

MCCOOK CITY COUNCIL

REGULAR MEETING

**Monday, February 16, 2026
5:30 PM - City Council Chambers**

Roll Call.

Excuse Absences.

Open Meetings Act Announcement.

Invocation - McCook Ministerial Association - Jeff Kelley, Memorial Methodist Church.

Pledge of Allegiance.

Call to Order.

Individuals who have appropriate items for City Council consideration should complete the "Topic for Consideration for City Council Agenda" form located at the information table by the entrance to the Council Chambers. If the issue can be handled administratively without Council action, notification will be provided. If the item is scheduled for a meeting, notification of the date will be given.

Items.

1. Announcements & Recognitions.
2. Public Hearings.
 - A. Public Hearing - Regarding the adoption of the 2026-2036 Comprehensive Plan for the City of McCook.
 1. Adjourn the Public Hearing.
 - B. Approve Resolution No. 2026-05 providing for the adoption of the 2026-2036 Comprehensive Plan for the City of McCook.
3. Consent Agenda.

**The Consent Agenda is approved on one motion. Any item listed on the Consent Agenda may, by the request of any single Council member or public in attendance, be considered as a separate item under the Regular Agenda.*

 - A. Approve the minutes of the February 2, 2026 regular City Council meeting.
 - B. Approve and authorize the Mayor to sign Resolution No. 2026-04 certifying that the City of McCook does hereby adopt and bind itself to comply with all the rules and regulations of the Title VI Non-Discrimination plan.
 - C. Award the bid for one new refuse transport trailer to be used at the Transfer Station to KNL Holdings, LLC. in the amount of \$106,513.00, that being the lowest responsible bid.

- D. Approve the request for proposals for Fixed Base Operator Services at McCook Ben Nelson Regional Airport and set the deadline to receive them as 4:30 P.M. CDT on April 1, 2026.
 - E. Approve the specifications for the North Pointe Phase III Paving and Utilities Project and set the time and date to receive bids as 2:30 P.M. on March 10, 2026.
 - F. Accept the minutes of the October 28, 2025 Senior Center Board and the February 9, 2026 Planning Commission meetings.
 - G. Adopt Resolution No. 2026-06 authorizing the execution of a loan agreement with First Central Bank to finance the refurbishment of a 1996 E-One Navistar ARFF Vehicle on an International Chassis with a rate of 5.00% and authorize the Mayor to sign the final documents.
4. Regular Agenda.
- A. Update regarding the youth sports complex project.
 - B. Council Comments.
 - C. An Executive Session may be held upon a majority vote of the Council for the protection of public interest for a strategy session with respect to potential litigation regarding the Jaycee Complex.
 - 1. Nebraska Open Meetings Act statement, if the motion to close passes.
 - 2. Close Executive Session.

Adjournment.

**CITY MANAGER'S REPORT
FEBRUARY 16, 2026 MCCOOK CITY COUNCIL MEETING**

2.A.
ITEM NO. Public Hearing - Regarding the adoption of the 2026-2036 Comprehensive Plan for the City of McCook.

2.B.
ITEM NO. Approve Resolution No. 2026-05 providing for the adoption of the 2026-2036 Comprehensive Plan for the City of McCook.


BACKGROUND:

Miller & Associates was selected by the City of McCook through a competitive process to assist with the development of McCook's new ten-year comprehensive plan in 2023. Since that time, the City of McCook held numerous information gathering meetings to prepare the newest version of McCook's comprehensive plan. As a reminder, the comprehensive plan serves as the guidepost for McCook's future development. Numerous entities rely on the comprehensive plan when determining grant funding or economic development opportunities. Our current comprehensive plan up for consideration does a good job of painting a clear picture of what McCook envisions itself to be over the next ten years and beyond.

At the February 9, 2026 McCook Planning Commission meeting, Jason Combs of Miller & Associates presented the comprehensive plan to the Commission via a public hearing. The Planning Commission suggested a few modifications to the comprehensive plan, chief amongst the recommendations being the need to increase the area included within Annexation Area #1, ensuring the Plan includes Blighted and Substandard Areas 7 and 8, and including all parcels currently included within McCook's corporate limits.

Craig Bennett and Jason Combs of Miller & Associates will be present at the City Council meeting to lead us through the contents of the document. The public is encouraged to attend and learn more about its contents at a public hearing. Following the public hearing, the Council will be asked to approve the comprehensive plan by resolution.

APPROVALS:



Nathan A. Schneider, City Manager

February 11, 2026



Lea Ann Doak, City Clerk

February 11, 2026



Tera Koetter, Assistant City Manager

February 11, 2026

EXHIBIT #1

PAGE(S) - 1

NOTICE OF PUBLIC HEARING
PROPOSED COMMUNITY COMPREHENSIVE PLAN
MCCOOK, NEBRASKA

Notice is hereby given that the duly appointed Planning Commission of the City of McCook, Nebraska, will hold a public hearing at 5:15 P.M. on the 9th day of February, 2026 and the City Council of the City of McCook, Nebraska, will hold a public hearing at 5:30 P.M. on the 16th day of February, 2026, in the City of McCook Municipal Center - Council Chambers, 505 West "C" Street, McCook, Nebraska.

Said hearing is for the purpose of presenting a proposed community comprehensive plan, including, among other elements, a future land use plan, a community facilities plan, a transportation plan, an energy element, and a plan for future annexation. The purpose is to hear all persons with written or oral comments for or against said proposals. Any party may appear in person or be represented by agent or attorney.

Copies of said community comprehensive plan are on file with the City Clerk, McCook Municipal Center, 505 West "C" Street, McCook, Nebraska; the McCook Public Library, 802 Norris Avenue, McCook, Nebraska; and on the City of McCook's website at cityofmccook.com.

This notice given in pursuance to and under the authority of Nebraska State Statutes.

-s- Lea Ann Doak, City Clerk

Publish: January 30 and February 6, 2026.

EXHIBIT #2

PAGE(S) - 1

RESOLUTION NO. 2026-05

COMPREHENSIVE PLAN

RESOLUTION OF ADOPTION AND RECOMMENDATION

WHEREAS, the duly appointed Planning Commission of the City of McCook, Nebraska, with the assistance of its consultant, Miller & Associates, P.C. of Kearney, Nebraska, has prepared a Comprehensive Plan for the City of McCook, Nebraska; and

WHEREAS, the City of McCook has given public notice as required by the Nebraska State Statutes, of a hearing to be held by the City Council on the 16th day of February, 2026, at 5:30 P.M. at the McCook Municipal Center on the proposed Comprehensive Plan; and

WHEREAS, the public hearing has been held pursuant to said notice and all statements received at the hearing have been duly considered by the City Council;

BE IT NOW AND THE SAME IS HEREBY RESOLVED BY THE MAYOR AND COUNCIL OF THE CITY OF MCCOOK, NEBRASKA, THAT:

1. The Comprehensive Plan as prepared by the Planning Commission and Miller & Associates, P.C. of Kearney, Nebraska, be adopted as the official Comprehensive Plan for the City of McCook, Nebraska.

PASSED AND APPROVED this 16th day of February, 2026.

Linda Taylor, Ex-officio Mayor
and Council President

ATTEST:

Lea Ann Doak, City Clerk-Treasurer

EXHIBIT #3

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McCook Planning Commission
February 9, 2026
5:15 P.M.

A MEETING OF THE PLANNING COMMISSION OF THE CITY OF MCCOOK, NEBRASKA convened in open, regular, and public session at 5:15 o'clock P.M. in the City Council Chambers.

Present: Chair Chad Lyons; Vice Chair Tammie Hilker; Commissioners Camy Bradley, Matt Davidson, Jamie Mockry, Kurt Vosburg.

Absent: Commissioners Kelly Hammerlun, Jesse Stevens, Bobby Gaulke.

City Officials present: City Manager Nate Schneider, Assistant City Manager Tera Koetter, City Attorney Nate Mustion, City Clerk Lea Ann Doak, Building Official Barry Mooney.

Notice of the meeting was given in advance thereof by publication in the McCook Daily Gazette on June 5, 2026, the designated method of giving notice, a copy of the proof of publication being attached to these minutes. Advance notice of the meeting was also given to all members of the Planning Commission. Availability of the agenda was communicated in the advance notice. All proceedings hereafter shown were taken while the meeting was open to the attendance of the public.

Chair Lyons announced that a copy of the Open Meetings Act was posted by the entrance to the Council Chambers and available for public review.

1. Approve the minutes of the February 2, 2026 special Planning Commission meeting.

Motion to approve the minutes of the February 2, 2026 special Planning Commission meeting. This motion, made by Chad Lyons and seconded by Kurt Vosburg, passed.

Camy Bradley: YEA, Matt Davidson: YEA, Bobby Gaulke: ABSENT, Kelly Hammerlun: ABSENT, Tammie Hilker: YEA, Chad Lyons: YEA, Jamie Mockry: YEA, Jesse Stevens: ABSENT, Kurt Vosburg: YEA

YEA: 6, NAY: 0, ABSENT: 3

2. Public Hearings and Regular Agenda.

2.A. Public Hearing - Regarding the adoption of the City of McCook Comprehensive Plan by the Planning Commission and making a recommendation to the McCook City Council for their approval and adoption of the City of McCook Comprehensive Plan.

Motion to recess as a Planning Commission and convene a public hearing for the purpose of receiving public comment regarding the adoption of the City of McCook Comprehensive Plan by the Planning Commission and making a recommendation to the McCook City Council for their approval and adoption of the City of McCook Comprehensive Plan, with the City Attorney to act as hearing officer. This motion, made by Chad Lyons and seconded by Kurt Vosburg, passed.

EXHIBIT #5

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Camy Bradley: YEA, Matt Davidson: YEA, Bobby Gaulke: ABSENT, Kelly Hammerlun: ABSENT, Tammie Hilker: YEA, Chad Lyons: YEA, Jamie Mockry: YEA, Jesse Stevens: ABSENT, Kurt Vosburg: YEA

YEA: 6, NAY: 0, ABSENT: 3

The City Attorney received into evidence Exhibit #1 - City Manager's Report prepared for the February 9, 2026 Planning Commission meeting (1 page), Exhibit #2 - Notice of Hearing published (1 page); Exhibit #3 - Proposed Resolution No. 2026-01 (1 page); and Exhibit #4 - Proposed Comprehensive Plan (150 pages).

City Manager Schneider reviewed the information presented in Exhibit #1.

Jason Combs, Miller & Associates, presented the proposed comprehensive plan and reviewed the highlights with the Commission.

