000	1L Labor			1,236.34
6000	1L Labor			123.63
Contractor Pricing Total:				14,216.93

Subcontractor Pricing

Phase Code / Description	Cost Type	Quantity	UM	Amount
7000	7S Subcontract	1.00		-4,614.72
Subcontractor Pricing Total:				-4,614.72

Total: 9,602.21
Mark-up: 790.35
Total Contractor Price for CR 1004 10,392.56

Approvals

Customer: Town of Horizon City
 Authorized Representative: _____
 By: _____
 Date: _____

Contractor: Allen Concrete, LLC
 By: _____
 Date: _____

Allen Concrete, LLC
 3800 Hueco Club Rd.
 El Paso, TX 79938
 P: 915-921-0678
 F: 915-856-8834

CHANGE REQUEST PROPOSAL
Revised

8/26/2021



To: Huitt-Zollars Attn: Roxanna Medina	Project: Desmond Corcoran (Corky) Park Improvements
---	---

Scope of Work

Provide all materials, labor and equipment necessary to complete Desomd Corcoran (Corky) Park Improvemtns, per received plans and specifications. Work includes as referenced below.

Exclusions

Any work not listed below, rip rap rock, color/polish/stain concrete, joint sealants, rockwalls & rockwall footings, chain link fence footings, vapor barrier, stabilization, embedded items, landscape rock, termite control, permits, engineering and/or surveying, testing, any fees, bonds, utility work, traffic control, erosion control, pollution control, dust control once we are away from jobsite, removal of trash and unforeseen underground items, spotting existing utilities, top soil, trench patch, if needed use call for price. (min. 9 sy), chain link fence, patch work, water to be provided by others, dewatering, etc.

Reference **Price**

SCOPE OF WORK:

• Cut/Waste 2.5" of Dirt at Trail to Accomdate 1.5" HMAC / 4" Base Course		
• Scarify/Compact Subgrade for Base Course (613 Sy Approx.)		
	Sum Total (Add)	\$ 5,199.28
• Asphalt Paving in lieu of Stabilized Screenings (613 SY Approx.) @ \$16.00/SY		
	Sum Total (Add)	\$ 9,808.00
• Stablized Screenings Trail Converted to Asphalt Paving @ .92/SF		
	Sum Total (Credit)	\$ (4,614.72)

TOTAL (Add) \$ 10,392.56

Submitted By: Reynaldo Zambrano	Acceptance of Proposal
--	-------------------------------

Respectfully,

Miguel Allen, President

Change Request Proposal

Project: 2020-35 / Corky Park Improvements
 (name and address) Rodman St
 Horizon City, TX 79928

Change request number: 1006
 Description: Modify path to the slide per revised plans, Import fill dirt /Compact in place 138 cy, Demo 230 lf approx., Install new curb 230 lf approx. Install 18" Garden Wall 80 lf approx.

Customer: Town of Horizon City

Notice to Proceed

Submitted date:
 Received date:
 Rough order of magnitude: 0.00

Status: Proposed
 Origination date: 09/07/21

Quotation

Submitted date: 09/07/21
 Due date:
 Submitted amount: 8,725.89
 Requested days delay: 15

Revenue Detail

Billing Item	Description	Quantity	Revenue
CO	Modify path to the slide per r	1.00	8,725.89
Total Revenue:			8,725.89

Contractor Pricing

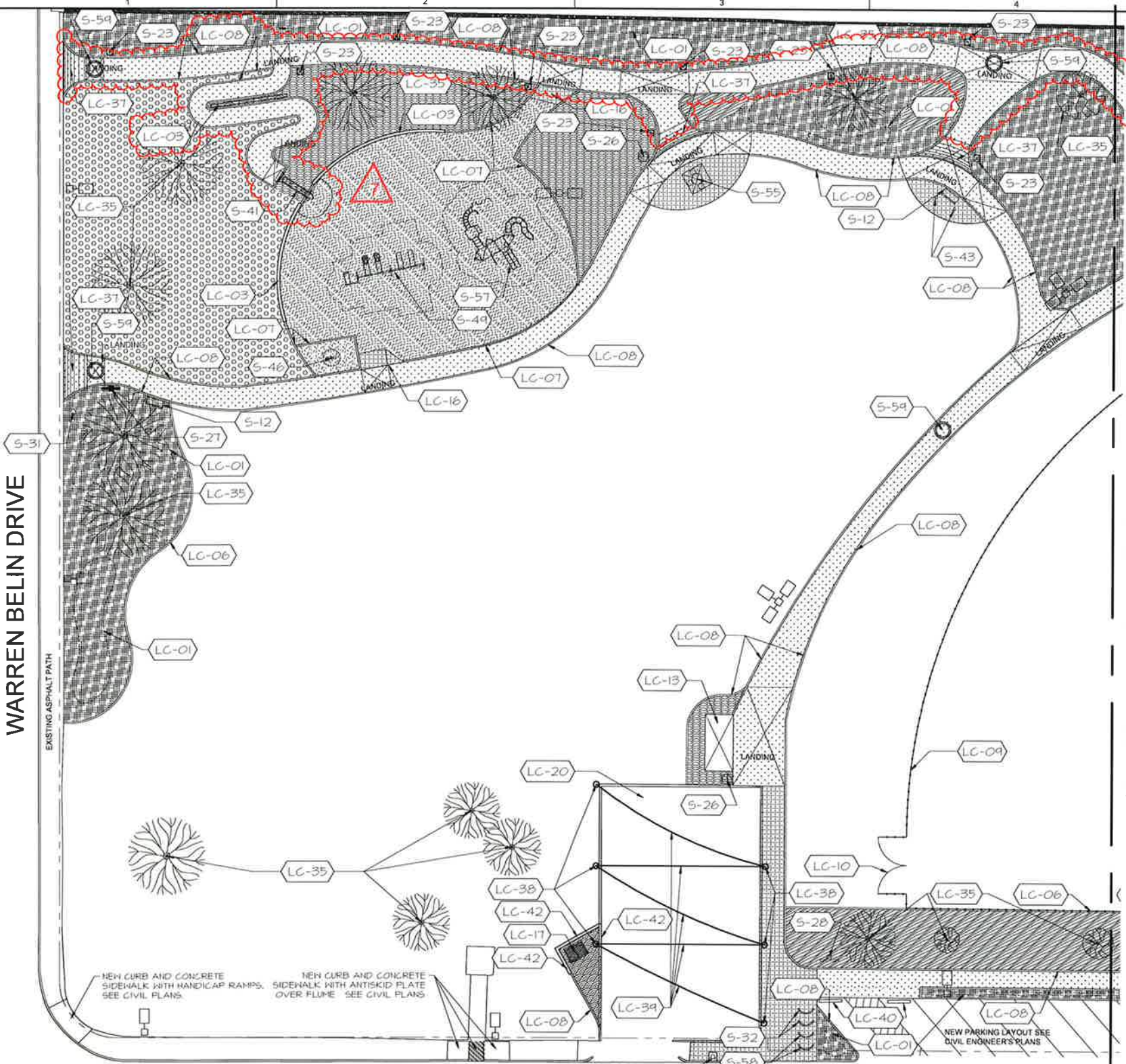
Phase Code / Description	Cost Type	Quantity	UM	Amount
3000	Earthwork	1L Labor	1.00	445.74
3000	Earthwork	5R Equipment Renta	1.00	577.26
3000	Earthwork	6H Hauling	1.00	150.00
2000	Demolition	1L Labor	1.00	218.50
2000	Demolition	4E Equipment Owned	1.00	356.50
5000	Concrete	1L Labor	1.00	534.89
5000	Concrete	3M Material	1.00	872.71
5000	Rockwall	1L Labor	1.00	1,614.80
5000	Rockwall	3M Material	1.00	2,705.20
Contractor Pricing Total:				7,475.60
Total:				7,475.60
Mark-up:				1,250.29
Total Contractor Price for CR 1006				8,725.89

Approvals

Customer: Town of Horizon City
 Authorized Representative: _____
 By: _____
 Date: _____

Contractor: Allen Concrete, LLC
 By: _____
 Date: _____

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CONSTRUCTION PLAN
SCALE 1"=20'

SITE LEGEND

	PROVIDE AND INSTALL ASPHALT TRAIL. SEE CIVIL ENGINEER'S PLANS & DETAILS. PROVIDE MAX 5% SLOPE AND 2% LANDINGS.		PROVIDE AND INSTALL 6" DEPTH CONCRETE BROOM FINISH, MAX 2% SLOPE IN ALL DIRECTIONS. WHERE NEW CONCRETE ABUTS EXISTING CONCRETE OR PAVING, PROVIDE SMOOTH FLUSH TRANSITION & EXPANSION MATERIAL. SEE DETAIL A/LC-501.		PROVIDE AND INSTALL FINE PLAY SAND, 12" DEPTH CLEAN, WASHED, MORTAR SAND WITH FILTER FABRIC UNDERLAYMENT. CONTRACTOR TO PROVIDE 12" EXCAVATION FOR AREA. SEE GRADING PLANS AND DETAIL D/LC-501.		PROVIDE AND INSTALL DESERT TAN OR RAINBOW STABILIZED SCREENINGS, 3" DEPTH WITH WEED BARRIER FABRIC UNDERLAYMENT. PROVIDE MAX 5% RUNNING SLOPE AND 2% LANDINGS.		PROPERTY LINE
	PROVIDE AND INSTALL DESERT TAN OR RAINBOW SCREENINGS, 3" DEPTH WITH WEED BARRIER FABRIC UNDERLAYMENT.		PROVIDE AND INSTALL 4" DEPTH CONCRETE, BROOM FINISH, MAX 2% SLOPE IN ALL DIRECTIONS. WHERE NEW CONCRETE ABUTS EXISTING CONCRETE OR PAVING, PROVIDE SMOOTH FLUSH TRANSITION & EXPANSION MATERIAL. SEE DETAIL B/LC-501.		PROVIDE AND INSTALL ENGINEERED WOOD FIBER, 12" DEPTH. CONTRACTOR TO PROVIDE 12" EXCAVATION FOR AREA. SEE GRADING PLANS AND DETAIL G/LC-501.		EXISTING ROCK TO REMAIN. PROVIDE AND INSTALL ADDITIONAL MATCHING ROCK SIZE AND COLOR FOR A CONSISTENT LOOK. CONTRACTOR SHALL ASSUME AN ADDITIONAL 2" DEPTH.		EXISTING TREE. PROTECT FROM DAMAGE. SEE DETAIL D/LP-501.
	PROVIDE AND INSTALL 1" DESERT TAN OR RAINBOW ROCK MULCH, 3" DEPTH WITH WEED BARRIER FABRIC UNDERLAYMENT.		PROVIDE AND INSTALL STABILIZER SOLUTIONS BALLYARD BROWN INFIELD MIX OR APPROVED EQUAL, 5" DEPTH. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.		EXISTING CANOPY AND TABLE WITH SEATS TO REMAIN. PROTECT FROM DAMAGE.		NEW CHAIN LINK FENCE. SEE CONSTRUCTION NOTES.		NEW LIGHT FIXTURES. SEE ELECTRICAL PLANS.
	PROVIDE AND INSTALL 1" GOLDEN BROWN ROCK MULCH, 3" DEPTH WITH WEED BARRIER FABRIC UNDERLAYMENT.				SKATE PARK RULES SIGN. SEE DETAIL 7XJ-503.				

LANDSCAPE CONSTRUCTION SCHEDULE

ALL ITEMS SHALL BE AS INDICATED OR APPROVED EQUAL.

CODE	DESCRIPTION
LC-01	1'-0" DEPTH SHALE FOR WATER HARVESTING, GRADUALLY GRADE TO FINAL DEPTH WITH SMOOTH SIDES. LANDSCAPE ARCHITECT TO APPROVE SHALES.
LC-03	PROVIDE AND INSTALL 18" HIGH ROCKWALL WITH CONCRETE CAP. SEE DETAIL G/LC-501.
LC-06	PROVIDE AND INSTALL 6" X 6" CONCRETE CURB MONSTRIP SEE DETAIL C/LC-501.
LC-07	PROVIDE AND INSTALL 6" X 24" CONCRETE CURB MONSTRIP. SEE DETAIL D/LC-501.
LC-08	PROVIDE AND INSTALL 6" X 12" CONCRETE CURB MONSTRIP ADJACENT TO ASPHALT TRAILS. SEE CIVIL DETAILS.
LC-09	PROVIDE AND INSTALL 6 FT. HIGH CHAIN LINK FENCE PROVIDE FENCE FOOTING, AND ALL FENCE COMPONENTS. SEE DETAIL A/LC-503.
LC-10	PROVIDE AND INSTALL TOTAL (20 FT. WIDE) TWO 10 FT. WIDE CHAIN LINK GATES. GATE INCLUDES FENCE PANELS, POSTS, HINGES, LOCKS AND ALL FENCE CONNECTION COMPONENTS. CONTRACTOR TO PROVIDE UNOBSTRUCTED PATH TO ALLOW GATES TO OPEN AND CLOSE SMOOTHLY IN BOTH 180 DEGREES; DIRECTIONS. SEE DETAIL B/LC-503.
LC-13	PROVIDE AND INSTALL PREFABRICATED RESTROOM BUILDING. CONTRACTOR TO PROVIDE CONCRETE, CONNECTIONS & UTILITIES UP TO 5 FT FROM BUILDING ENVELOPE. GENERAL CONTRACTOR TO COORDINATE & FACILITATE INSTALLATION WITH PREFABRICATED BUILDING MANUFACTURER. SEE DETAIL A/LC-504.
LC-16	PROVIDE AND INSTALL ADA ACCESSIBLE PLAYGROUND CONCRETE RAMP. SEE DETAILS E & F/LC-501.
LC-17	EXISTING DUMPSTER, NEW LOCATION.
LC-19	NEW LOCATION FOR EXISTING BLEACHERS. CONTRACTOR TO SAND, PRIME, AND REPAINT BLEACHERS.
LC-20	EXISTING CONCRETE PAD TO BE PAINTED. SEE DETAIL A/LC-507 FOR DESIGN.
LC-21	BASKETBALL COURT TO BE COVERED AND RESTRIPTED WITH STREETBOND PAVEMENT COATING SYSTEM 'SIPLAST' OR APPROVED EQUAL. SEE GENERAL NOTES FOR STREETBOND PAVEMENT COATING.
LC-22	EXISTING PORTA POTTIES NEW LOCATION.
LC-35	TREE TO REMAIN AND PROTECT FROM DAMAGE.
LC-37	PROVIDE ASPHALT RAMP WITH 2% CROSS SLOPE AND LANDING.
LC-40	PROVIDE AND INSTALL PARKING STOPS. SEE CIVIL PLANS AND CIVIL DETAILS.
LC-42	PROVIDE AND INSTALL 6 FT ROCK WALL W/ WROUGHT IRON FENCE. SEE DETAIL C/LC-508.

SITE FURNISHING SCHEDULE

ALL ITEMS SHALL BE AS INDICATED OR APPROVED EQUAL.

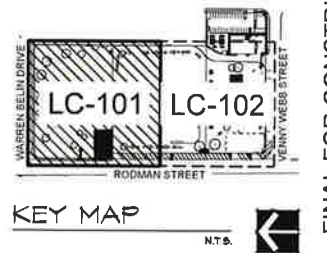
CODE	DESCRIPTION
S-12	PROVIDE AND INSTALL 6" BENCH. SEE DETAIL A/LC-506.
S-21	PROVIDE AND INSTALL 5' X 3' ALUMINUM PANELS ON THE INSIDE OF CHAIN LINK FENCE 1/8" THICKNESS AND 1/4" MOUNTING HOLES AROUND EDGE OF PANEL. SEE DETAIL B/LC-507.
S-23	PROVIDE AND INSTALL SYMMETRICAL SOLAR POWERED PEDESTRIAN LIGHT FIXTURE AND CONCRETE SUPPORT BASE. SEE DETAIL A/LC-509.
S-25	PROVIDE AND INSTALL 30' X 30' FABRIC CANOPY OVER PLAYGROUND STRUCTURE. SEE DETAIL B/LC-502.
S-26	PROVIDE AND INSTALL IN GROUND MOUNT TRASH RECEPTACLE. SEE DETAIL B/LC-506.
S-27	PROVIDE AND INSTALL PET WASTE STATION. SEE DETAIL C/LC-502.
S-28	PROVIDE AND INSTALL PARK NAME SIGN. SEE DETAIL B/LC-502.
S-30	PROVIDE AND INSTALL 6' X 30' FABRIC CANOPY OVER BASEBALL FIELD DUGOUTS. SEE DETAIL A/LC-508.

GENERAL NOTES

- CONTRACTOR SHALL PROVIDE CLEAN FLUSH TRANSITION BETWEEN ASPHALT AND CONCRETE WHERE THEY ARE ADJACENT.

ADD ALTERNATES SCHEDULE

S-46	ADD ALT 1- PROVIDE AND INSTALL NEW PLAY PIECE LANDSCAPE STRUCTURES MODEL NO. 123831 "SUPER SCOOP". SEE DETAIL D/LC-511.
S-47	ADD ALT 1- PROVIDE AND INSTALL NEW PLAY PIECE LANDSCAPE STRUCTURES MODEL NO. 123832 "SUPER SCOOP (ACCESSIBLE)". SEE DETAIL B/LC-511.
S-48	ADD ALT 1- PROVIDE AND INSTALL EXERCISE EQUIPMENT PIECE LANDSCAPE STRUCTURES MODEL NO. 142454 "HEALTHBEAT BALANCE STEPS". SEE DETAIL F/LC-511.
S-44	ADD ALT 1- PROVIDE AND INSTALL LANDSCAPE STRUCTURES SHING SET W/ 2 BELT SEATS, 2 MOLDED SEATS W/ HARNESS AND 1 BUCKET SEAT. SEE DETAIL C/LC-510.
S-50	ADD ALT 1- PROVIDE AND INSTALL EXERCISE EQUIPMENT PIECE LANDSCAPE STRUCTURES MODEL NO. 142461 "HEALTHBEAT SQUAT PRESS". SEE DETAIL E/LC-511.
S-51	ADD ALT 1- PROVIDE AND INSTALL EXERCISE EQUIPMENT PIECE LANDSCAPE STRUCTURES MODEL NO. 142456 "HEALTHBEAT CHEST/BACK". SEE DETAIL F/LC-511.
S-53	ADD ALT 1- PROVIDE AND INSTALL TABLE TENNIS. SEE DETAIL C/LC-506.
S-54	ADD ALT 1- PROVIDE AND INSTALL CORNHOLE GAME. SEE DETAIL D/LC-506.
S-55	ADD ALT 1- PROVIDE AND INSTALL ADA PICNIC TABLE. SEE DETAIL A/LC-505.
S-56	ADD ALT 1- PROVIDE AND INSTALL EXERCISE EQUIPMENT PIECE LANDSCAPE STRUCTURES MODEL NO. 142460 "HEALTHBEAT FULL-UP/DIP". SEE DETAIL H/LC-511.
S-57	ADD ALT 1- PROVIDE AND INSTALL NEW PLAY STRUCTURE. SEE DETAIL B/LC-510.
S-58	ADD ALT 1- PROVIDE AND INSTALL NEW BIKE RACK. SEE DETAIL B/LC-508.
S-59	ADD ALT 1- PROVIDE AND INSTALL DISTANCE MARK. SEE DETAIL C/LC-503.
LC-38	ADD ALT 1- PROVIDE AND INSTALL 15' POLES FOR CATENARY LIGHT FIXTURES. SEE ELECTRICAL PLANS.
LC-39	ADD ALT 1- PROVIDE AND INSTALL CATENARY LIGHTS. SEE ELECTRICAL PLANS.
S-31	PROVIDE AND INSTALL PARK RULES SIGN. SEE DETAIL A/LC-502.
S-32	PROVIDE AND INSTALL NEW BIKE RACK. SEE DETAIL B/LC-508.
S-37	PROVIDE AND INSTALL EXERCISE EQUIPMENT PIECE LANDSCAPE STRUCTURES MODEL NO. 142459 "HEALTHBEAT PLYOMETRICS". SEE DETAIL A/LC-511.
S-41	PROVIDE AND INSTALL EMBANKMENT SLIDE LANDSCAPE STRUCTURES MODEL NO. 142463 "SLIDE WINDER 2 W/ RAMP DECK EXTENSION". SEE DETAIL D/LC-510 & C/LC-511.
S-42	PROVIDE AND INSTALL A PLAY STRUCTURE. LANDSCAPE STRUCTURES. SEE DETAIL A/LC-510.
S-43	IN-GROUND MOUNTING HOOKS FOR MOVIE PROJECTION SCREEN. CONTRACTOR TO COORDINATE EXACT LOCATIONS WITH TOWN OF HORIZON CITY REPRESENTATIVE. SEE DETAIL B/LC-504.
S-44	PROVIDE AND INSTALL A REGULATION LITTLE LEAGUE FITCHER'S MOUND. SEE DETAIL C/LC-507.



SEAL

 04-24-20

SCALE
 HORIZ. VERT. DATE: 04/24/2020
 DESIGNED BY: STAFF
 DRAWN BY: D. HRADEK
 CHECKED BY: D. HRADEK
 APPROVED BY: 2019050
 JOB NO.

SITES
 SOUTH WEST
 14999 DARRINGTON ROAD
 HORIZON CITY, TX 79928
 (915) 852-1046

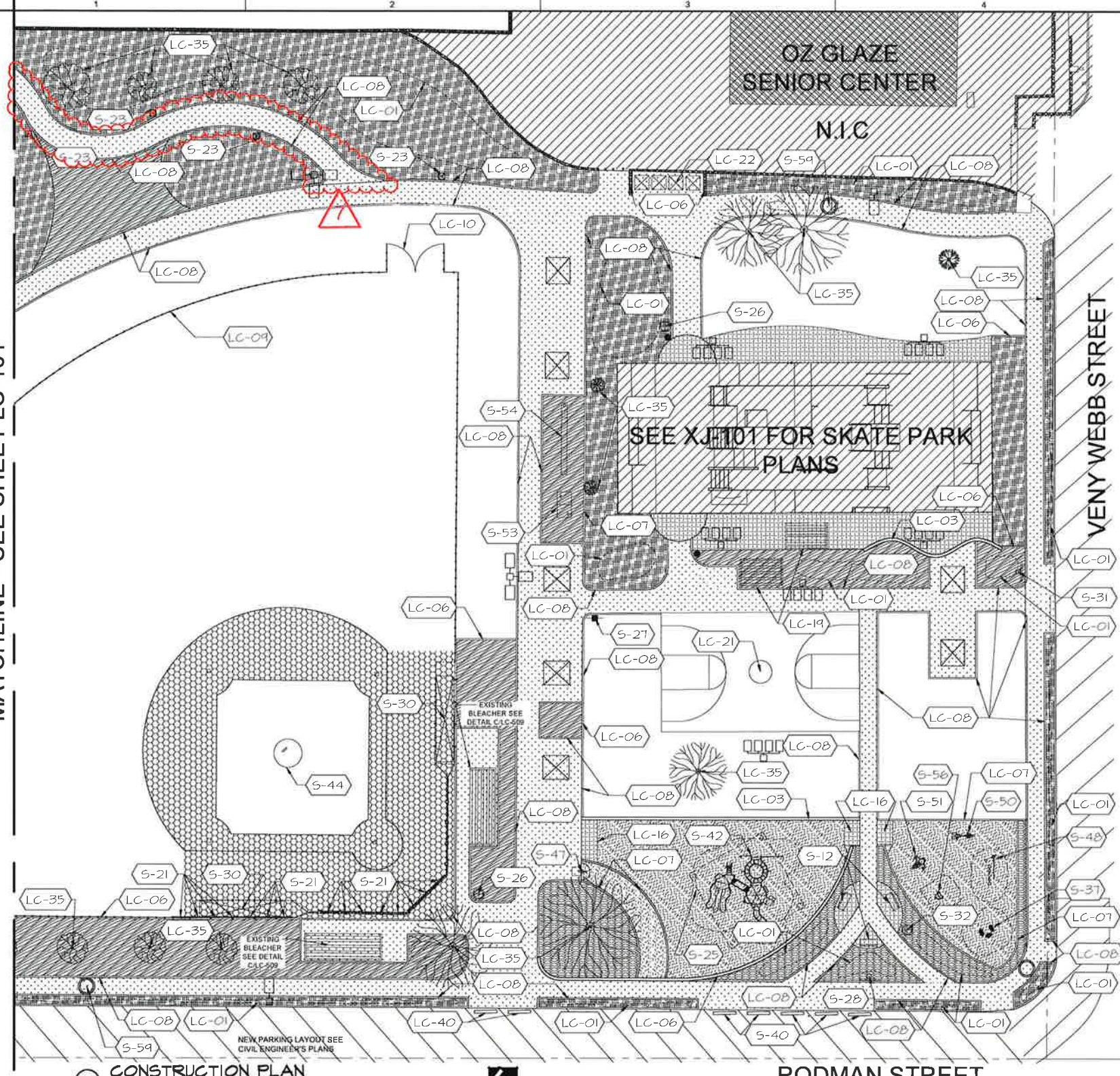
PROJECT
 DESMOND CORCORAN PARK
 RODMAN STREET
 HORIZON CITY, TX 79928

TOWN OF HORIZON CITY
 14999 DARRINGTON ROAD
 HORIZON CITY, TX 79928
 (915) 852-1046

CONSTRUCTION PLAN
LC-101 R7

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MATCHLINE - SEE SHEET LC-101



CONSTRUCTION PLAN
SCALE 1"=20'

LANDSCAPE CONSTRUCTION SCHEDULE

ALL ITEMS SHALL BE AS INDICATED OR APPROVED EQUAL.