Discussion and suggested revisions from the Commission included: change the date of the plan to cover 2026-2036; Figure 3.5 - Dryland Capability Classification does not include the Walters First Subdivision; page 28, first paragraph, include reference that a large portion of the available housing are unsuitable; include in goals the need for professional staff; the need to continue future downtown improvement to keep the downtown area viable into the future; and update figures 2.5 - 2.9.

With no one else present to comment, motion to adjourn the public hearing and to reconvene as a Planning Commission. This motion, made by Chad Lyons and seconded by Kurt Vosburg, passed. Camy Bradley: YEA, Matt Davidson: YEA, Bobby Gaulke: ABSENT, Kelly Hammerlun: ABSENT, Tammie Hilker: YEA, Chad Lyons: YEA, Jamie Mockry: YEA, Jesse Stevens: ABSENT, Kurt Vosburg: YEA

YEA: 6, NAY: 0, ABSENT: 3

2.B. Approve Resolution No. PC 2026-01 providing for the adoption of the City of McCook Comprehensive Plan by the Planning Commission and making the recommendation to the McCook City Council for their approval and adoption of the City of McCook Comprehensive Plan.

Motion to approve Resolution No. PC 2026-01 providing for the adoption of the City of McCook Comprehensive Plan by the Planning Commission and making the recommendation to the McCook City Council for their approval and adoption of the City of McCook Comprehensive Plan, contingent on suggested revisions being made. This motion, made by Chad Lyons and seconded by Jamie Mockry, passed.

Camy Bradley: YEA, Matt Davidson: YEA, Bobby Gaulke: ABSENT, Kelly Hammerlun: ABSENT, Tammie Hilker: YEA, Chad Lyons: YEA, Jamie Mockry: YEA, Jesse Stevens: ABSENT, Kurt Vosburg: YEA

YEA: 6, NAY: 0, ABSENT: 3

2.C. Review and discuss the proposed Supplemental District Chapter of the zoning update.

Staff reviewed and discussion was had regarding Article 21 - Supplementary Regulations, Sections 2101 - 2114 proposed in the City of McCook's new zoning regulations.

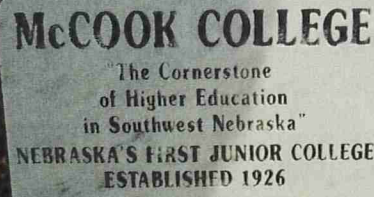
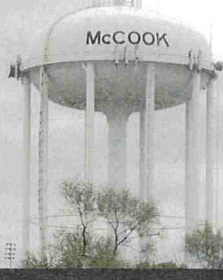
Adjournment.

With no further business, Chair Lyons declared the Planning Commission meeting adjourned at 7:02 P.M.

Lea Ann Doak, City Clerk-Treasurer
and Recording Secretary



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McCOOK
Established 1882



McCOOK COLLEGE
"The Cornerstone
of Higher Education
in Southwest Nebraska"
NEBRASKA'S FIRST JUNIOR COLLEGE
ESTABLISHED 1926
CORNERSTONE DEDICATED SEPT. 21, 1996



Schert
McCook
BAKERY



City of McCook

COMPREHENSIVE PLAN

2025 - 2035



Miller & Associates
CONSULTING ENGINEERS, P.C.

1111 Central Ave. Kearney, NE 68847-6833

(T) 308-234-6456 (F) 308-234-1146

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ACKNOWLEDGMENTS

The City of McCook extends its heartfelt gratitude to all the residents, property owners, and business owners who actively participated in the development of McCook's Comprehensive Plan. Your support and involvement were instrumental in bringing this plan to fruition. Thank you for your commitment to our community's future.

City Council

Linda Taylor, Mayor
Jerry Calvin, Vice President
Jared Muehlenkamp
Darcy Rambali
Gene Weedin

City Staff

Nate Schneider, City Manager	Lilia Dimas, Human Resource Coordinator
Lea Ann Doak, City Clerk/Treasurer	Deborah Thorpe, Public Works Administrative Assistant
Tera Koetter, Assistant City Manager	Barry Mooney, Building Inspector and Code Compliance Officer
Tracy Burkey, Deputy City Clerk	Pat Fawver, Utilities Director
Konnie Larson, Administrative Assistant	Nathaniel Mustion, City Attorney
Kyle Pothoff, Public Works Director	
Jessica Koch, Utilities Administrative Assistant	

Planning Commission

Chad Lyons, Chairperson	Matt Davidson
Ron Friehe	Kurt Vosburg
Camy Bradley	Jesse Stevens
Tammie Hilker	Jamie Mockry
Bruce McDowell	Mark Currier, Alternate

Steering Committee

Troy Bruntz	Charlie McPherson
Kent Craw	Molly Sharp
Matt Davidson	Molly Smith
Amanda Engell	Linda Taylor
Melanie Goodenberger	Kurt Vosburg
Jason Herron	Tom Wiemers
Jade Lesko	Greg Wolford

Consulting Team

H. Jason Combs, M.S., Ph.D., Craig Bennett,
David Blau, P.E., Chris Miller, M.S., P.E., Megan
Shada, and Aubrie Lawrence


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VISION FOR MCCOOK

McCook residents and business owners are valuable community assets. Their participation was, and is, essential to the process. The comprehensive plan presents a futuristic vision created by the community. The planning process for McCook's Comprehensive Plan included public meetings, stakeholder meetings, and workshops which allowed community members to consider directions and goals for the plan.

McCook's vision is to promote and grow a diverse economic base while emphasizing overall community growth and development. This requires a proactive approach to attract new investments, additional residents, and gathering input from existing residents.

Housing is an ongoing issue that will be addressed to attract and maintain population. Gateway corridors into town and the traditional downtown were major discussion points during public input sessions. Residents expressed support for aesthetics and improvements in those areas, in addition to employment initiatives while maintaining infrastructure is also a priority.

While the comprehensive plan captures many ideas, goals, and policies, there are some noteworthy directions and changes presented in this plan. These new directions are a result of community feedback, reactions to current trends and conditions, and policy direction from elected and appointed community officials.

INTRODUCTION

The comprehensive plan is a toolkit for McCook's future development, providing long-range guidance on how and where the community will invest and change over the next decade. The plan contains goals for the future and addresses topics from land use planning and demographics to transportation and community services. McCook's plan also guides the community as it addresses future needs for economic development, transportation, housing, parks and open spaces, and other community assets. It encourages a sustainable and fiscally responsible future by setting the desired direction for future development regulations, policy decisions, and community programs.

Compliance with State & Local Requirements

The governmental functions of McCook, Nebraska are provided and coordinated by the City Council. McCook's City Council is comprised of five members elected at large. McCook's planning and zoning jurisdiction includes an area within two miles of the City's corporate limits, pursuant to *Nebraska Revised Statute 17-1002*. McCook's planning and zoning jurisdiction is governed by *Nebraska Revised Statute 17-1004*. As McCook continues to grow and annex land, the extraterritorial jurisdiction (ETJ) may extend further into Red Willow, County.

Nebraska Revised Statute §16-101

All cities having more than five thousand and not more than one hundred thousand inhabitants as determined by the most recent federal decennial census or the most recent revised certified count by the United States Bureau of the Census shall be known as cities of the first class. The population of a city of the first class shall consist of the people residing within the territorial boundaries of such city and the residents of any territory duly and properly annexed to such city.

Nebraska Revised Statute §16-117

(1) Except as provided in sections 13-1111 to 13-1120 and 16-130 and subject to this section, the mayor and city council of a city of the first class may by ordinance at any time include within the corporate limits of such city any contiguous or adjacent lands, lots, tracts, streets, or highways as are urban or suburban in character and in such direction as may be deemed proper. Such grant of power shall not be construed as conferring power upon the mayor and city council to extend the limits of a city of the first class over any agricultural lands which are rural in character.

Nebraska Revised Statute §16-119

Any extraterritorial zoning regulations, property use regulations, or other laws, codes, rules, or regulations imposed upon any annexed lands by a city of the first class before such annexation shall continue in full force and effect until otherwise changed.

Nebraska Revised Statute §16-201

Each city of the first class shall be a body corporate and politic and shall have power (1) to sue and be sued, (2) to purchase, lease, lease with option to buy, or acquire by gift or devise and to hold real and personal property within or without the limits of the city and real estate sold for taxes for the use of the city in such manner and upon such terms and conditions as may be deemed in the best interests of the city, (3) to sell and convey, exchange, or lease any real or personal property owned by the city, including park land, in such manner and upon such terms and conditions as may be deemed in the best interests of the city, except that real estate owned by the city may be conveyed without consideration to the State of Nebraska for state veterans' cemetery sites or state armory

McCook Comprehensive Plan 2025-2035

sites or, if acquired for state armory sites, shall be conveyed in the manner strictly as provided in sections 18-1001 to 18-1006, (4) to make all contracts and do all other acts in relation to the property and concerns of the city necessary to the exercise of its corporate powers, and (5) to exercise such other and further powers as may be conferred by law.

Nebraska Revised Statute §16-905

An ordinance of any city of the first class designating the extraterritorial zoning jurisdiction of the city under section 16-901 or 16-902 shall describe such territory by metes and bounds or by reference to an official map.

The comprehensive plan has been prepared in accordance with state statutes and requirements. The city council's duty is to make and adopt a master plan for the physical development of the municipality. The community's master plan shall be an advisory document to guide land development decisions. After a public hearing, the planning commission shall make its recommendation to the city council. Following another public meeting, the city council shall adopt and approve the comprehensive plan by resolution.

Nebraska Revised Statute §19-903

Comprehensive development plan; requirements; regulations and restrictions made in accordance with plan; considerations.

The regulations and restrictions authorized by sections 19-901 to 19-915 shall be in accordance with a comprehensive development plan which shall consist of both graphic and textual material and shall be designed to accommodate anticipated long-range future growth which shall be based upon documented population and economic projections. The comprehensive development plan shall, among other possible elements, include:

(1) A land-use element which designates the proposed general distributions, general location, and extent of the uses of land for agriculture, housing, commerce, industry, recreation, education, public buildings and lands, and other categories of public and private use of land;

(2) The general location, character, and extent of existing and proposed major roads, streets, and highways, and air and other transportation routes and facilities;

(3) The general location, type, capacity, and area served of present and projected or needed community facilities including recreation facilities, schools, libraries, other public buildings, and public utilities and services;

(4) When a new Comprehensive Plan or a full update to an existing Comprehensive Plan is developed on or after July 15, 2010, but not later than January 1, 2015, an energy element which: Assesses energy infrastructure and energy use by sector, including residential, commercial, and industrial sectors; evaluates utilization of renewable energy sources; and promotes energy conservation measures that benefit the community. This subdivision shall not apply to Villages; and

(5)(a) When next amended after January 1, 1995, an identification of sanitary and improvement districts, subdivisions, industrial tracts, commercial tracts, and other discrete developed areas which are or in the future may be appropriate subjects for annexation and (b) a general review of the standards and qualifications that should be met to enable the municipality to undertake annexation of such areas. Failure of the plan to identify subjects for annexation or to set out standards or qualifications for annexation shall not serve as the basis for any challenge to the validity of an annexation ordinance.