CODE	DESCRIPTION
LC-01	1'-0" DEPTH SHALE FOR WATER HARVESTING, GRADUALLY GRADE TO FINAL DEPTH WITH SMOOTH SIDES. LANDSCAPE ARCHITECT TO APPROVE SHALES.
LC-03	PROVIDE AND INSTALL 18" HIGH ROCKWALL WITH CONCRETE CAP. SEE DETAIL 6/LC-501.
LC-06	PROVIDE AND INSTALL 6" X 6" CONCRETE CURB MOHSTRIP SEE DETAIL 6/LC-501.
LC-07	PROVIDE AND INSTALL 6" X 24" CONCRETE CURB MOHSTRIP. SEE DETAIL 6/LC-501.
LC-08	PROVIDE AND INSTALL 6" X 12" CONCRETE CURB MOHSTRIP ADJACENT TO ASPHALT TRAILS. SEE CIVIL DETAILS.
LC-04	PROVIDE AND INSTALL 6 FT. HIGH CHAIN LINK FENCE PROVIDE FENCE FOOTINGS, AND ALL FENCE COMPONENTS. SEE DETAIL A/LC-503.
LC-10	PROVIDE AND INSTALL TOTAL (20 FT. WIDE) TWO 10 FT WIDE CHAIN LINK GATES. GATE INCLUDES FENCE PANELS, POSTS, HINGES, LOCKS AND ALL FENCE CONNECTION COMPONENTS. CONTRACTOR TO PROVIDE UNOBSTRUCTED PATH TO ALLOW GATES TO OPEN AND CLOSE SMOOTHLY IN BOTH 180 DEGREES, DIRECTIONS. SEE DETAIL B/LC-503.
LC-13	PROVIDE AND INSTALL PREFABRICATED RESTROOM BUILDING. CONTRACTOR TO PROVIDE CONCRETE, CONNECTIONS & UTILITIES UP TO 5 FT FROM BUILDING ENVELOPE. GENERAL CONTRACTOR TO COORDINATE & FACILITATE INSTALLATION WITH PREFABRICATED BUILDING MANUFACTURER. SEE DETAIL A/LC-504.
LC-16	PROVIDE AND INSTALL ADA ACCESSIBLE PLAYGROUND CONCRETE RAMP. SEE DETAILS E & F/LC-501.
LC-17	EXISTING DUMPSTER, NEW LOCATION.
LC-19	NEW LOCATION FOR EXISTING BLEACHERS. CONTRACTOR TO SAND, PRIME, AND REPAINT BLEACHERS.
LC-20	EXISTING CONCRETE PAD TO BE PAINTED. SEE DETAIL A/LC-501 FOR DESIGN.
LC-21	BASKETBALL COURT TO BE COVERED AND RESTRIPTED WITH STREETBOND PAVEMENT COATING SYSTEM 'SIPLAST' OR APPROVED EQUAL. SEE GENERAL NOTES FOR STREETBOND PAVEMENT COATING.
LC-22	EXISTING PORTA POTTIES NEW LOCATION
LC-35	TREE TO REMAIN AND PROTECT FROM DAMAGE.
LC-37	PROVIDE ASPHALT RAMP WITH 2% CROSS SLOPE AND LANDING
LC-40	PROVIDE AND INSTALL PARKING STOPS. SEE CIVIL PLANS AND CIVIL DETAILS.
LC-42	PROVIDE AND INSTALL 6 FT ROCK WALL W/ WROUGHT IRON FENCE. SEE DETAIL 6/LC-503.

SITE FURNISHING SCHEDULE

ALL ITEMS SHALL BE AS INDICATED OR APPROVED EQUAL.

CODE	DESCRIPTION
S-12	PROVIDE AND INSTALL 6' BENCH. SEE DETAIL A/LC-506.
S-21	PROVIDE AND INSTALL 5' X 3' ALUMINUM PANELS ON THE INSIDE OF CHAIN LINK FENCE 1/8" THICKNESS AND 1/4" MOUNTING HOLES AROUND EDGE OF PANEL. SEE DETAIL B/LC-507.
S-23	PROVIDE AND INSTALL SYMMETRICAL SOLAR POWERED PEDESTRIAN LIGHT FIXTURE AND CONCRETE SUPPORT BASE. SEE DETAIL A/LC-504.
S-25	PROVIDE AND INSTALL 30' X 30' FABRIC CANOPY OVER PLAYGROUND STRUCTURE. SEE DETAIL E/LC-502.
S-26	PROVIDE AND INSTALL IN GROUND MOUNT TRASH RECEPTACLE. SEE DETAIL B/LC-506.
S-27	PROVIDE AND INSTALL PET WASTE STATION. SEE DETAIL 6/LC-502.
S-28	PROVIDE AND INSTALL PARK NAME SIGN. SEE DETAIL B/LC-502.
S-30	PROVIDE AND INSTALL 6' X 30' FABRIC CANOPY OVER BASEBALL FIELD DUSCUTS. SEE DETAIL A/LC-503.
S-31	PROVIDE AND INSTALL PARK RULES SIGN. SEE DETAIL A/LC-502.
S-32	PROVIDE AND INSTALL NEW BIKE RACK. SEE DETAIL B/LC-508.
S-37	PROVIDE AND INSTALL EXERCISE EQUIPMENT PIECE LANDSCAPE STRUCTURES MODEL NO. 192459 'HEALTHBEAT PLYOMETRICS'. SEE DETAIL A/LC-511.
S-41	PROVIDE AND INSTALL EMBANKMENT SLIDE LANDSCAPE STRUCTURES MODEL NO. 124863 'SLIDE WINDER 2 W/ RAMP DECK EXTENSION'. SEE DETAIL D/LC-510 & 6/LC-511.
S-42	PROVIDE AND INSTALL A PLAY STRUCTURE LANDSCAPE STRUCTURES SEE DETAIL A/LC-510.
S-43	IN-GROUND MOUNTING HOOKS FOR MOVIE PROJECTION SCREEN. CONTRACTOR TO COORDINATE EXACT LOCATIONS WITH TOWN OF HORIZON CITY REPRESENTATIVE. SEE DETAIL B/LC-504.
S-44	PROVIDE AND INSTALL A REGULATION LITTLE LEAGUE PITCHER'S MOUND. SEE DETAIL 6/LC-501.

ADD ALTERNATES SCHEDULE

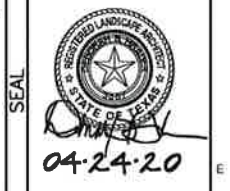
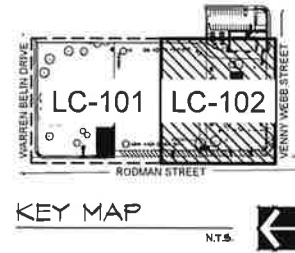
5-46	ADD ALT 1 - PROVIDE AND INSTALL NEW PLAY PIECE LANDSCAPE STRUCTURES MODEL NO. 123831 'SUPER SCOOP'. SEE DETAIL D/LC-511.
5-47	ADD ALT 1 - PROVIDE AND INSTALL NEW PLAY PIECE LANDSCAPE STRUCTURES MODEL NO. 123832 'SUPER SCOOP (ACCESSIBLE)'. SEE DETAIL B/LC-511.
5-48	ADD ALT 1 - PROVIDE AND INSTALL EXERCISE EQUIPMENT PIECE LANDSCAPE STRUCTURES MODEL NO. 192456 'HEALTHBEAT BALANCE STEPS' SEE DETAIL F/LC-511.
5-44	ADD ALT 1 - PROVIDE AND INSTALL LANDSCAPE STRUCTURES SHINO SET W/ 2 BELT SEATS, 2 MOLDED SEATS W/ HARNESS AND 1 BUCKET SEAT. SEE DETAIL 6/LC-510.
5-50	ADD ALT 1 - PROVIDE AND INSTALL EXERCISE EQUIPMENT PIECE LANDSCAPE STRUCTURES MODEL NO. 192461 'HEALTHBEAT SQUAT PRESS'. SEE DETAIL E/LC-511.
5-51	ADD ALT 1 - PROVIDE AND INSTALL EXERCISE EQUIPMENT PIECE LANDSCAPE STRUCTURES MODEL NO. 192456 'HEALTHBEAT CHEST/BACK'. SEE DETAIL F/LC-511.
5-53	ADD ALT 1 - PROVIDE AND INSTALL TABLE TENNIS. SEE DETAIL 6/LC-506.
5-54	ADD ALT 1 - PROVIDE AND INSTALL CORNHOLE GAME. SEE DETAIL D/LC-506.
5-55	ADD ALT 1 - PROVIDE AND INSTALL ADA PICNIC TABLE. SEE DETAIL A/LC-505.
5-56	ADD ALT 1 - PROVIDE AND INSTALL EXERCISE EQUIPMENT PIECE LANDSCAPE STRUCTURES MODEL NO. 192460 'HEALTHBEAT FULL-UP/DIP'. SEE DETAIL H/LC-511.
5-57	ADD ALT 1 - PROVIDE AND INSTALL NEW PLAY STRUCTURE. SEE DETAIL B/LC-510.
5-58	ADD ALT 1 - PROVIDE AND INSTALL NEW BIKE RACK. SEE DETAIL B/LC-508.
5-59	ADD ALT 1 - PROVIDE AND INSTALL DISTANCE MARK. SEE DETAIL 6/LC-503.
LC-38	ADD ALT 1 - PROVIDE AND INSTALL 15' POLES FOR CATENARY LIGHT FIXTURES. SEE ELECTRICAL PLANS.
LC-39	ADD ALT 1 - PROVIDE AND INSTALL CATENARY LIGHTS. SEE ELECTRICAL PLANS.

GENERAL NOTES

- CONTRACTOR SHALL PROVIDE CLEAR FLUSH TRANSITION BETWEEN ASPHALT AND CONCRETE WHERE THEY ARE ADJACENT.

SITE LEGEND

	PROVIDE AND INSTALL ASPHALT TRAIL. SEE CIVIL ENGINEER'S PLANS & DETAILS. PROVIDE MAX 5% SLOPE AND 2% LANDINGS.		PROVIDE AND INSTALL 6" DEPTH CONCRETE BROOM FINISH, MAX 2% SLOPE IN ALL DIRECTIONS. WHERE NEW CONCRETE ABUTS EXISTING CONCRETE OR PAVING, PROVIDE SMOOTH FLUSH TRANSITION & EXPANSION MATERIAL. SEE DETAIL 6/LC-501.		PROVIDE AND INSTALL FINE PLAY SAND, 12" DEPTH CLEAN, WASHED, MORTAR SAND WITH FILTER FABRIC UNDERLAYMENT. CONTRACTOR TO PROVIDE 12" EXCAVATION FOR AREA. SEE GRADING PLANS AND DETAIL D/LC-501.		PROVIDE AND INSTALL DESERT TAN OR RAINBOW STABILIZED SCREENINGS, 3" DEPTH WITH WEED BARRIER FABRIC UNDERLAYMENT. PROVIDE MAX 5% RUNNING SLOPE AND 2% LANDINGS.		EXISTING ROCK TO REMAIN. PROVIDE AND INSTALL ADDITIONAL MATCHING ROCK SIZE AND COLOR FOR A CONSISTENT LOOK. CONTRACTOR SHALL ASSUME AN ADDITIONAL 2" DEPTH.		PROPERTY LINE
	PROVIDE AND INSTALL DESERT TAN OR RAINBOW SCREENINGS, 3" DEPTH WITH WEED BARRIER FABRIC UNDERLAYMENT.		PROVIDE AND INSTALL 4" DEPTH CONCRETE BROOM FINISH, MAX 2% SLOPE IN ALL DIRECTIONS. WHERE NEW CONCRETE ABUTS EXISTING CONCRETE OR PAVING, PROVIDE SMOOTH FLUSH TRANSITION & EXPANSION MATERIAL. SEE DETAIL B/LC-501.		PROVIDE AND INSTALL ENGINEERED WOOD FIBER, 12" DEPTH. CONTRACTOR TO PROVIDE 12" EXCAVATION FOR AREA. SEE GRADING PLANS AND DETAIL 6/LC-501.		PROVIDE AND INSTALL DESERT TAN OR RAINBOW STABILIZED SCREENINGS, 3" DEPTH WITH WEED BARRIER FABRIC UNDERLAYMENT. PROVIDE MAX 5% RUNNING SLOPE AND 2% LANDINGS.		EXISTING TREE. PROTECT FROM DAMAGE. SEE DETAIL D/LP-501.		EXISTING CANOPY AND TABLE WITH SEATS TO REMAIN. PROTECT FROM DAMAGE.
	PROVIDE AND INSTALL 1" DESERT TAN OR RAINBOW ROCK MULCH, 3" DEPTH WITH WEED BARRIER FABRIC UNDERLAYMENT.		PROVIDE AND INSTALL 1" GOLDEN BROWN ROCK MULCH, 3" DEPTH WITH WEED BARRIER FABRIC UNDERLAYMENT.		PROVIDE AND INSTALL STABILIZER SOLUTIONS BALLYARD BROWN INFIELD MIX OR APPROVED EQUAL, 5" DEPTH. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.		NEW CHAIN LINK FENCE. SEE CONSTRUCTION NOTES.		NEW LIGHT FIXTURES. SEE ELECTRICAL PLANS.		SKATE PARK RULES SIGN. SEE DETAIL 7/XJ-503.



DESIGNED BY: [Signature]
DATE: 04/24/2020
DRAWN BY: STAFF
CHECKED BY: D.HRADEK
APPROVED BY: [Signature]
JOB NO. 2019050



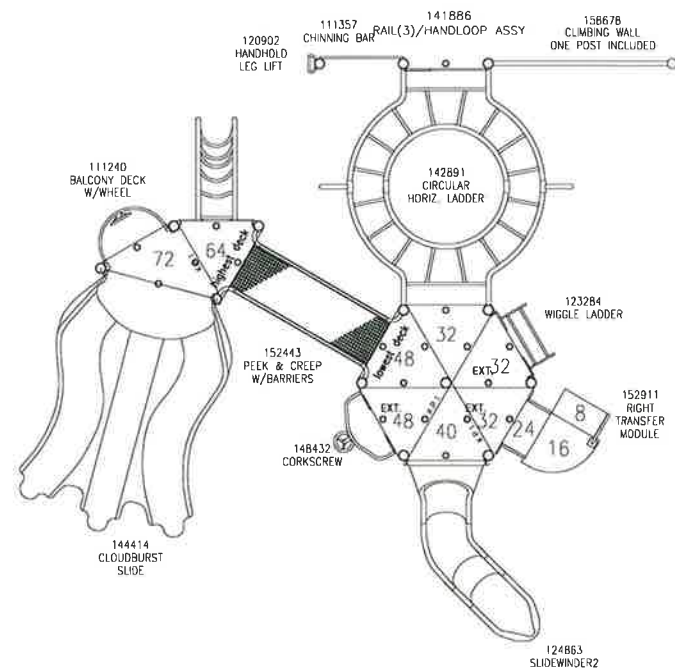
PROJECT
DESMOND CORCORAN PARK
RODMAN STREET
HORIZON CITY, TX 79928

TOWN OF
HORIZON CITY
14999 DARRINGTON ROAD
HORIZON CITY, TX 79928
(915) 852-1046

CONSTRUCTION PLAN

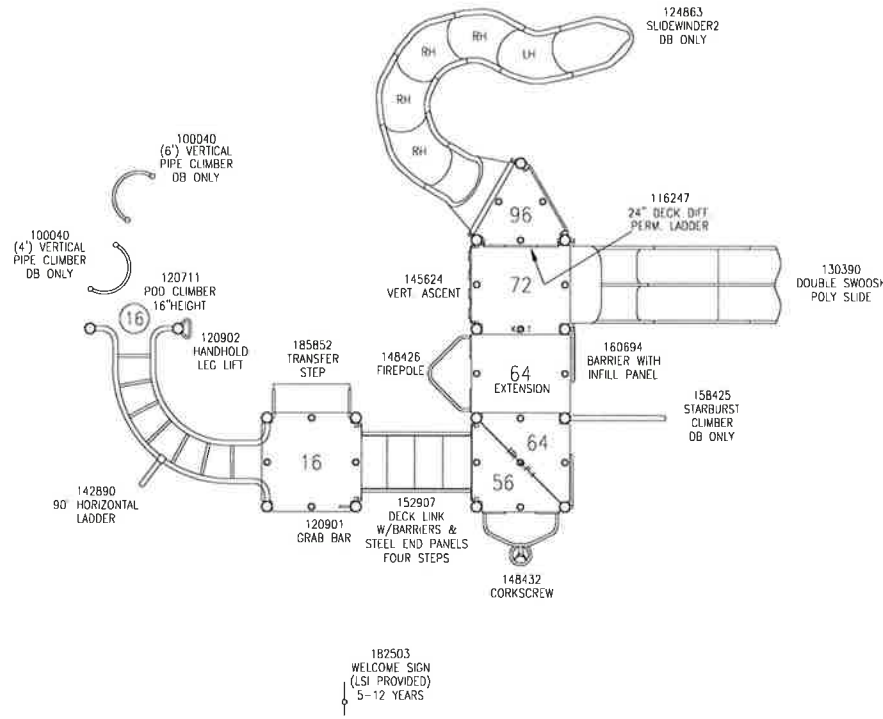
LC-102 R7

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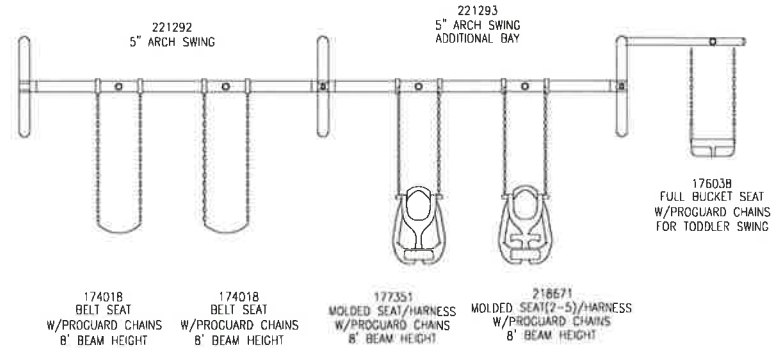
NOTES:
 1. CONTRACTOR SHALL PROVIDE SUBMITTAL FOR COLOR SELECTION PRIOR TO CONSTRUCTION
 2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

A PLAYGROUND PIECE 'LANDSCAPE STRUCTURES' OR APPROVED EQUAL MODEL PLAYBOOSTER, DESIGN 3830 Not to scale



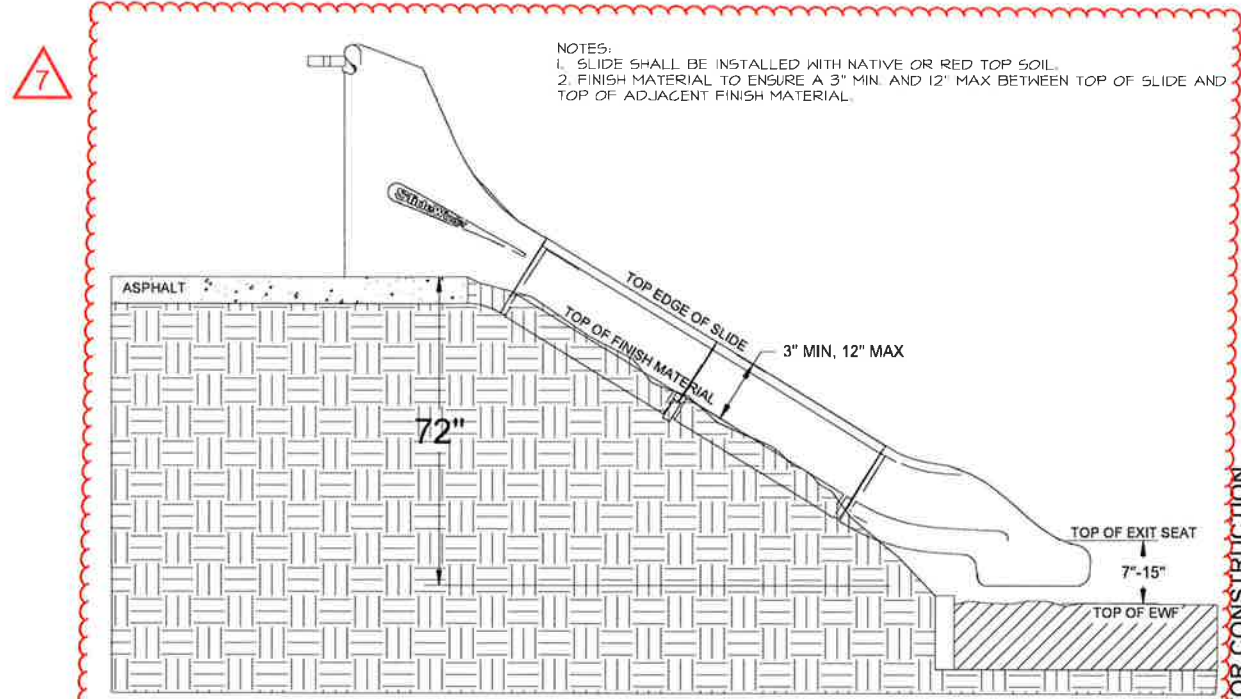
NOTES:
 1. CONTRACTOR SHALL PROVIDE SUBMITTAL FOR COLOR SELECTION PRIOR TO CONSTRUCTION
 2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

B PLAYGROUND PIECE 'LANDSCAPE STRUCTURES' OR APPROVED EQUAL ADDITIVE ALTERNATE No.1 Not to scale



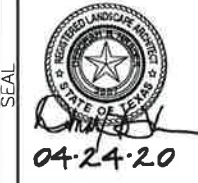
NOTES:
 1. CONTRACTOR SHALL PROVIDE SUBMITTAL FOR COLOR SELECTION PRIOR TO CONSTRUCTION
 2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

C PLAYGROUND PIECE 'LANDSCAPE STRUCTURES' OR APPROVED EQUAL ADDITIVE ALTERNATE No.1 5 PIECE SWING SET Not to scale



NOTES:
 1. SLIDE SHALL BE INSTALLED WITH NATIVE OR RED TOP SOIL.
 2. FINISH MATERIAL TO ENSURE A 3\"/>

D EMBANKMENT SLIDE Not to scale



SCALE:
 HORIZ: _____
 VERT: _____
 DATE: 04/24/2020
 DESIGNED BY: STAFF
 DRAWN BY: STAFF
 CHECKED BY: D.HRADEK
 APPROVED BY: D.HRADEK
 JOB NO.: 2019030