Regulations shall be designed to lessen congestion in the streets; to secure safety from fire, panic, and other dangers; to promote health and the general welfare; to provide adequate light and air; to prevent the overcrowding of land; to secure safety from flood; to avoid undue concentration of population; to facilitate the adequate provision of transportation, water, sewerage, schools, parks and other public requirements; to protect property against blight and depreciation; to protect the tax base; to secure economy in governmental expenditures; and to preserve, protect, and enhance historic buildings, places, and districts.

Such regulations shall be made with reasonable consideration, among other things, for the character of the district and its peculiar suitability for particular uses and with a view to conserving the value of buildings and encouraging the most appropriate use of land throughout such municipality.

Data Sources

The following paragraphs highlight key data sources utilized in the analysis. A portion of the data was accessed through mySidewalk.com—an online data vendor—which brings together multiple data sources allowing for comparisons and strategic analysis.

Decennial Census

Beginning in 1790, the United States Census has tabulated each resident of the country based on where they reside on April 1 during years ending in zero. The mandatory survey determines the number of congressional seats for each state. Over time, the census has become more robust capturing data well beyond the original intent.



American Community Survey (ACS)

Conducted by the U.S. Census Bureau, the ACS supplements the decennial census. This ongoing survey supplies data about the nation on an annual basis. In contrast to the universal decennial census, the ACS is sent to a sample of addresses—approximately 3.5 million in all fifty states along with the District of Columbia and Puerto Rico.



For the 2020 5-Year Estimates, Nebraska’s response rate was 90.6 percent. The ACS attempts to capture topics beyond those included in the decennial census and includes education, employment, internet access, and transportation data.

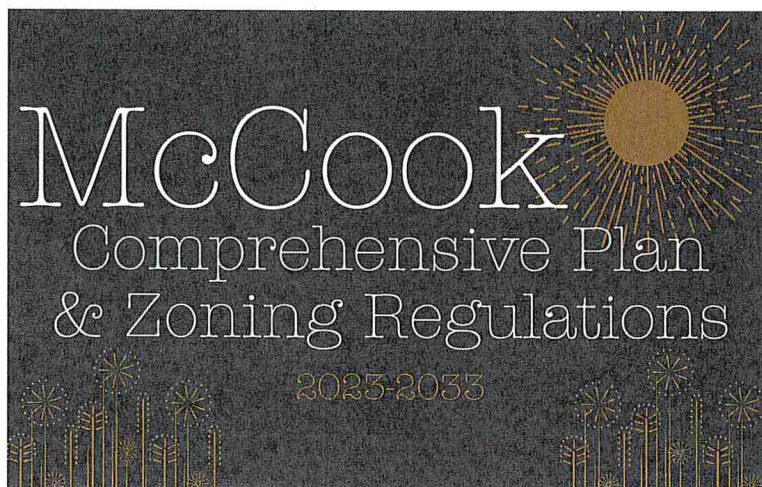
Environmental Systems Research Institute (ESRI)

ESRI data is similar to census data but allows communities to enter additional information regarding commercial properties, including vacant lots and buildings. This helps communities and the State of Nebraska market and promote economic development opportunities. ESRI data is reported as estimates utilizing the most recent census data and marketing forecasts for the associated year.



What is a Comprehensive Plan?

This document is McCook’s long-term comprehensive plan and establishes vision and direction for the future. Its objectives are to set the policy framework to help guide future decisions related to development and investment. The comprehensive plan will help the city thoughtfully address future needs, for economic development, transportation, housing, services, parks and open space, and other community assets. It will also help to ensure a sustainable and fiscally responsible future by setting the desired direction for future development regulations, policy decisions, and community programs.



Previous Planning Efforts

McCook, Nebraska has a record of community participation and planning, and this comprehensive plan builds on previous efforts. In addition to previous comprehensive plans (1999 & 2013), McCook has conducted a Downtown Revitalization Study (2013), a recent Housing Study (2022), and multiple Blight and Substandard Studies (the most recent completed in 2025) to encourage redevelopment. The current comprehensive plan includes both major and minor changes to the community’s vision as developed in previous plans. Revisions include statistical updates and graphic redesign to make the document more readable and user-friendly. An energy component has been added, as required by state statutes. This comprehensive plan addresses various aspects of community and economic development, providing specific guidelines to improve existing conditions and manage future expansion. Based on previous studies, several themes have carried forward including:

- Improve Public Infrastructure
- Enhance Gateway Entrances
- Promote Commercial Development
- Promote Housing Initiatives

Planning Period

The planning period for McCook’s Comprehensive Plan is 2025-2035 and should be reviewed frequently to guarantee its relevance to the community it serves. A formal review process should be undertaken in 2027 and 2030 which will be important to the comprehensive plan’s overall success.

Goals for McCook's Comprehensive Plan 2025-2035

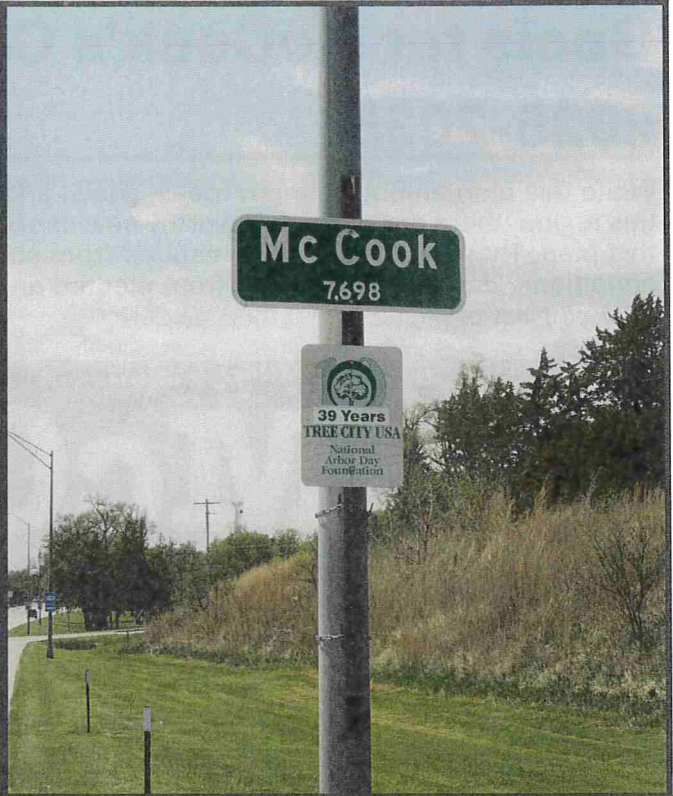
While this plan embodies many ideas, goals, and policies parallel with other communities' goals in this region, there are some noteworthy new directions and slight changes in the course presented in this plan. These new directions resulted from community feedback, reaction to current trends and conditions, and policy direction from elected and appointed officials. These directions include the following list of goals:



CHAPTER

1

COMMUNITY PROFILE



The Community Profile chapter provides a snapshot of current conditions in McCook and forms the foundation for planning for the next ten years. This profile compiles information derived from outside sources, conversations with stakeholders, on-site assessments, and data analysis. The Community Profile chapter includes the following components:

- Description
- History
- Population
- Housing
- Economy & Capital Improvement





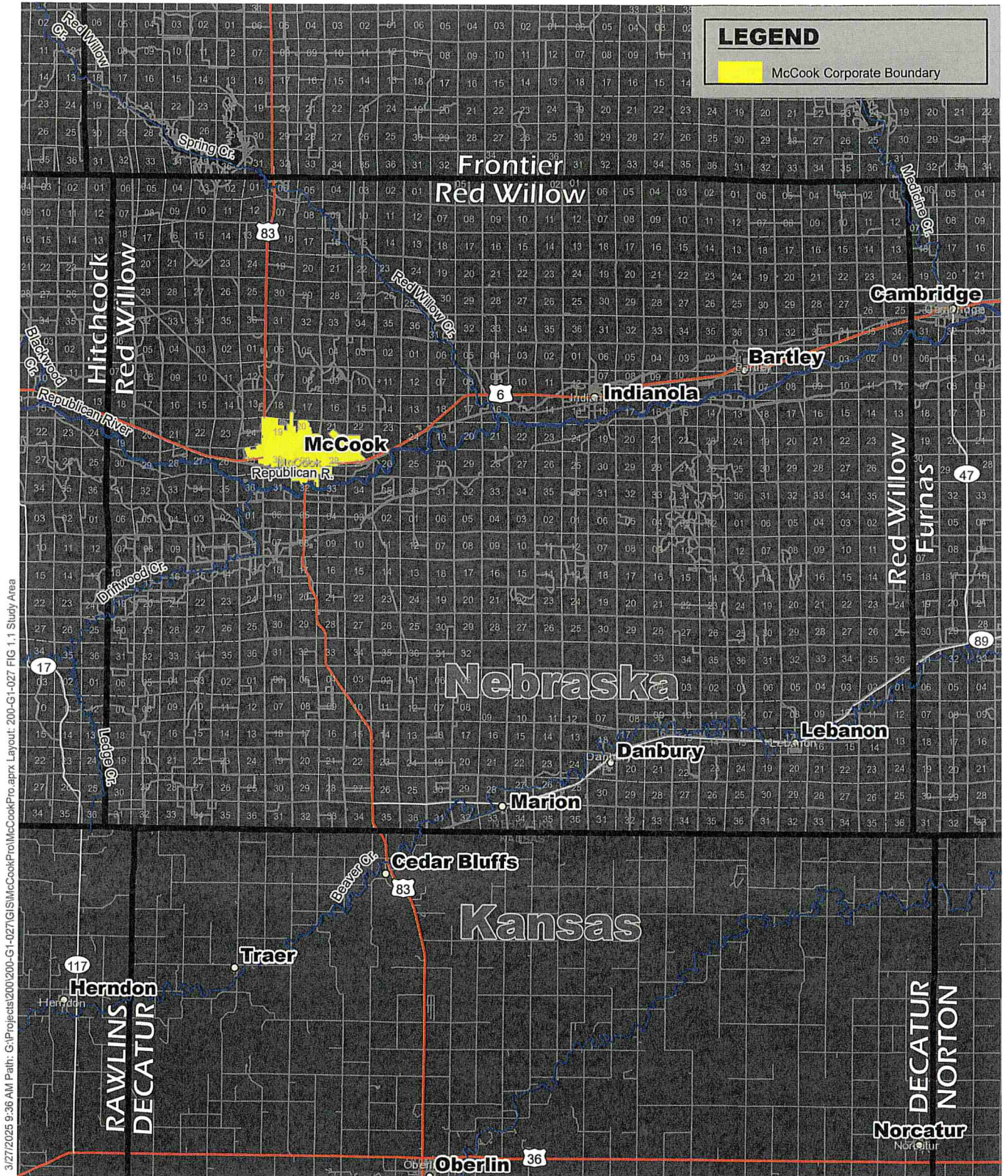
Description

The 2020 Census reported McCook’s population at 7,446 residents, slightly down from the 2010 count of 7,698. McCook’s corporate limits cover approximately 5.46 square miles and it serves as the county seat for Red Willow County. Other communities in Red Willow County include the City of Indianola, the Villages of Bartley, Danbury, and Lebanon, and the unincorporated communities of Marion, Perry, and Shippee. Red Willow County is adjacent to Furnas County to the east, Frontier County to the north, Hitchcock County to the west, and the state of Kansas to the south.

McCook is one of thirty “first class” cities in Nebraska and a true hub for much of southwest Nebraska (Table 1.1). The community is served by Highways 6/34 which runs east-west along with Highway 83 which runs north-south. Additionally, McCook has a Burlington Northern rail line and an Amtrak station.

Table 1.1: State Population Classification

Metropolitan Class	More than 300,000	Omaha Only
Primary Class	More than 100,000; less than 300,00	Lincoln Only
First Class	More than 5,000; less than 100,000	30
Second Class	More than 800; less than 5,000	115
Village	More than 100; less than 800	385
Total number of municipalities in Nebraska: 532		
Source: Nebraska State Statute § 14-101, § 15-101, § 16-101, § 17-101, § 17-201		



3/27/2025 9:36 AM Path: G:\Projects\200\200-G1-027\GIS\McCook\Pro\McCookPro.aprx Layout: 200-G1-027 FIG 1.1 Study Area

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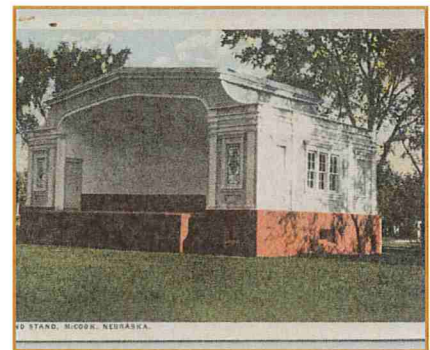
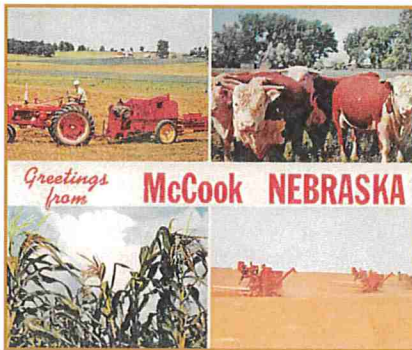
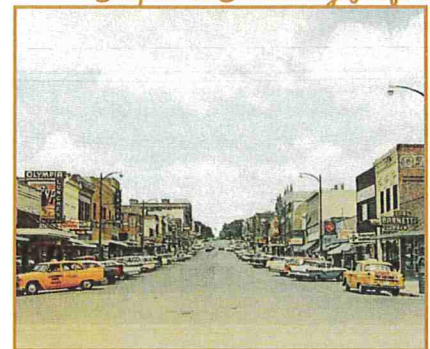
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CONSULTING ENGINEERS, P.C.
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LEGEND
 McCook Corporate Boundary

Figure 1.1
Study Area Map
Red Willow County, Nebraska

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History

McCook has an interesting and noteworthy history, with several local landmarks that not only deserve recognition but are foundational elements for boosterism and tourism efforts (Andreas 1882). McCook, Nebraska was named in honor of Alexander McDowell McCook who was a general in the Union Army during the Civil War (Figures 1.1) (Perkey 1982). Originally platted by the Lincoln Land Company on the north side of the Republican River approximately halfway between Denver, Colorado to the west and the Missouri River to the east, McCook was organized in 1883 and at the first census in 1890 tallied 2,346 residents (Perkey 1982). McCook became a second-class city in 1886 and a first-class city on December 21, 1933.

The community has a strong political background, four Nebraska governors have made their home in McCook—including Ralph Brooks (29th governor), Frank Morrison (31st Governor), Ben Nelson (37th Governor), and Dave Heineman (39th Governor). In addition to four Governors, McCook’s most well-known politician is George Norris who served in the U.S. House of Representatives and Senate from 1903 to 1944. Norris was instrumental in establishing Nebraska’s Unicameral system and in the Senate played a key role in establishing the Tennessee Valley Authority and the Rural Electrification Act.

Beyond noted politicians, McCook has a variety of noteworthy architecture and historical achievements. One is the Harvey Sutton House at 602 Norris Avenue. Designed by Frank Lloyd Wright in 1905-1907 and constructed in 1907-1908, the Prairie Style home is the only known example in Nebraska (Murphy 1978). Wright designed just nineteen houses in the Great Plains and of that number, only about half were completed—the Sutton House was the first. Stramel (2004, 101) notes that the Sutton House “is a fine example of the evolving Prairie style and anchors Wright’s work in the Great Plains.”

McCook was also home to a professional baseball team—the McCook Braves—who played in the Nebraska State League from 1956 to 1959. Hall of Fame pitcher Phil Niekro played for McCook in 1959 and Pat Jordan who later became a writer for *Sporting News* pitched for the team.

Finally, the *McCook Daily Gazette* was founded in 1911 by Harry Strunk and Burris Stewart as the *Red Willow Gazette*—the name changed in the 1920s—and became the first daily newspaper delivered via airplane in the nation. In the early 1900s, delivering daily papers was difficult especially in areas like McCook where road conditions were challenging. The solution was to go with air delivery. Watts

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(2005, 134) notes that as the “plane roared into the air before a crowd estimated at five to six thousand, McCook’s superintendent of schools asserted, ‘there goes the first newspaper delivery flight known to the American press world!’” Other newspapers—*The New York Times*, *The Los Angeles Times*, *The Chicago Daily News*, and *The Boston Transcript*—had been delivered via air, however, *McCook’s Daily Gazette* was the first newspaper delivered by air on a regular basis. McCook was the smallest city in Nebraska to have a daily newspaper and the air delivery service operated from August 1929 to July 1930 (Watts 2005).

In 1929, Harry Strunk paid \$8,000 for a Curtiss Robin C1 monoplane which was named the *Newsboy*. The daily routine covered nearly 400 miles and Steve Tuttle, the first pilot, along with his brother dropped papers from 500 feet in the air to 30-40 Nebraska and Kansas communities in less than four hours, much faster than standard truck delivery. Did it work? It did. In 1928, circulation for the *Gazette* was 2,800 and a year later subscriptions increased by 360, and another 1,340 subscriptions were counted in 1930 for a total of 4,500 (Watts 2005). As an added bonus, the paper offered a ride to anyone who had a two-year subscription. The stunt, although short-lived, proved successful as circulation dramatically increased. The *Newsboy* was ultimately taken out of service and in 1972 placed on display at the Museum of Flight in Seattle (Discoe 2008).

Not only did the newspaper benefit from this short-lived stunt. The chamber of commerce encouraged businesses to stay open during McCook’s air show events where thousands came to town—the local Montgomery Ward manager reported 18,000 to 20,000 customers during the show (Watts 2005). A violent windstorm put an end to early air delivery in McCook, at least for a while. A second *Newsboy* airplane began delivery in 1950 which continued for the next four years. With continual road improvements, newspaper trucks—all named *Newsboy*—replaced air delivery.

McCook is fortunate to have a history filled with achievements and innovations, a spirit that continues today. For additional McCook and Red Willow County insights contact the High Plains Historical Society and Museum, McCook Army Air Base Historical Society, and Senator George Norris State Historic Site located in McCook, Nebraska. The Heritage Highway 136 is also a tremendous resource (<https://heritagehighway136.com/red-willow/>). The McCook/Red Willow County Visitors Bureau also provides resources related to the promotion of place (bird watching in addition to hunting and fishing opportunities, for example) and activities throughout the year (<https://visitmccook.com>).



Population

Understanding a population's composition guides community development. Demographics are the basis for prioritizing future goals, all other plan elements depend on an assessment of existing population characteristics and future projections. This data creates a vision for the next five, ten, and fifteen years and helps decision-makers plan for social, economic, and physical infrastructure to meet McCook's needs and objectives.

Population Change

After registering an initial population of 2,346 in the 1890 census, McCook as a key transportation hub in southwest Nebraska climbed to 6,688 in 1930 (Table 1.2) (Condra *et al.* 1951). The Dust Bowl years impacted communities across the Great Plains, McCook was no different and its population slightly declined to 6,212 in 1940. McCook's population jumped to 7,678 in 1950 and gradually rose to 8,404 in 1980. Since that time its population has steadily declined to 7,446 in 2020.

Red Willow County—founded in 1873—has experienced a similar trend in population (Table 1.2). After counting 3,044 residents in 1880, the county's population surged over the next decades to 13,859 in 1930. During the depression in the 1930s, Red Willow County's population dipped to 11,951 in 1940. Since 1940, the county's total population has ranged from 12,977 in 1950 to 10,702 in 2020.

1880	-	3,044
1890	2,346	8,837
1900	2,445	9,604
1910	3,765	11,056
1920	4,303	11,434
1930	6,688	13,859
1940	6,212	11,951
1950	7,678	12,977
1960	8,301	12,940
1970	8,285	12,191
1980	8,404	12,615
1990	8,112	11,705
2000	7,996	11,450
2010	7,698	11,055
2020	7,446	10,702

Source: U.S. Census Bureau (data.census.gov), U.S. Federal Statistical System.