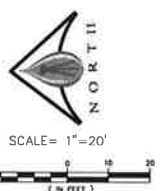
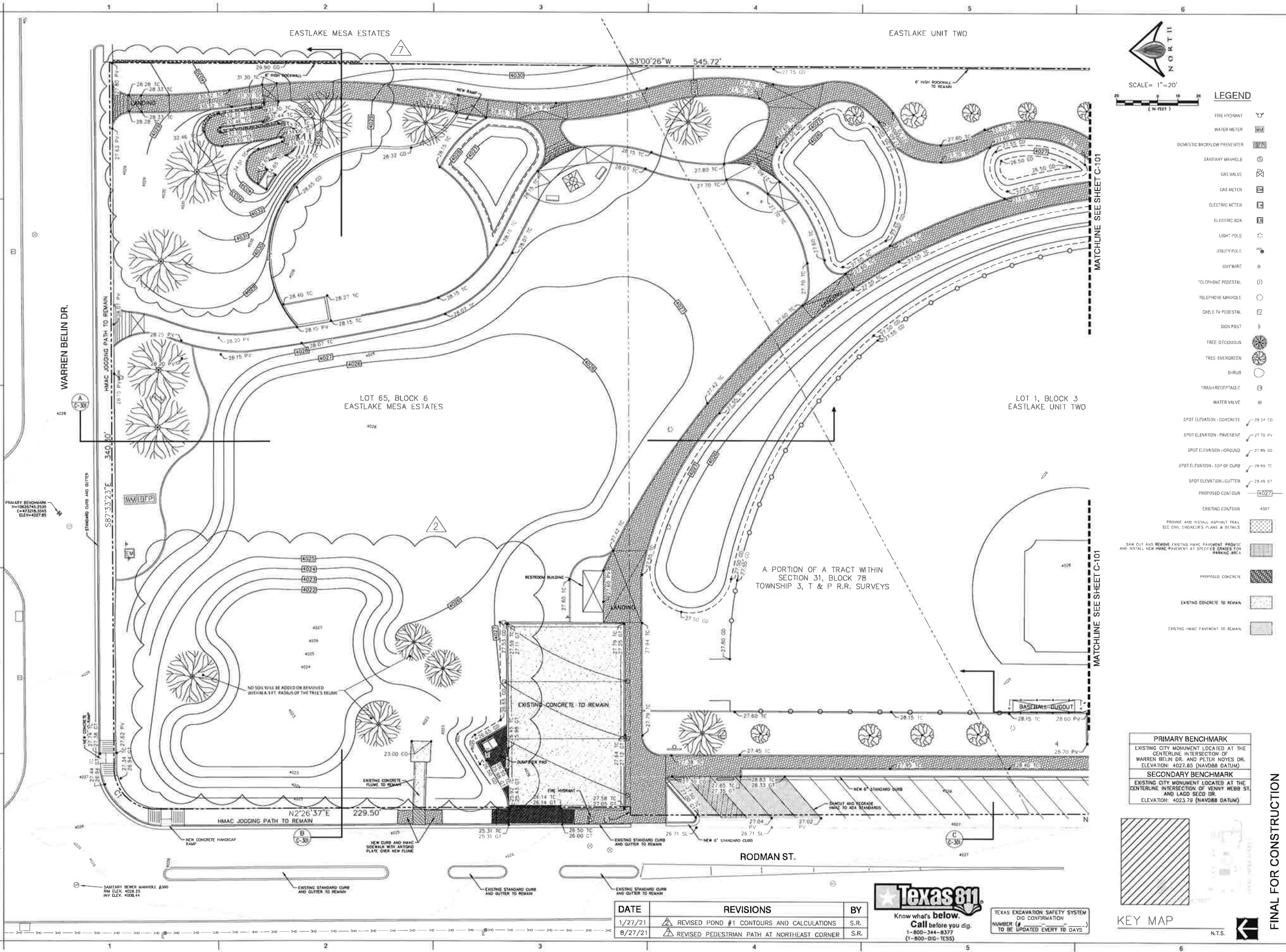
PROJECT
DESMOND CORCORAN PARK
 RODMAN STREET
 HORIZON CITY, TX 79928

TOWN OF
HORIZON CITY
 14999 DARRINGTON ROAD
 HORIZON CITY, TX 79928
 (915) 852-1046

LANDSCAPE
 CONSTRUCTION
 DETAILS
LC-510 R7

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2: Clients/Sites Southwest\021919-2 Corry Park Improvements\07-CADD\04-Improvements\Revised Drawings_07-08-21\02-Drawings\switch backing B-27-21 01:29:04 PM Sammy

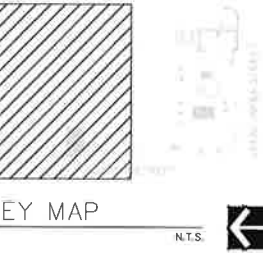


LEGEND

- FIRE HYDRANT
- WATER METER
- DOMESTIC BACKFLOW PREVENTER
- SANITARY MANHOLE
- GAS VALVE
- GAS METER
- ELECTRIC METER
- ELECTRIC BOX
- LIGHT POLE
- UTILITY POLE
- UTILITY WIRE
- UTILITY POLE
- TELEPHONE PEDESTAL
- TELEPHONE MANHOLE
- CABLE TV PEDESTAL
- SIGN POST
- TREE DECIDUOUS
- TREE EVERGREEN
- SHRUB
- TRASH RECEPTACLE
- WATER VALVE
- SPOT ELEVATION - CONCRETE
- SPOT ELEVATION - PAVEMENT
- SPOT ELEVATION - GROUND
- SPOT ELEVATION - TOP OF CURB
- SPOT ELEVATION - GUTTER
- PROPOSED CONTOUR
- EXISTING CONTOUR
- PROVIDE AND INSTALL ASPHALT TRAIL
- SAW OUT AND REMOVE EXISTING HMAC PAVEMENT
- PROPOSED CONCRETE
- EXISTING CONCRETE TO REMAIN
- EXISTING HMAC PAVEMENT TO REMAIN

PRIMARY BENCHMARK
 EXISTING CITY MONUMENT LOCATED AT THE CENTERLINE INTERSECTION OF WARREN BELIN DR. AND PETER NOYES DR. ELEVATION: 4027.85 (NAVD88 DATUM)

SECONDARY BENCHMARK
 EXISTING CITY MONUMENT LOCATED AT THE CENTERLINE INTERSECTION OF VEHNY WEBB ST. AND LAGO SEC'D DR. ELEVATION: 4023.79 (NAVD88 DATUM)



DATE	REVISIONS	BY
1/27/21	REVISED POND #1 CONTOURS AND CALCULATIONS	S.R.
8/27/21	REVISED PEDESTRIAN PATH AT NORTHEAST CORNER	S.R.

Texas 811
 Know what's below.
 Call before you dig.
 1-800-344-8377
 (1-800-DIG-TESS)

TEXAS EXCAVATION SAFETY SYSTEM
 DIG CONFIRMATION
 NUMBER (#) TO BE UPDATED EVERY 10 DAYS

SEAL

SCALE: 1"=20'

HORIZ. N/A

VERT. N/A

DATE: 05/28/2019

DESIGNED BY: S.R.

DRAWN BY: J.H.

CHECKED BY: J.H.

APPROVED BY: J.H.

JOB NO.: 2019050

H2 Terra
 CHANGING SURVEILING SOLUTIONS
 TYPE FIRM NO. F-2103
 TIFLS FIRM NO. 1086700
 2020 E. MILLS AVENUE
 EL PASO, TX 79901
 PH: (915) 333-1497
 FAX: (915) 333-1497

SITES
 8 SOUTH W. 51ST
 SUITE 200
 DALLAS, TX 75246
 PH: (214) 343-3333
 FAX: (214) 343-3333

PROJECT

DESMOND CORCORAN PARK
 RODMAN STREET
 HORIZON CITY, TX 79928

TOWN OF HORIZON CITY

14999 DARRINGTON ROAD
 HORIZON CITY, TX 79928
 (915) 652-1046

GRADING PLAN

C-101

FINAL FOR CONSTRUCTION

35

RESOLUTION

WHEREAS, El Paso County, Texas established a Countywide Passenger Shelter Project for its El Paso County Transit System with the long-term vision of providing numerous passenger shelters, benches, and stops along its commuter bus routes; and

WHEREAS, El Paso County, Texas has identified locations for passenger shelters, benches, and stops along El Paso County Transit commuter bus routes, including the need for a passenger bus shelter along Darrington Road within the city limits of the Town of Horizon, City, Texas; and

WHEREAS, the County of El Paso, Texas and the Town of Horizon City, Texas desire to provide transit riders with safe, accessible, and comfortable facilities that also offer transit users adequately sized waiting areas, accurate bus information; and

WHEREAS, a passenger bus shelter along Darrington Road within the city limits of the Town of Horizon, City, Texas will increase public transportation access to both City and County residents.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE TOWN OF HORIZON CITY, TEXAS:

That the Mayor be authorized to sign a Memorandum of Understanding by and between the Town of Horizon City, Texas and El Paso County, Texas to identify responsibilities for the design, construction, and installation of a passenger bus shelter along Darrington Road within the city limits of the Town of Horizon City, Texas.

PASSED AND ADOPTED this _____ day of _____, 2021.

THE TOWN OF HORIZON CITY

Ruben Mendoza
Mayor

ATTEST:

Elvia Schuller
City Clerk

APPROVED AS TO FORM:

Theresa Cullen

Theresa Cullen
Assistant City Attorney

APPROVED AS TO CONTENT:

Michelle Padilla, AICP
Planning Director



**TOWN OF HORIZON CITY
MEMORANDUM**

Date: July 8, 2021; **REVISED September 28, 2021**

To: Honorable Mayor and Members of City Council

From: Michelle Padilla, Planning Director

SUBJECT: On a preliminary and final plat subdivision applications (#SUB002477-2021) for Aria Subdivision, legally described as a portion of the E1/2 of the SW1/4 of the SW1/4 of section 39, Block 78, Township 3, Texas and Pacific RR Co. Surveys, El Paso County, Texas. Application submitted by CAD Consulting Co.

On June 21, 2021, the Planning and Zoning Commission voted unanimously to recommend approval of the preliminary and final plat applications for the Aria Subdivision with the condition that the staff comments be addressed prior to City Council action.

~~Staff is pending a response from the County of El Paso regarding the required additional right-of-way. Staff's recommendation will be presented at the City Council meeting.~~

The applicant has revised the plats to address all staff comments. The required additional right-of-way is being dedicated with the plat. However, the Applicant's engineer has provided information that indicates that the development will be used as a residential property and based on that, the City's engineer has determined that the additional improvements to the roadway are not necessitated by nor are they attributable to the development. Additionally, the County of El Paso has stated that they prefer that the additional improvements not be completed as they would be responsible for the maintenance of such improvements. Therefore, staff is requesting that the City Council exempt this development from the requirement to construct the additional improvements.

Attached is the staff report that was presented to the Planning and Zoning Commission, and the revised plats, and the development use report.



**TOWN OF HORIZON CITY
Planning and Zoning Staff Report**

Case #: SUB002477-2021 – Aria Subdivision
Application Type: Preliminary Plat
P&Z Hearing Date: June 21, 2021
Staff Contact: Emily Offer
 915-852-1046 ext.407; eooffer@horizoncity.org

Address/Location: 15131 Alberton, El Paso County, Texas
Legal Description: A portion of the E1/2 of the SW1/4 of the S1/4 of the SW1/4
 Of section 39, Block 78, Township 3,
 Texas and Pacific RR Co. Surveys
 El Paso County, Texas

Acreage: Approximately 4.9429 ± acres
Property Owner: Martin Monroy
Applicant: CAD Consulting Co.
Nearest Park: Golden Eagle Park
Nearest School: Horizon High School

SURROUNDING PROPERTIES:

Land Use	
N	Industrial
E	Residential
S	Residential
SW	Residential

LAND USE AND ZONING:

	Existing	Proposed
Land Use	Residential and Light Industrial	Residential
ETJ	Horizon City's 1-Mile ETJ	Horizon City's 1-Mile ETJ

Application Description:

The applicant is requesting to subdivide the area into two lots. The proposed subdivision includes 2 lots, the smallest lot measuring approximately 43,680 square feet and the largest lot measuring approximately 171,634 square feet.

Staff Recommendation:

Horizon City Vision 2020 Strategic Master Plan does not designate a proposed zone for this area as it is not within Horizon City's city limits; however, it is within the City's extra-territorial jurisdiction. Staff recommends **APPROVAL** of the plat with the condition that all staff comments shall be addressed prior to City Council action.