McCook Comprehensive Plan 2025-2035

Peer Communities

Communities with similar characteristics make for a nice comparison to understand trends across the state—these communities were selected based on the 2020 census. Of the peer communities, only Alliance peaked at the same time as McCook in 1980. Three communities—Crete, Gering, and Seward—recorded their highest populations in 2020 (Table 1.3).

Table 1.3: Peer Community Population Change

Community	1980	1990	2000	2010	2020
Alliance	9,920	9,765	8,959	8,491	8,151
Blair	6,418	6,860	7,512	7,990	7,790
Crete	4,872	4,841	6,028	6,960	7,099
Gering	7,760	7,946	7,751	8,500	8,564
Nebraska City	7,127	6,547	7,228	7,289	7,222
Seward	5,713	5,641	6,319	6,964	7,643
York	7,723	7,940	8,081	7,766	8,066
McCook	8,404	8,112	7,996	7,698	7,446

Source: U.S. Census Bureau (data.census.gov), U.S. Federal Statistical System

In addition to population comparisons, Table 1.4 reveals trends related to median age, household size, and median household income. Of the peer communities, McCook has the second highest median age at 40.7 years, the lowest average household size at 2.26, and the second lowest median household income at \$51,711.

Median Household Income

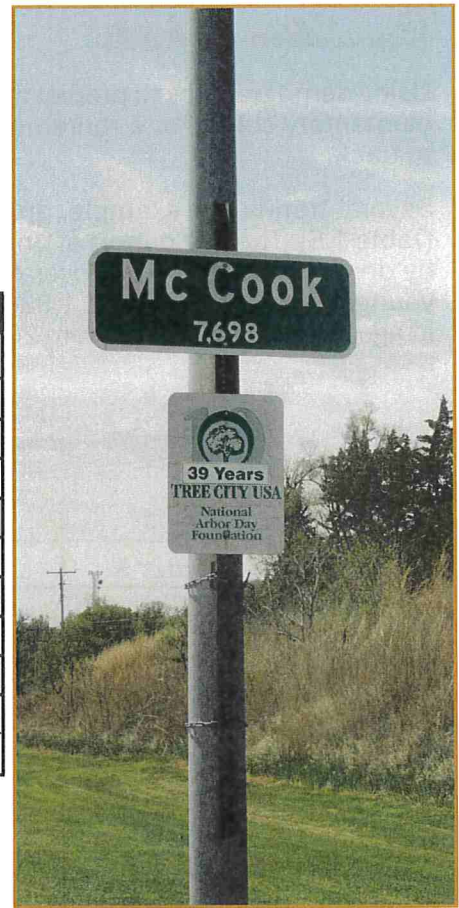
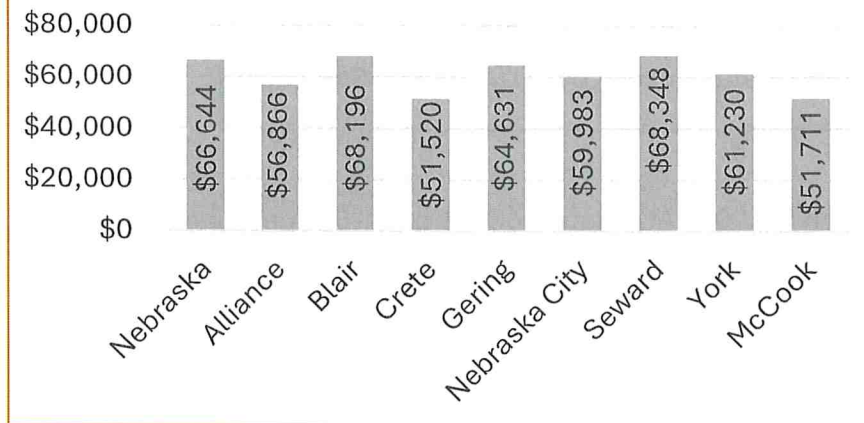


Table 1.4: Peer Community Comparisons

Community	Median Age	Average Household Size
Nebraska	36.7	2.48
Alliance	38.5	2.32
Blair	39.2	2.49
Crete	31.5	2.7
Gering	35.9	2.49
Nebraska City	38.1	2.51
Seward	30.6	2.52
York	40.8	2.27
McCook	40.7	2.26

Source: U.S. Census Bureau (data.census.gov), U.S. Federal Statistical System

Population Cohorts

Using demographics to predict community change is critical. Planning for future needs, possibly a new elementary school or a retirement facility, based on population trends is important for a community to track.

Several trends, for example, appear for McCook based on population estimates for 2010 and 2020 (Table 1.5). The age cohort of under 19 years of age, for example, points to a positive trend in McCook by demonstrating a slight overall increase in the four categories representing those who are 19 and younger (1,872 in 2010 and 1,938 in 2020). Additionally, the three categories that represent those 65+ in age slightly decreased from 2010 to 2020 (1,623 to 1,527).

Table 1.5: Population Based on *Estimated* 2010 and 2020 Census Data

Age	Number (2010)	Percent (2010)	Number (2020)	Percent (2020)
Under 5	528	6.8	413	5.5
5 to 9	390	5	393	5.2
10 to 14	440	5.7	487	6.4
15 to 19	514	6.7	645	8.5
20 to 24	525	6.8	536	7.1
25 to 34	828	10.7	803	10.6
35 to 44	809	10.5	858	11.4
45 to 54	1,147	14.8	845	11.2
55 to 59	552	7.1	389	5.1
60 to 64	373	4.8	609	8.1
65 to 74	705	9.1	742	9.8
75 to 84	546	7.1	426	5.6
85 and older	372	4.8	409	5.4

Source: U.S. Census Bureau (data.census.gov), U.S. Federal Statistical System.

Interesting to note as well, that based on the 2021 ACS data McCook has 1,504 people over the age of 65 and dividing that based on gender there are 637 males and 867 females which is a typical scenario across the Great Plains and Midwest in general. Finally, the median age decreased from 43.0 to 40.7 from 2010 to 2020.

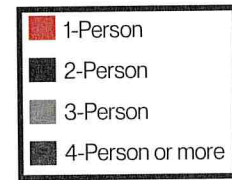
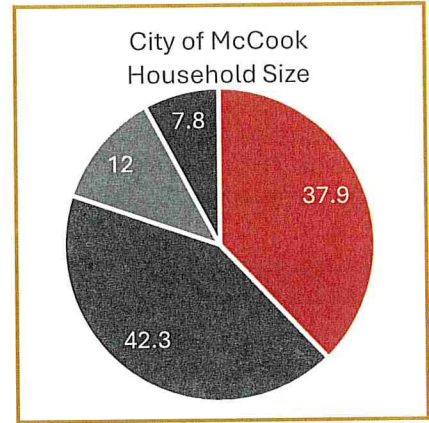
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Family Dynamics

Families are a fundamental structure for any community, including McCook. Family is defined as a group of one or more parents and their children living together as a unit. Providing opportunities to all members of the community is critical and the City of McCook is able to make decisions based on family data. In addition to defining family, a household is considered a “family household” when at least one member of the household is related to the householder by birth, marriage, or adoption.

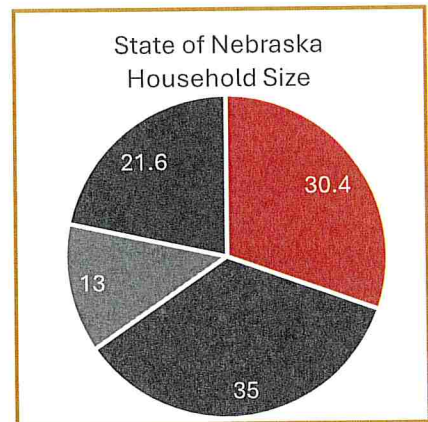
According to census data, there are 3,184 total households (or housing units) in McCook and a total of 1,776 families (55.8 percent) and 1,408 non-family households (44.2 percent). For the entire State of Nebraska, those numbers are 785,982 total households, 495,142 (63.0 percent) families, and 290,840 (37.0 percent) non-family households.

In regard to household size, McCook has 1,206 one-person households, 1,348 two-person households, 383 three-person households, and 247 four-or-more households. These numbers significantly vary in comparison to the State of Nebraska (Table 1.6).

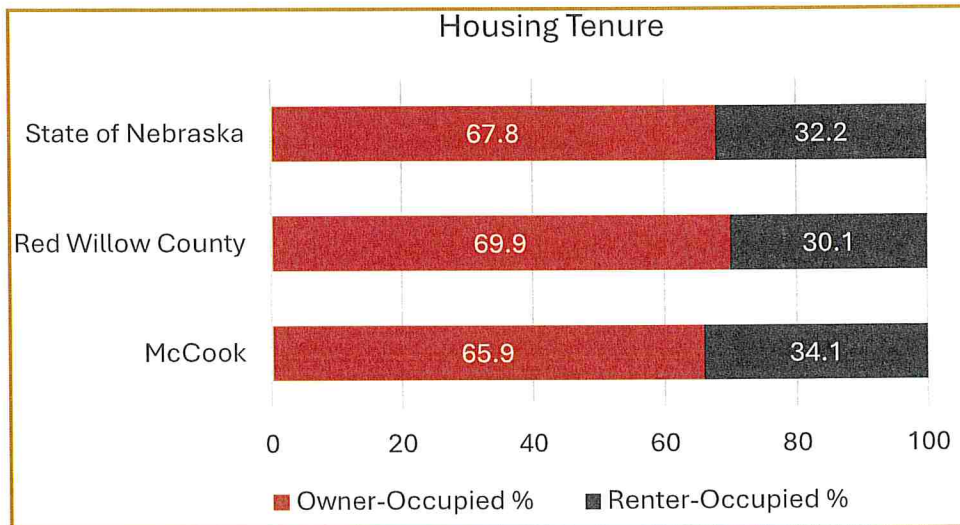


Household Size	City of McCook	State of Nebraska
1-Person	1,206	238,923
2-Person	1,348	275,089
3-Person	383	101,844
4-Person or more	247	170,126
Total Households	3,184	785,982

Source: American Community Survey Estimates (2021) (mysidewalk.com).



Finally, it is important to note that 65.9 percent of the housing units is owner-occupied while 34.1 percent is renter-occupied in McCook—data for the State of Nebraska are similar at 67.8 percent owner-occupied and 32.2 percent renter-occupied.