Planning Division Comments:

According to Section 5.2.3 of the Subdivision Regulations in the Municipal Code, the development is required to dedicate property right-of-way along Alberton Ave. as it is designated as a major arterial on the City's major thoroughfare plan. An additional 25 feet of right-of-way is required to be dedicated by this development.

City Council may exempt a developer from having to fully improve a thoroughfare provided the developer submits a traffic impact analysis (TIA) demonstrating such full improvements are neither necessitated by, nor attribute to, the new development. To date, no analysis has been submitted.

Staff continues to work with El Paso County to determine the dedication requirements.

Public Works Director Comments:

Preliminary Plat

1. Missing Benchmark/DATUM
2. Legend is missing existing/proposed contour line information.
3. Will vehicular access prohibition be required at backside of lot? If so, add it on new note 24.

Final Plat

1. Missing Benchmark/DATUM
2. Will vehicular access prohibition be required at backside of lot? If so, add it on new note 24.
3. El Paso County 9-1-1 District approval is required for all lot addresses.
4. Provide a copy of the restrictions and covenants to be recorded, if any.
5. Grading and drainage plans along with Engineering report need to be approved by the County prior to the plat being recorded.

Town Engineer Comments:

Recommended Conditions for Preliminary Plat Approval:

1. Show location and size of water and sewer lines on plat.
2. Provide basis for bearing and elevations.
3. The set monuments should have a cap that is traceable to the licensed surveyor or the company, per Texas minimum standards.
4. Coordinate with Town for any additional comments.

Recommended Conditions for Final Plat Approval:

1. Provide basis for bearing and elevations.
2. The set monuments should have a cap that is traceable to the licensed surveyor or the company, per Texas minimum standards.
3. Verify all dates on plat, they should read 2021.
4. Coordinate with Town for any additional comments.

Engineer's Report:

1. Is an engineer's report required for property within the ETJ? Provide Engineer's report, if necessary.

El Paso 9-1-1 District Comments:

The 911 District has no adverse comments regarding this plat.

El Paso Electric Company:

El Paso Electric has existing facilities serving lot two that are not represented in the final design. All electric easements shall be shown for approval.

School District Comments:

The Socorro Independent School District has reviewed Aria Subdivision and it is beyond our jurisdiction.

Clint Independent School District did not provide comments.

TxDOT Comments:

TxDOT did not provide comments.

El Paso County

Per El Paso County, the subdivision plat is concurred conditionally pending the following:

1. Revise Drainage Report to cite specific case ID for grading and drainage plans.
2. Approval of variance from standard 2.8 (R) by Commissioners Court

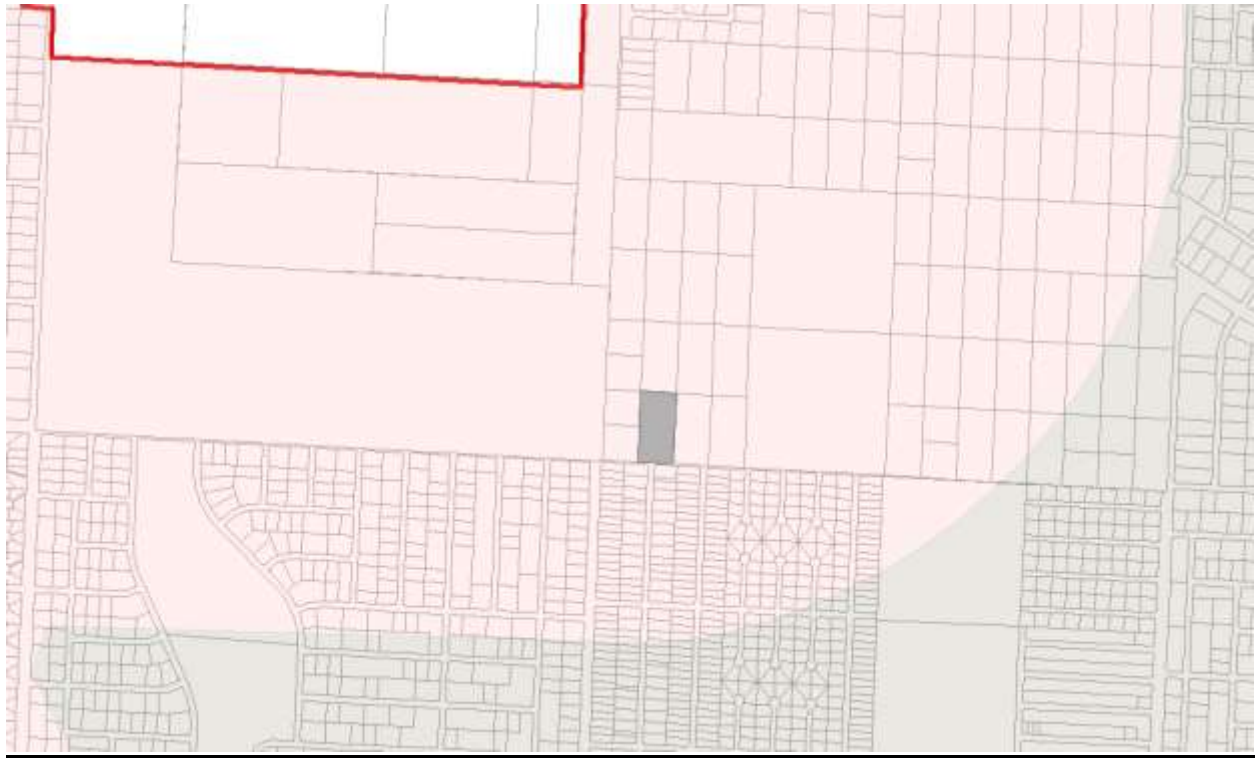
El Paso Central Appraisal District Comments:




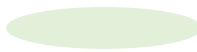
The EPCAD approves this development.

Attachments:

- 1 – ETJ Map**
- 2 – Aerial**
- 3 – Applications**
- 4 – Preliminary Plat**
- 5 – Final Plat**

Attachment 1: ETJ Map



-  Aria Subdivision
-  Horizon City's City Limits
-  Horizon City's 1-mile ETJ
-  Socorro's 5-mile ETJ

Attachment 2: Aerial Map



Attachment 3- Applications



TOWN OF HORIZON CITY
 14999 Darrington Road
 Horizon City, Texas 79928
 Phone 915-852-1046 Fax 915-852-1005

**MAJOR SUBDIVISION
 PRELIMINARY APPLICATION**

SUBDIVISION PROPOSED NAME: ARIA SUBDIVISION SUBMITTAL DATE: 5/27/2021

1. LEGAL DESCRIPTION FOR THE AREA INCLUDED ON THIS PLAT (TRACT, BLOCK, GRANT, etc.)
A PORTION OF E 1/2 OF THE SW 1/4 OF THE SW 1/4 OF THE SECTION 39, BLOCK 78, TOWNSHIP 3, RANGE 10 CO 540243

2. PROPERTY LAND USES:

	ACRES	SITES		ACRES	SITES
SINGLE-FAMILY	<u>4.9429</u>	<u>2</u>	OFFICE	_____	_____
DUPLEX	_____	_____	STREET & ALLEY	_____	_____
APARTMENT	_____	_____	PONDING & DRAINAGE	_____	_____
MOBILE HOME	_____	_____	INSTITUTIONAL	_____	_____
P.U.D.	_____	_____	OTHER	_____	_____
PARK (Min 1 acre)	_____	_____		_____	_____
SCHOOL	_____	_____		_____	_____
COMMERCIAL	_____	_____	TOTAL NO. SITES	_____	<u>2</u>
INDUSTRIAL	_____	_____	TOTAL (GROSS) ACREAGE	<u>4.9429</u>	_____

3. WHAT IS THE EXISTING ZONING OF THE PROPERTY DESCRIBED ABOVE? _____ PROPOSED ZONING _____

4. WILL THE RESIDENTIAL SITES, AS PROPOSED, PERMIT DEVELOPMENT IN FULL COMPLIANCE WITH ALL ZONING REQUIREMENTS OF THE EXISTING RESIDENTIAL ZONE(S)? YES NO

5. WHAT TYPE OF UTILITY EASEMENTS ARE PROPOSED? UNDERGROUND OVERHEAD COMBINATION

6. WHAT TYPE OF DRAINAGE IS PROPOSED? (IF APPLICABLE LIST MORE THAN ONE) ON-SITE PONDING

7. IF SINGLE-FAMILY OR DUPLEX DEVELOPMENT IS PROPOSED: AVERAGE FLOOR AREA OF HOUSES _____

8. ARE SPECIAL IMPROVEMENTS PROPOSED IN CONNECTION WITH THE DEVELOPMENT? YES NO

9. IS A MODIFICATION OF ANY PORTION OF THE SUBDIVISION ORDINANCE PROPOSED? YES NO
 IF ANSWER IS "YES", PLEASE EXPLAIN THE NATURE OF THE MODIFICATION _____

10. WHAT TYPE OF LANDSCAPING IS PROPOSED? PARKWAY MEDIANS OTHER N/A

11. REMARKS AND/OR EXPLANATION OF SPECIAL CIRCUMSTANCES: _____

12. WILL PLAT BE RECORDED PRIOR TO SUBDIVISION IMPROVEMENTS BEING COMPLETED & APPROVED? YES NO N/A INITIALS EA
 IF YES, submit REQUIRED GUARANTEE (SECTION 4.10.3 & 8.1.7, Municode Chapter 10) OR Improvement Cost Estimates & Construction Agreement

13. WILL ANY RESTRICTIONS AND COVENANTS BE RECORDED WITH PLAT? YES NO INITIALS EA IF YES, PLEASE SUBMIT COPY.

14. OWNER OF RECORD MARTIN MONROY (NAME & ADDRESS) (EMAIL) 915-603-1370 (PHONE)

15. DEVELOPER SWBORA CAD CONSULTING CO (NAME & ADDRESS) (EMAIL) 915-633-6422 (PHONE)

16. ENGINEER 4S ENGINEERING (NAME & ADDRESS) (EMAIL) 915-443-9644 (PHONE)

17. APPLICANT CAD CONSULTING CO (NAME & ADDRESS) (EMAIL) 915-633-6422 (PHONE)

18. REP/POINT OF CONTACT CAD CONSULTING CO (NAME & ADDRESS) (EMAIL) 915-633-6422 (PHONE)

NOTE:
 Applicant is responsible for all expenses incurred by the City in connection with the Preliminary Plat approval request, including but not limited to attorney's fees, engineering fees and publication. Charges exceeding deposit will be invoiced separately. Initials EA.
 Applicant Signature [Signature] EMAIL CADCONSULTING@AOL.COM

APPLICATION MUST BE COMPLETE & VALIDATED PRIOR TO SUBDIVISION PROCESSING
 Acceptance of fee does not grant acceptance of application.
 Non Refundable Deposit \$500.00 | Application Fee: \$100



TOWN OF HORIZON CITY
 14999 Darrington Road
 Horizon City, Texas 79928
 Phone 915-852-1046 Fax 915-852-1005

**MAJOR SUBDIVISION
 FINAL PLAT APPLICATION**

SUBDIVISION PROPOSED NAME: ADA SUBDIVISION SUBMITTAL DATE: 9/27/2021

1. LEGAL DESCRIPTION FOR THE AREA INCLUDED ON THIS PLAT (TRACT, BLOCK, GRANT, etc.)
A PORTION OF THE E 1/4 OF THE SW 1/4 OF THE NW 1/4 OF THE SW 1/4 OF SECTION 39, BLOCK 78, TOWNSHIP 3, TEXAS & PACIFIC R.R. CO. SURVEY

2. PROPERTY LAND USES:

	ACRES	SITES		ACRES	SITES
SINGLE-FAMILY	<u>4.9429</u>	<u>2</u>	OFFICE	_____	_____
DUPLEX	_____	_____	STREET & ALLEY	_____	_____
APARTMENT	_____	_____	PONDING & DRAINAGE	_____	_____
MOBILE HOME	_____	_____	INSTITUTIONAL	_____	_____
P.U.D.	_____	_____	OTHER	_____	_____
PARK (Min 1 Acre)	_____	_____	_____	_____	_____
SCHOOL	_____	_____	_____	_____	_____
COMMERCIAL	_____	_____	TOTAL NO. SITES	_____	<u>2</u>
INDUSTRIAL	_____	_____	TOTAL (GROSS) ACREAGE	<u>4.9429</u>	_____

3. WHAT IS THE EXISTING ZONING OF THE PROPERTY DESCRIBED ABOVE? N/A PROPOSED ZONING _____
4. WILL THE RESIDENTIAL SITES, AS PROPOSED, PERMIT DEVELOPMENT IN FULL COMPLIANCE WITH ALL ZONING REQUIREMENTS OF THE EXISTING RESIDENTIAL ZONE(S)? YES NO
5. WHAT TYPE OF UTILITY EASEMENTS ARE PROPOSED? UNDERGROUND OVERHEAD COMBINATION
6. WHAT TYPE OF DRAINAGE IS PROPOSED? (IF APPLICABLE LIST MORE THAN ONE) ON SITE PONDING
7. IF SINGLE-FAMILY OR DUPLEX DEVELOPMENT IS PROPOSED: AVERAGE FLOOR AREA OF HOUSES NOT KNOWN
8. ARE SPECIAL IMPROVEMENTS PROPOSED IN CONNECTION WITH THE DEVELOPMENT? YES NO
9. IS A MODIFICATION OF ANY PORTION OF THE SUBDIVISION ORDINANCE PROPOSED? YES NO
 IF "YES", PLEASE LIST SECTION & EXPLAIN THE NATURE OF THE MODIFICATION _____
10. WHAT TYPE OF LANDSCAPING IS PROPOSED? PARKWAY MEDIANS OTHER NONE

11. REMARKS AND/OR EXPLANATION OF SPECIAL CIRCUMSTANCES: _____

12. WILL PLAT BE RECORDED PRIOR TO SUBDIVISION IMPROVEMENTS BEING COMPLETED & APPROVED? YES NO N/A INITIALS BM
 IF YES, submit REQUIRED GUARANTEE (SECTION 4.10.3 & 8.1.7, Municode Chapter 10) OR Improvement Cost Estimates & Construction Agreement _____

13. WILL ANY RESTRICTIONS AND COVENANTS BE RECORDED WITH PLAT? YES NO INITIALS BM IF YES, PLEASE SUBMIT COPY.

14. OWNER OF RECORD MARTIN MONROY (NAME & ADDRESS) _____ (EMAIL) _____ (PHONE) 915-603-1570

15. DEVELOPER _____ (NAME & ADDRESS) _____ (EMAIL) _____ (PHONE) _____

16. ENGINEER 4S ENGINEERING Ali Bazzal (NAME & ADDRESS) _____ (EMAIL) _____ (PHONE) 915-443-9644

17. APPLICANT _____ (NAME & ADDRESS) _____ (EMAIL) _____ (PHONE) _____

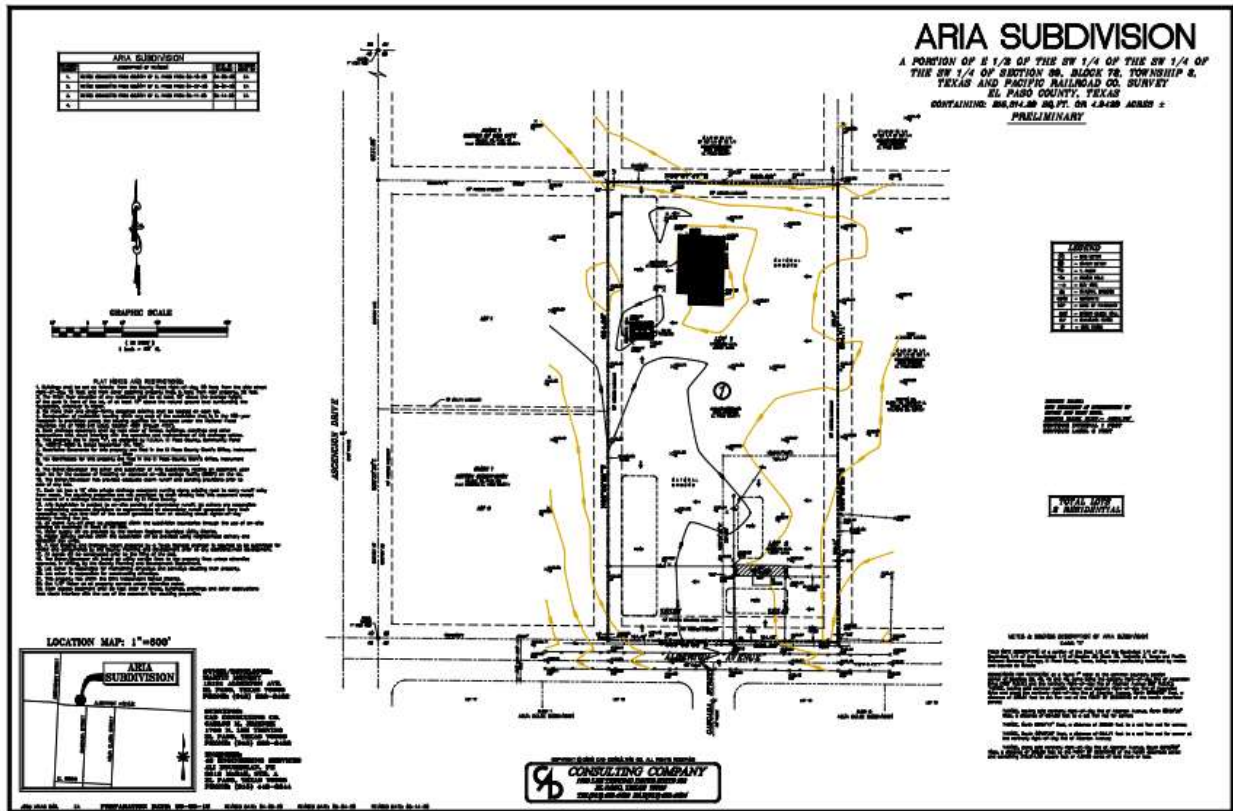
18. REP/POINT OF CONTACT CAR CONSULTING CO. CARCONSULTING1@TOLIMY (NAME & ADDRESS) _____ (EMAIL) _____ (PHONE) 915-633-6422

NOTE: Applicant is responsible for all expenses incurred by the City in connection with the Final plat approval request, including but not limited to attorney's fees, engineering fees and publication. Charges exceeding deposit will be invoiced separately. Initials RHC

Applicant Signature [Signature] EMAIL rbeckymonroy@yahoo.com

APPLICATION MUST BE COMPLETE & VALIDATED PRIOR TO SUBDIVISION PROCESSING
 Acceptance of fee does not grant acceptance of application.
 Non Refundable Deposit \$500.00 | Application Fee: \$150

Attachment 4 – Preliminary Plat



Ali Boureslan, P.E.
(915) 591-3312

4S ENGINEERING SERVICE
Inspections • Consulting • Civil • Structural • Environmental • Construction

3616 McRae, Ste A
El Paso, TX 79925

September 25, 2021

Town Engineer
Horizon City
14999 Darrington Rd.
Horizon City, Texas 79928

RE: ARIA Subdivision

Dear Sirs:

As you requested, to determine the number of vehicular trips the development will generate if the additional improvements to the ROW are completed, the following must be taken into account:

- There is one building in the back which was used by the owner to store his yard cleaning tools and equipment. It is currently vacant.
- The new lot in the front is being sold to Mr. Brandon Mendez to build his residence. Design and permits will be completed in due course according to city ordinance(s) and requirements.
- As a result, additional vehicular trips in this subdivision would be negligible and hardly affect the current vehicular movement.

This report and certification of facts are based on information stated by the subdivision owner and Brandon Mendez.

Should you have any questions, please call Ali Boureslan, P.E. at (915) 443-9644.

Sincerely,

Ali Boureslan
Ali Boureslan, P.E.

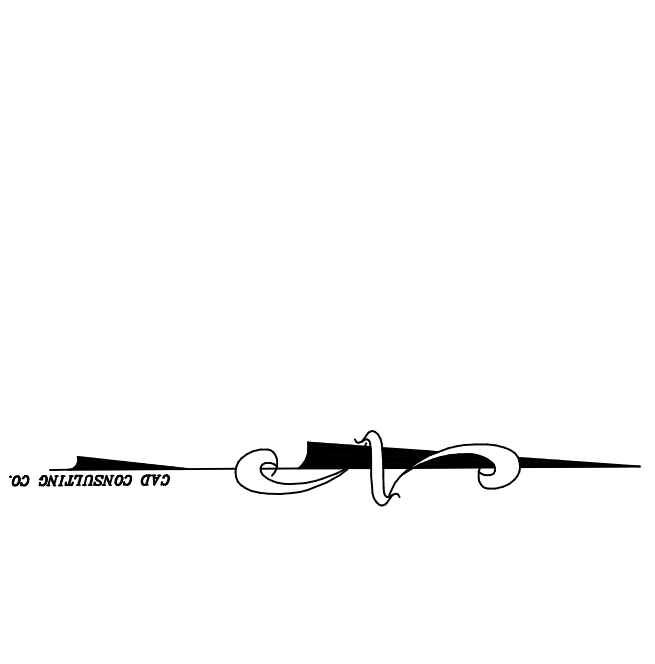


Firm No 05017

ARIA SUBDIVISION

A PORTION OF E 1/2 OF THE SW 1/4 OF THE SW 1/4 OF THE SW 1/4 OF SECTION 39, BLOCK 78, TOWNSHIP 3, THE SW 1/4 OF SECTION 39, BLOCK 78, TOWNSHIP 3, TEXAS AND PACIFIC RAILROAD CO. SURVEY EL PASO COUNTY, TEXAS
CONTAINING: 215.31429 SQ. FT. OR 4.9429 ACRES ±

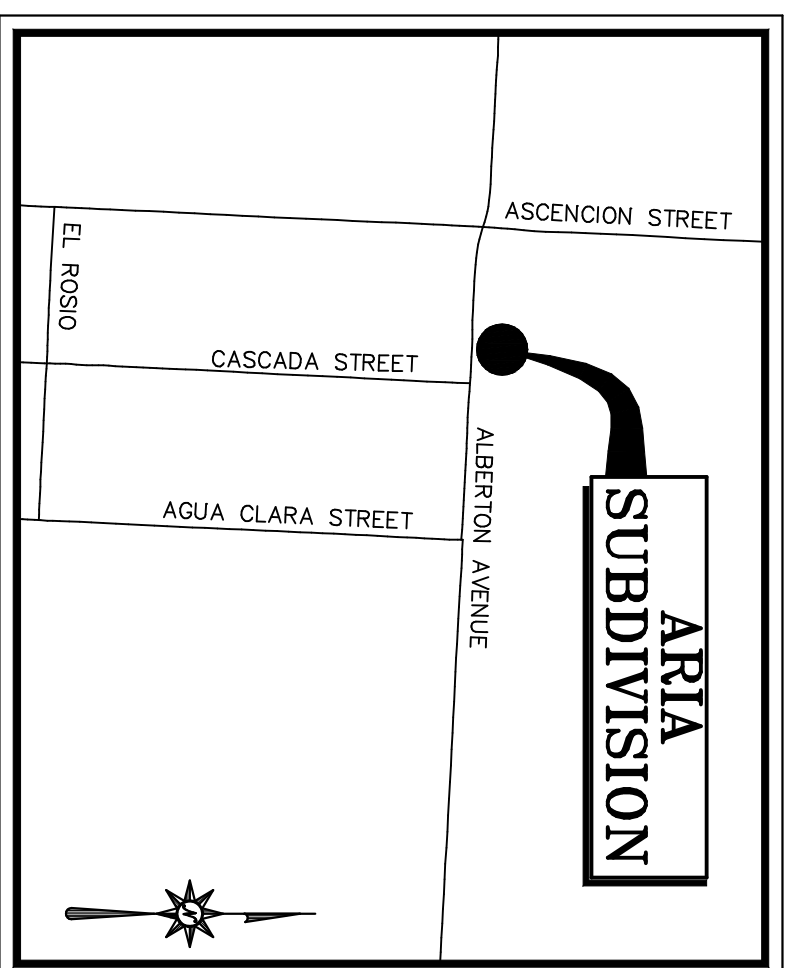
REVISION NUMBER	DESCRIPTION OF REVISION	DATE OF REVISION	REVISION BY
1.	REVISE COMMENTS FROM COUNTY OF EL PASO FROM 03-10-20	04-09-20	EA
2.	REVISE COMMENTS FROM COUNTY OF EL PASO FROM 04-27-20	05-04-20	EA
3.	REVISE COMMENTS FROM COUNTY OF EL PASO FROM 05-11-20	05-14-20	EA
4.	REVISE COMMENTS FROM TOWN OF HORIZON FROM 08-22-2021	08-19-21	EA