Race/Ethnicity

Race and/or ethnicity is another way to analyze population. McCook in 2020 registered a total population of 7,446. Of that number, 6,544 (87.9 percent) were listed as Caucasian in McCook, followed by 572 (7.7 percent) Hispanic/Latino, 39 (0.5 percent) African-American, and 21 (0.3 percent) Native American (Table 1.7). In comparison, the State of Nebraska with a total population of 1,961,504 in 2020, was 75.7 percent (1,484,687) Caucasian, 12.0 percent (234,715) Hispanic, 4.8 percent (94,405) African-American, 2.7 percent (52,359) Asian, and 0.8 percent (15,051) Native American (Table 1.7).

Ethnicity	City of McCook		State of Nebraska	
	Number	Percent	Number	Percent
Caucasian	6,544	87.9	1,484,687	75.7
Hispanic/Latino	572	7.7	234,715	12
African-American	39	0.5	94,405	4.8
Native American	21	0.3	15,051	0.8
Asian	0	0	52,359	2.7

Source: American Community Survey Estimates (2021) (mysidewalk.com).

People with Disabilities

Accessibility concerns are also considerations for the City of McCook. According to the Centers for Disease Control and Prevention (CDC), 56.7 million adults in the United States live with a disability. These concerns relate to community design, development, and maintenance of community assets. A number of McCook’s residents live with a disability, many are 65+ in age (ACS 2021). For example, 417 McCook residents (263 over 65+) listed a hearing difficulty, 100 have vision difficulty (34 over 65+), 508 have cognitive concerns (111 over 65+), 439 listed ambulatory issues (249 over 65+), and 277 stated independent living difficulty (184 over 65+) (Tables 1.8 and 1.9).

Public spaces, community amenities, and community events should accommodate individuals with disabilities when possible. ADA-compliant ramps and amenities are simple design standards that address accessibility.

Disability	People
Hearing	417
Vision	100
Cognitive	508
Ambulatory	439
Independent Living	277

Source: American Community Survey Estimates (2021) (mysidewalk.com).

Age Group	People
Age Under 5	0
Age 5 to 17	31
Age 18 to 64	766
Over Age 65	512

Source: American Community Survey Estimates (2021) (mysidewalk.com).

McCook Comprehensive Plan 2025-2035

Population Projections

Population composition and trends are important considerations when determining projections for a community’s future population. Projections help determine a city’s future land use and community service needs and policies. The various scenarios presented in this comprehensive plan present different outcomes—decline or growth—which guide decision-makers in the planning process. Revisiting the comprehensive plan regularly is important and will encourage community leaders to stay active and aware of community needs.

Since the community’s peak in population in 1980, McCook has lost 958 residents or -11.4 percent of its population. Table 1.10 presents McCook’s population change by decade since 1980, with declines ranging from -3.7 percent to -1.4 percent. Table 1.11 looks ahead and presents four different scenarios based on population estimates ranging from -3.0 percent to +3.0 percent from 2020 to 2050 by decade. Over the course of multiple decades, even a slight change by percent equals a significant population change—growth or decline.

Table 1.10: Population Change 1980-2020

Year	Population	Percent Change
1980	8,404	-
1990	8,112	-3.5
2000	7,996	-1.4
2010	7,698	-3.7
2020	7,446	-3.3

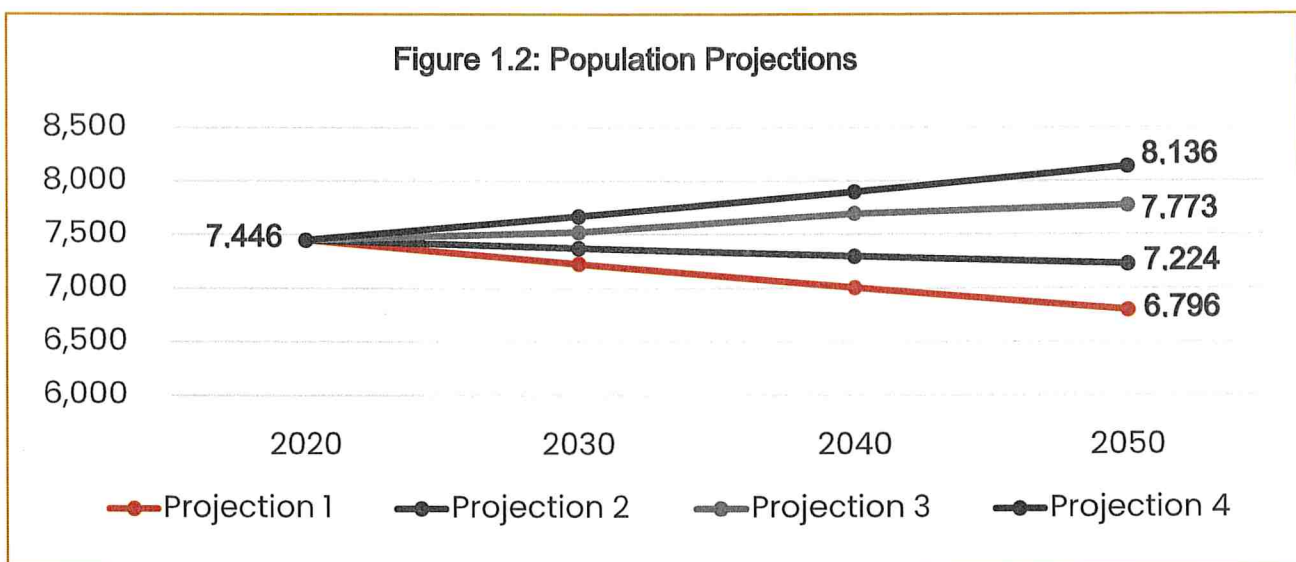
Source: U.S. Census Bureau (data.census.gov), U.S. Federal Statistical System.

While the loss or creation of a major employer or local industry can have a tremendous impact on a community like McCook, in general the numbers demonstrate a need to market and promote the community. McCook has numerous positive and significant resources, selling “place” should be a priority and is key for its future.

Table 1.11: Population Projections and Estimates 2020-2050
2020 Population: 7,446

Projections	2030		2040		2050	
	Population	Change	Population	Change	Population	Change
-3%	7,223	-223	7,006	-217	6,796	-210
-1%	7,371	-75	7,297	-74	7,224	-73
1%	7,521	75	7,696	75	7,773	77
3%	7,669	223	7,899	230	8,136	237

Source: U.S. Census Bureau (data.census.gov), U.S. Federal Statistical System.



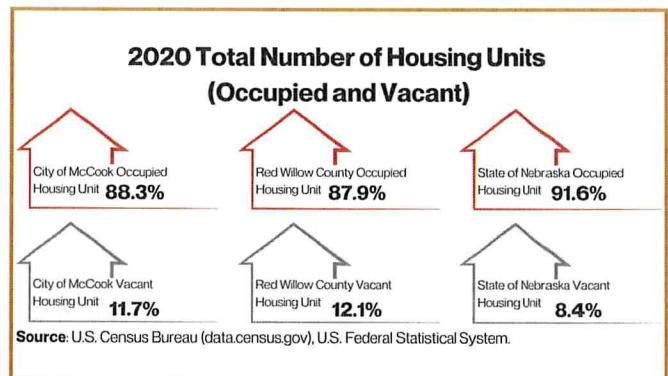


Housing

Housing is a critical piece to McCook’s prosperity. The city must seek ways to assess and improve housing options by identifying housing priorities and ways to encourage development of housing options. Inviting, well-maintained housing attracts potential residents and predicting future demand is a priority. Issues related to aging housing stock are concerns if older homes no longer address the needs of today’s buyers. Housing in conjunction with demographics will assist City leaders to find appropriate market improvements for community success.

Occupancy Characteristics

Tables 1.12, 1.13, and 1.14 reflect housing data, including total number of units, occupied housing data, housing tenure, and year structure built for McCook, Red Willow County, and the State of Nebraska for comparison. McCook and Red Willow County are similar in most categories, occupied and vacant rates are no exceptions with the State of Nebraska having a slightly lower rate of vacant housing (Table 1.13).



**Table 1.12: 2020 Total Number of Housing Units
(Occupied and Vacant)**

Location	Total Housing Units	Occupied	Vacant
City of McCook	3,688	3,258	430
Red Willow County	5,157	4,532	625
State of Nebraska	844,278	773,312	70,966

Source: U.S. Census Bureau (data.census.gov), U.S. Federal Statistical System.

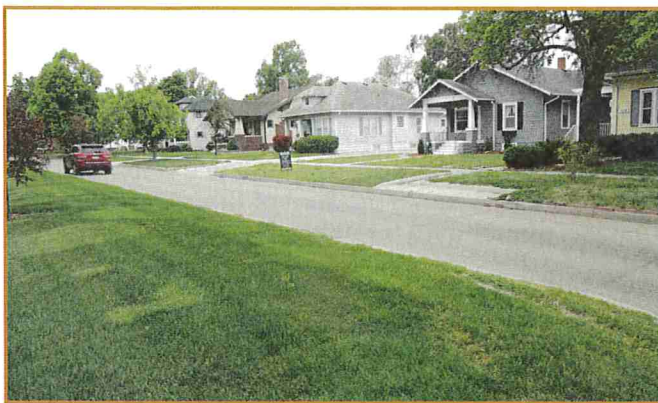


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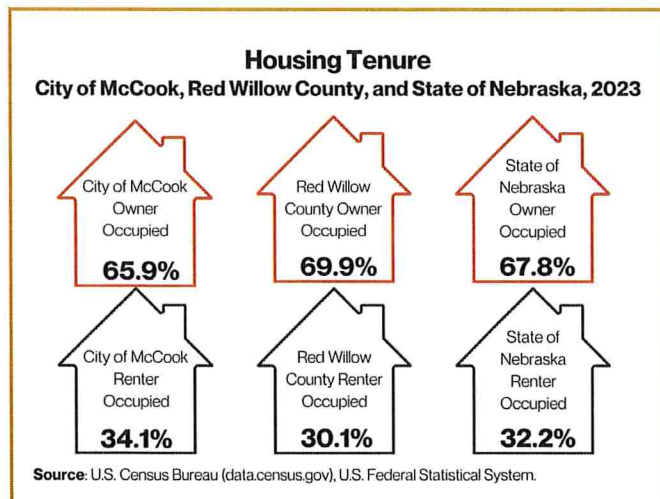
A similar situation is found in occupied housing units with McCook and Red Willow County having higher percentages of 1-person and 2-person households and the State of Nebraska having higher rates in 3-person and 4-person households (Table 1.13).