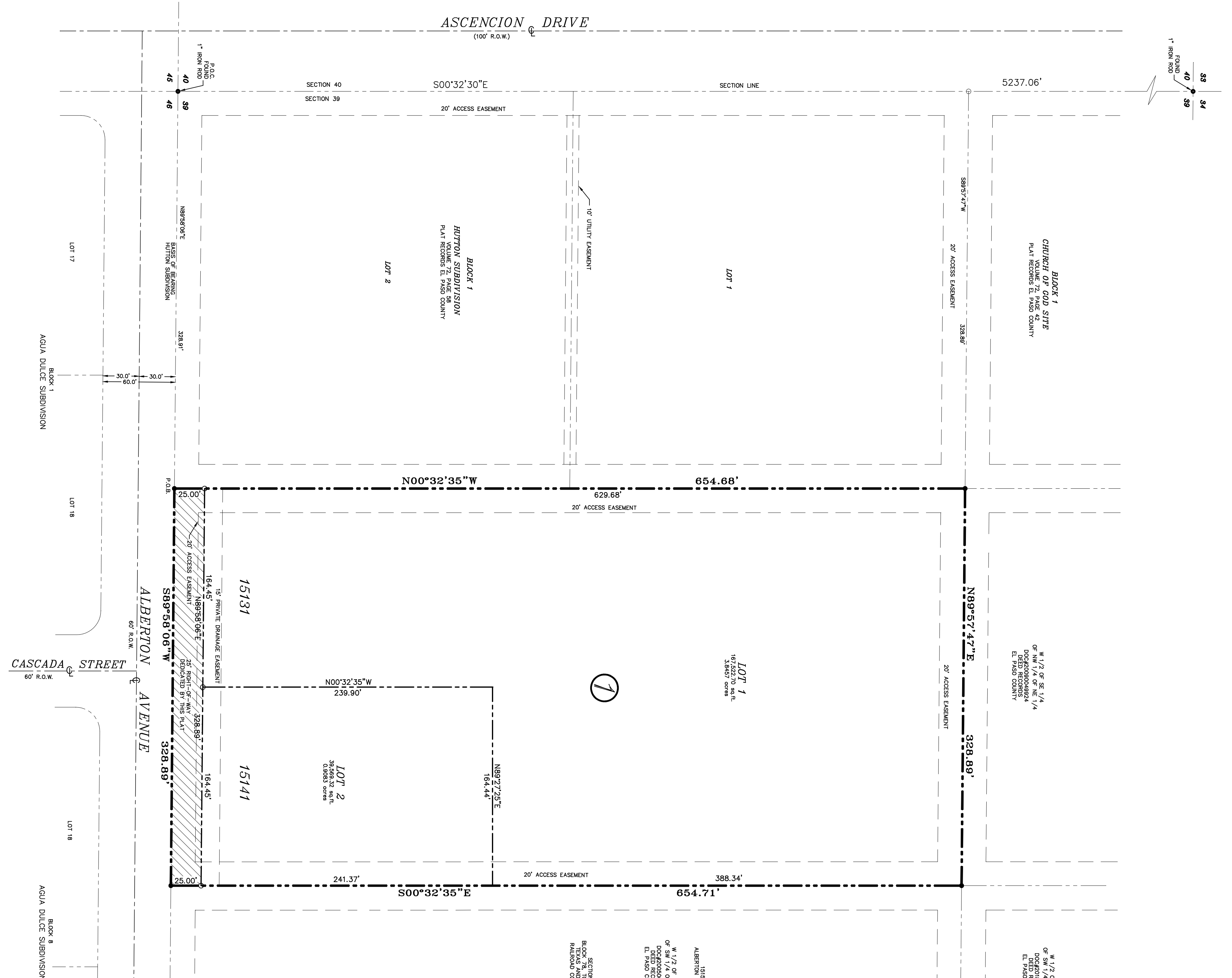
BENCH MARK:
CITY MOVEMENT AT INTERSECTION OF
ALBERTON AND DUST DRIVE.
BENCH MARK ELEV. = 4024.78' (DATUM N.A.T.D. 89)
CONTOUR INTERVAL 1 FOOT
CONTOUR LABELS @ 1 FEET

PLAT NOTES AND RESTRICTIONS:

- Buildings shall be set as follows: from the County Road right-of-way, 20 feet; from the side street, 10 feet; from the rear lot line, 10 feet; from the front lot line, 10 feet.
- The first floor elevation of any residence shall be at least 18" above the average height of the curb in front of the lot, or at least 12" above the natural ground level surrounding the foundation, whichever is higher.
- Construction of residential housing within any area of the subdivision that is in the 100-year floodplain is prohibited unless the housing qualifies for insurance under the National Flood Insurance Act of 1968 (42 U.S.C. Section 4001 through 4127).
- Construction of residential housing shall be subject to all zoning ordinances, floodplain regulations and other restrictions that would interfere with the operation and maintenance of the drainage swales.
- This property lies in Zone "X", as designed by F.E.M.A. El Paso County, Community Panel 2.
- Revised Ordinance No. 1981, adopted in the El Paso County Clerk's Office, Instrument No. _____, dated September 14, 1981, and in the El Paso County Clerk's Office, Instrument No. _____, dated _____, 2021.
- Tax Certificates for this property are filed in the El Paso County Clerk's Office, Instrument No. _____.
- The Owner/Developer of this subdivision, retains an easement upon each lot for the purpose of installing an approved on-site sewage facility (OSSF) on the lot.
- The Owner/Developer has provided adequate storm runoff and ponding provisions prior to sale of any lots, a 15' wide private drainage easement running along existing road to carry runoff from roads. The existing properties are not permitted to drain directly into this easement except by means of a drainage structure approved by El Paso County.
- Area Subdivision is subject to on-site ponding of stormwater runoff, lot owners are responsible for the design, construction, maintenance and operation of any on-site ponding on their respective lot, plus one-half of the runoff generated from all abutting street rights-of-way directly fronting the lot.
- All lots will be addressed within the subdivision boundaries through the use of on-site ponding as described in Case ID 20-055.
- Water supply will be provided by the Horizon Regional Municipal Utility District.
- A new Grading and Drainage report prepared by a Texas licensed engineer is required for all lots. All ponds will be constructed prior to the filing of the plat.
- The Owner/Developer will install all utility service lines to the property lines unless otherwise approved, in writing by the County Planning and Development Department.
- The Owner/Developer is responsible for constructing and maintaining all on-site parking areas.
- This property lies within the Clint Independent School District.
- Set 1/2" Rebar with cap stamped #3850 at all property corners unless otherwise noted.
- Set 1/2" Rebar with cap stamped #3850 at all property corners unless otherwise noted.
- The Basis of Bearing is from Hilton Subdivision.



JOB# ARJMS SUB EA PREPARATION DATE: 09-25-19 REVISED DATE: 04-06-20 REVISED DATE: 05-04-20 REVISED DATE: 05-14-20 REVISED DATE: 08-19-21



OWNER'S DEDICATION, CERTIFICATION AND ATTESTATION
I, Martin Monroy, as owner of the 4.9429 acres of land encompasses with the proposed Subdivision, hereby subdivide the land as described in this subdivision plat and dedicate to public use the 25' right-of-way and utility easements shown herein. I certify that I have complied with the requirement of Texas Local Government Code 232.032 and that:

- the water quality and connections to the lots meet, or will meet, the minimum state standards;
- electrical connections provided to the lots meet, or will meet, the minimum state standards; and
- gas connections provided to the lots meet, or will meet, the minimum state standards.

I attest that the matters asserted in this plat are true and complete.

STATE OF TEXAS
COUNTY OF EL PASO
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I, Martin Monroy, as owner of the 4.9429 acres of land encompasses with the proposed Subdivision, hereby subdivide the land as described in this subdivision plat and dedicate to public use the 25' right-of-way and utility easements shown herein. I certify that I have complied with the requirement of Texas Local Government Code 232.032 and that:

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- gas connections provided to the lots meet, or will meet, the minimum state standards.

I attest that the matters asserted in this plat are true and complete.

MARTIN MONROY, Owner
Date _____

Notary Public in and for El Paso County _____ My Commission Expires _____
T O W N O F H O R I Z O N C I T Y T O W N C O U N C I L
CERTIFICATE OF PLAT APPROVAL UNDER LOCAL GOVERNMENT
CODE 212.008 (c) AND 212.015 (b)
This subdivision is hereby approved as to the platting and as to the conditions of the dedication in accordance with Chapter 212 of the local Government Code of Texas this _____ day of _____, 2021 A.D.
Accepted and adopted by the City Council of Town of Horizon City this _____ day of _____, 2021 A.D.
ELVA SCHULLER, City Clerk _____ ROBBEN MENOZA, Mayor _____
Approved for filing this _____ day of _____, 2021 A.D.
LUIZ-ZOLAARS, INC. (Town Engineer)
BY: _____ (Notary Public)
VICE PRESIDENT

EL PASO COUNTY
CERTIFICATE OF PLAT APPROVAL
UNDER LOCAL GOVERNMENT CODE 232.028 (A)
WE THE UNDERSIGNED CERTIFY that this plat of Ario Subdivision was reviewed and approved by the El Paso County Commissioners Court on _____, 2021.
El Paso County Judge _____ Attest: El Paso County Clerk _____
Filed and recorded in the office of the County Clerk of El Paso County, Texas, this _____ day of _____, 2021, A.D. in _____
File No. _____
County Clerk _____ Date _____ By Deputy _____ Date _____

METES & BOUNDS DESCRIPTION OF ARIA SUBDIVISION
FIELD NOTE DESCRIPTION of a portion of the East 1/2 of the Southwest 1/4 of the Southwest 1/4 of Section 39, Block 78, Township 3, Texas and Pacific and bounds as follows: El Paso County, Texas, being more particularly described by metes and bounds as follows:
COMMERCIAL FOR REFERENCE: a 1' rod at the common boundary between Corner of Section 39, Block 78, Township 3, Texas and Pacific and the corner of Section 39, Block 78, Township 3, Texas and Pacific (100' R.O.W.) and the easterly right-of-way line of Ascencion Drive (100' R.O.W.) and the northerly right-of-way line of Alberton Avenue (60' R.O.W.); a distance of 328.81 feet to set from rod at the POINT OF BEGINNING of the herein described parcel;
THENCE, leaving said northerly right-of-way line of Alberton Avenue, North 00°32'35" West, a distance of 654.68 feet to a set from rod for corner;
THENCE, North 89°57'47" East, a distance of 328.89 feet to a set from rod for corner;
THENCE, South 60°32'35" East, a distance of 654.71 feet to a set from rod for corner at the northerly right-of-way line of Alberton Avenue;
THENCE, along said northerly right-of-way line of Alberton Avenue, South 89°57'47" West, a distance of 215.31429 square feet or 4.9429 acres of land more or less and containing 215.31429 square feet or 4.9429 acres of land more or less.

STATE OF TEXAS
COUNTY OF EL PASO
I, Carlos M. Jimenez, a Registered Professional Land Surveyor in Texas, hereby certify that the above plat and description of the Ario Subdivision were prepared from a survey of the property made on the ground by me or under my supervision on _____, 2019.

Carlos M. Jimenez
Professional Land Surveyor
Texas No. 3850
Date _____

CONSULTING COMPANY
1790 LEE TREVINO DRIVE SUITE 309
EL PASO, TEXAS 79936
TEL (915) 633-6422 FAX (915) 633-6424

TOTAL LOTS
2 RESIDENTIAL

OWNER/DEVELOPER:
MARTIN MONROY
15131 ALBERTON AVE.
EL PASO, TEXAS 79928
PHONE: (915) 633-6422

SUPERVISOR:
CAD CONSULTING CO.
CARLOS M. JIMENEZ
1790 N. LEE TREVINO
EL PASO, TEXAS 79936
PHONE: (915) 633-6422

ENGINEER:
4S ENGINEERING SERVICES
ALI BOHRESIAN, PE
3616 McRAE, STE. A
EL PASO, TEXAS 79925
PHONE: (915) 443-9644