Location	Total	1-Person		2-Person		3-Person		4-Person	
		Number	Percent	Number	Percent	Number	Percent	Number	Percent
City of McCook	3,184	1,206	37.9	1,348	42.3	383	12.0	247	7.8
Red Willow County	4,328	1,562	36.1	1,820	42.1	480	11.1	466	10.8
State of Nebraska	785,982	238,923	30.4	275,089	35.0	275,089	13.0	170,126	21.6

Source: ACS 2021; mysidewalk.com.

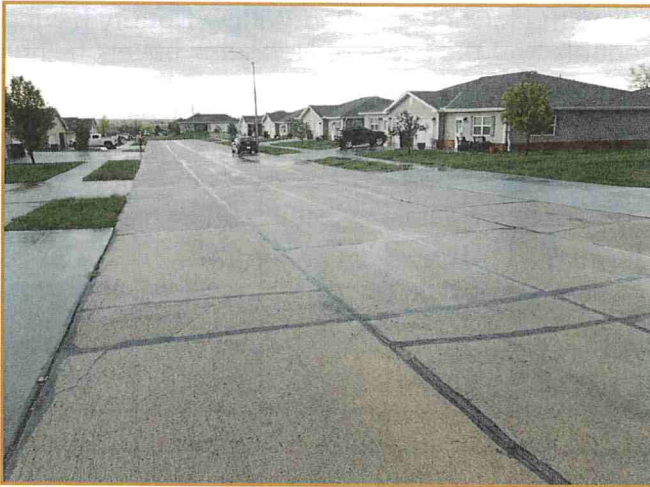


Evaluating average household size indicates that McCook is slightly below the county and state (Table 1.14). Examining housing tenure demonstrates little variance between the three, while year built dramatically varies with McCook and Red Willow County having a higher percentage of older homes (Table 1.15).



Location	2020
City of McCook	2.26
Red Willow County	2.39
State of Nebraska	2.44

Source: American Community Survey Estimates (2021) (mysidewalk.com).



Age of Housing Stock

Age of housing stock is reflected in McCook’s population data. Aging or dated housing impacts the community’s ability to recruit new residents, which is an important variable to consider. Both McCook and Red Willow County are similar in that well over half of the houses were constructed prior to 1960, in comparison the State of Nebraska which registered just over 31 percent in that age category (Table 1.15). Moreover, McCook and Red Willow County both have well over 75 percent of their housing stock built before 1980. In comparison, the State of Nebraska is at just over 57 percent.

Older properties are not liabilities simply based on age, but older homes do require continual upkeep and maintenance. Additionally, many older homes were constructed on smaller lots (often fifty feet in width) and contain smaller bedrooms than what the market demands today.

Table 1.15: Year Structure Built (Number and By Percent)

Year Built	City of McCook	Percent	Red Willow County	Percent	State of Nebraska	Percent
2020 or later	0	0.0	0	0.0	5,012	0.6
2010 to 2019	17	0.5	94	2.2	76,078	9.7
2000 to 2009	136	4.3	245	5.7	94,225	12.0
1980 to 1999	510	16.0	692	16.0	158,511	20.2
1960 to 1979	710	22.3	970	22.4	204,612	26.0
1940 to 1959	896	28.1	1,039	24.0	106,315	13.5
1939 or older	915	28.7	1,288	29.8	141,229	18.0

Source: ACS 2021; mysidewalk.com.

Institutionalized Living

The American Community Survey states that McCook has 131 residents in institutionalized living situations. Additionally, it is important to note that 118 of the 131 residents are 65+ years in age.

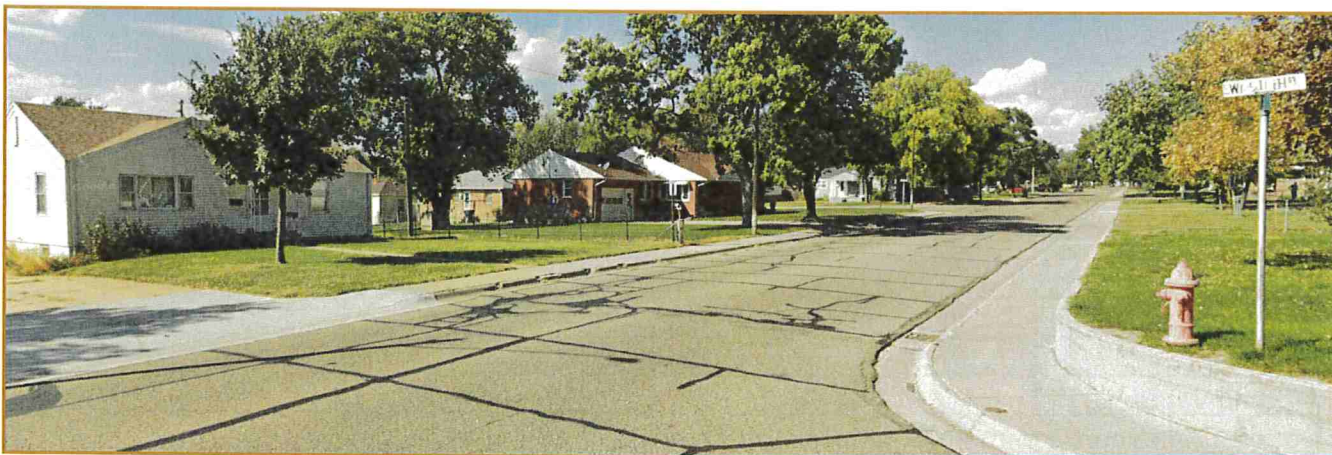


McCook Comprehensive Plan 2025-2035

Vacancy Rates

A healthy vacancy rate typically varies between 2 and 7 percent. High vacancy rates tend to reduce the value of nearby properties, create fire and safety hazards, and impose costs for the local government. In McCook's case, the current vacancy rate is 11.7 percent—in comparison Red Willow County is 12.1 percent, and the State of Nebraska is at 8.4 percent (U.S. Census Bureau (data.census.gov), U.S. Federal Statistical System).

Adequate housing is essential to support economic growth. A small percentage of vacant properties is necessary to attract new residents and create an atmosphere of a healthy housing market tied to job creation and recruitment efforts. A tight housing market, for example, can increase housing prices and make it more challenging for employers to recruit additional employees. In 2023 a quick search on realtor.com found that McCook had forty-six listings—thirty-five single-family homes, two multi-family homes, two mobile homes, and seven residential lots available for development. In early 2025 realtor.com was once again searched and McCook currently has forty-six single-family homes for sale, one multi-family property, four condo properties, and twenty-two vacant lots ready for development.



Housing Value

The median value for owner-occupied housing units with a mortgage is \$131,500, slightly lower than Red Willow County and considerably less than the State of Nebraska. For properties without a mortgage, McCook's median value is \$124,000 which is just over Red Willow County and approximately \$50,000 less than the State of Nebraska.

By value for the properties with a mortgage, McCook and Red Willow County are quite similar which is no surprise (Table 1.16). A majority of properties are in the \$100,000 - \$299,000 range, with another quarter of the properties in the \$50,000 - \$99,999 category. The State of Nebraska is similar in that the majority is also in the \$100,000 - \$299,999 range but the state has more properties in the higher value sectors.

Value	City of McCook	Percent	Red Willow County	Percent	State of Nebraska	Percent
Less than \$50,000	103	10	133	9.8	11,257	3.5
\$50,000 - \$99,999	259	25	304	22.4	22,635	7.1
\$100,000 - \$299,999	621	60	818	60.4	193,435	60.9
\$300,000 - \$499,999	37	3.6	85	6.2	68,791	21.6
\$500,000 - \$749,999	0	0	0	0	15,548	4.9
\$750,000 - \$999,999	15	1.4	15	1.1	3,669	1.2
\$1,000,000+	0	0	0	0	2,415	0.8

Source: American Community Survey Estimates (2021) (mysidewalk.com).

For properties without a mortgage, similar trends were found (Table 1.17). By percent, all three entities have the highest percent in the \$100,000 - \$199,000 category. Overall, the State of Nebraska has fewer properties in the lower rankings by value and more at the higher end in comparison to McCook and Red Willow County.

In 2022, McCook issued 186 building permits. Of that total, 74.2 percent (138) were residential permits and the remaining 25.8 percent (48) were for commercial structures. Based on dollar amount, residential permits totaled \$3,766,857 and commercial permits totaled \$7,173,507.

Value	City of McCook	Percent	Red Willow County	Percent	State of Nebraska	Percent
Less than \$50,000	200	18.8	339	20.3	25,714	12
\$50,000 - \$99,999	260	24.4	377	22.6	31,170	14.5
\$100,000 - \$199,000	459	43.2	669	40	64,460	30
\$200,000 - \$299,000	100	9.4	206	12.3	47,537	22.1
\$300,000 - \$499,999	43	4	71	4.2	32,746	15.2
\$500,000 - \$749,999	0	0	9	0.5	7,702	3.6
\$750,000 - \$999,999	0	0	0	0	2,691	1.3
\$1,000,000+	0	0	0	0	2,212	1
Median Value	\$124,000		\$121,200		\$174,500	

Source: American Community Survey Estimates (2021) (mysidewalk.com).

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Substandard Housing Conditions

When evaluating housing units, it is necessary to examine overall condition. Uninhabitable properties should be addressed with removal as a viable option to create infill opportunities. According to the Department of Housing and Urban Development (HUD) guidelines, a housing unit is substandard if it lacks complete plumbing or if it qualifies as overcrowded. HUD defines adequate plumbing as a property with hot and cold piped water, a bathtub or shower, along with a flush toilet. Overcrowding is more than one person per room.

According to census data, substandard housing in McCook does not appear to be a serious concern. All 3,184 occupied housing units have plumbing facilities, 3,104 have complete kitchen facilities, and only 69 do not have telephone service. Additionally, all 3,184 properties have 1.0 or less occupants per room (ACS 2021; mysidewalk.com).

Affordable Housing Options

The McCook Housing Authority provided data regarding affordable housing. The housing authority currently has sixty-six one-bedroom units, six two-bedroom units, six three-bedroom units, and a total of eighty-six total subsidized units. The authority also has eighty Housing Choice Vouchers (HCV) and is currently utilizing approximately forty-five based on available funding. HCV is where a tenant lives in a private rental and the authority subsidizes the rent.

The McCook Housing Authority covers an area from Beaver City to Stratton and north to Curtis with a majority of vouchers being utilized in McCook. In addition to the McCook Housing Authority, the McCook Economic Development Corporation (MEDC) has partnered with Mesner Development to construct Clary Village and Quillan Courts.

Clary Village consists of eight duplexes (twelve two-bedroom units and four three-bedroom units) while Quillan Courts contains four single family five-bedroom units, eight four-bedroom units, and four three-bedroom units.

Beyond that there is the Southwest Nebraska Community Betterment Corporation (SWNCBC) that looks to create funding opportunities to improve housing and economic development. Finally, Southwest Nebraska Habitat for Humanity also helps families and potential homeowners build and improve housing stock.



Housing Affordability Analysis

The 28/36 Rule states that a person should not spend more than 28 percent of their gross monthly income on housing-related costs and less than 36 percent should be spent on total debts. For owner-occupied households with a mortgage, in McCook roughly 12.3 percent of households with a mortgage spend more than 30 percent of their income on housing related costs (Table 1.18). For households without a mortgage, 14.5 percent of households were in that range (Table 1.19). In comparison, for the State of Nebraska for households with a mortgage some 21.8 percent are in the 30.0 percent or more for costs. For those without a mortgage, only 11.5 percent were above the 30.0 threshold. As for value, 60.0 percent (621) of McCook’s homes range in value from \$100,000 to \$299,999 with another 103 homes less than \$50,000 and fifteen that are greater than \$750,000 (Table 1.20).



Table 1.18: Selected Monthly Owner Cost (With Mortgage)

Categories by %	With Mortgage (1,035 Units)	Percent
20.0 or Less	747	72.2
20.0 – 24.9	115	11.1
25.0 – 29.9	45	4.3
30.0 – 34.9	16	1.5
35.0+	112	10.8

Source: American Community Survey 2021; mysidewalk.com.

Table 1.19: Selected Monthly Owner Cost (Without Mortgage)

Categories by %	Without Mortgage (1,052 Units)	Percent
10.0 or Less	380	36.1
10.0 – 14.9	171	16.3
15.0 – 19.9	149	14.2
20 – 24.9	177	16.8
25.0 – 29.9	22	2.1
30.0 – 34.9	101	9.6
35.0 or more	52	4.9

Source: American Community Survey 2021; mysidewalk.com.



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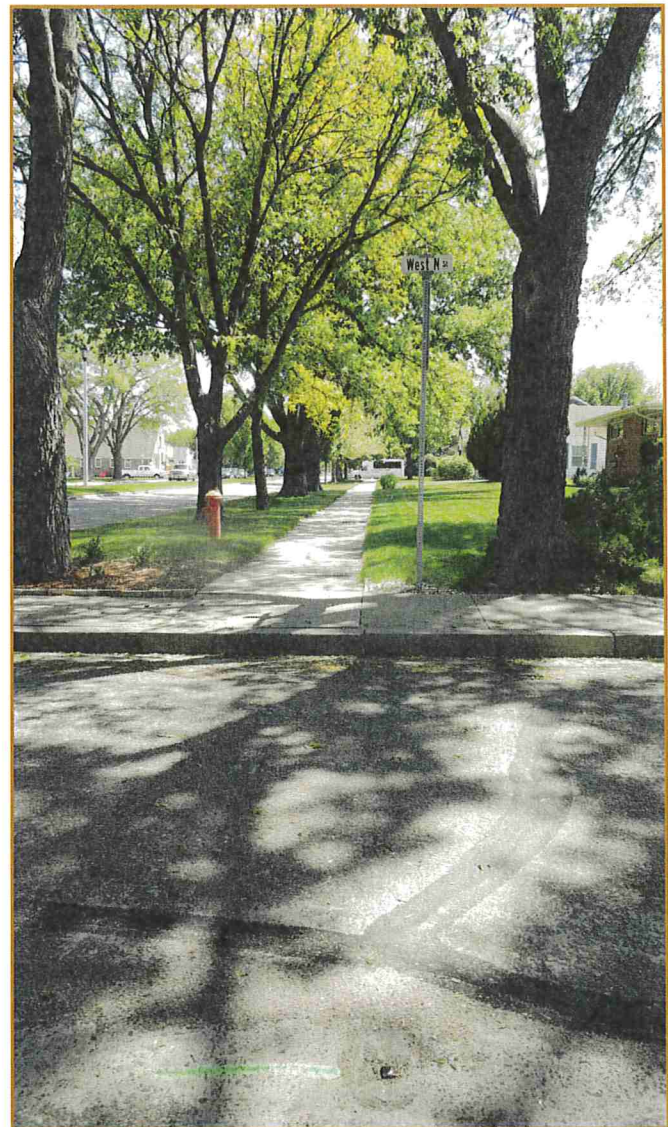
Table 1.20: Owner Occupied Housing Units with a Mortgage	
Value	Number of Homes
\$50,000 or Less	103
\$50,000 – \$99,999	259
\$100,000 – \$299,999	621
\$300,000 – \$499,999	37
\$500,000 – \$749,999	0
\$750,000 – \$999,999	15
\$1,000,000+	0
Median: \$131,500	
Source: American Community Survey 2021; mysidewalk.com.	

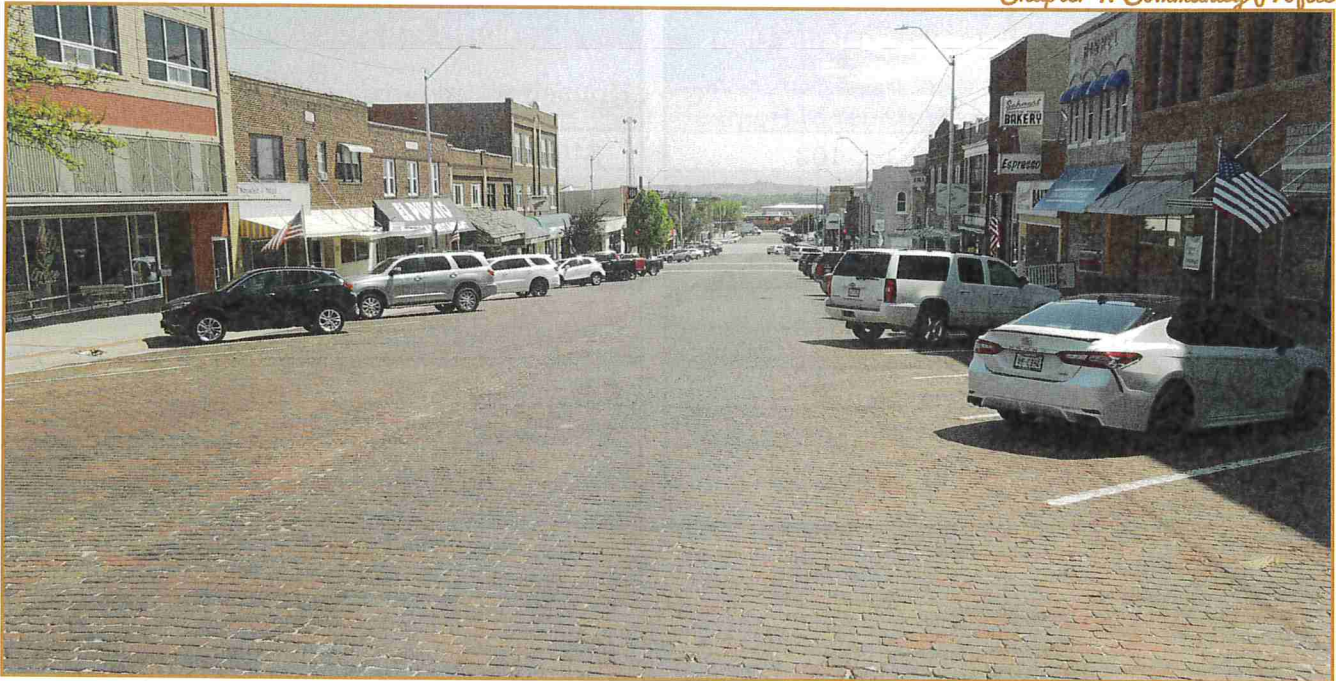
Table 1.21: Household Income		
Household Income	Number of Units Needed	Percent
\$10,000 or Less	127	4
\$10,000 – \$14,999	245	7.7
\$15,000 – \$24,999	363	11.4
\$25,000 – \$34,999	373	11.7
\$35,000 – \$49,999	471	14.8
\$50,000 – \$74,999	541	17
\$75,000 – \$99,999	443	13.9
\$100,000 – \$149,999	267	8.4
\$150,000 – \$199,999	252	7.9
\$200,000+	101	3.2
Source: American Community Survey 2021; mysidewalk.com.		

Household Income

Household income is defined by the Census Bureau as “any sum of money income received in the calendar year by all household members 15 years old and over, including household members not related to the householder, people living alone, and other nonfamily household members. Included in the total are amounts reported separately for wage or salary income; net self-employment income; interest, dividends, or net rental or royalty income or income from estates and trusts; Social Security or Railroad Retirement Income; Supplemental Security Income; public assistance or welfare payments; retirement, survivor, or disability pensions; and all other income.”

McCook has the greatest number of households (541) in the \$50,000 – \$74,999 income category, closely followed by the two categories above and below that mark (Table 1.21). Over 100 households are found in the two rankings at the extremes, both high and low.





Economy

The ability to predict development needs and future land uses relies heavily on economic trends and an analysis of local economic factors is a critical component of a comprehensive plan. Although no one development strategy fits all communities, economic development is a major goal of planning efforts. This does, however, require active engagement by the community, its leadership, organizations, institutions, and the business community as well. The private sector is the primary economic engine, but the public sector plays an essential role.

Labor Force

Labor force is a critical consideration for any community. Playing a part in job creation, attracting new residents, and growing the tax base are fundamental issues for a community. An examination of workforce only includes residents who are sixteen years or older.

Moreover, of that eligible number 3,919 (94.2 percent) are employed and 241 (5.8 percent) are unemployed (ACS 2021). According to census data, 6,143 people are 16+ years of age in McCook and of that number 4,160 are eligible to be counted in the labor force. In McCook of the total population 16+ years of age, just over half (50.7 percent) are females, with 1,948 in the labor force (ACS 2021). The Federal Reserve Economic Data has a much lower number, noting that Red Willow County's current unemployment rate is 1.7 percent and the Nebraska Department of Labor has it even lower at 1.5 percent (<https://fred.stlouisfed.org>; <https://dol.nebraska.gov>). In comparison, the Federal Reserve has Nebraska's current unemployment rate at 2.1 percent.

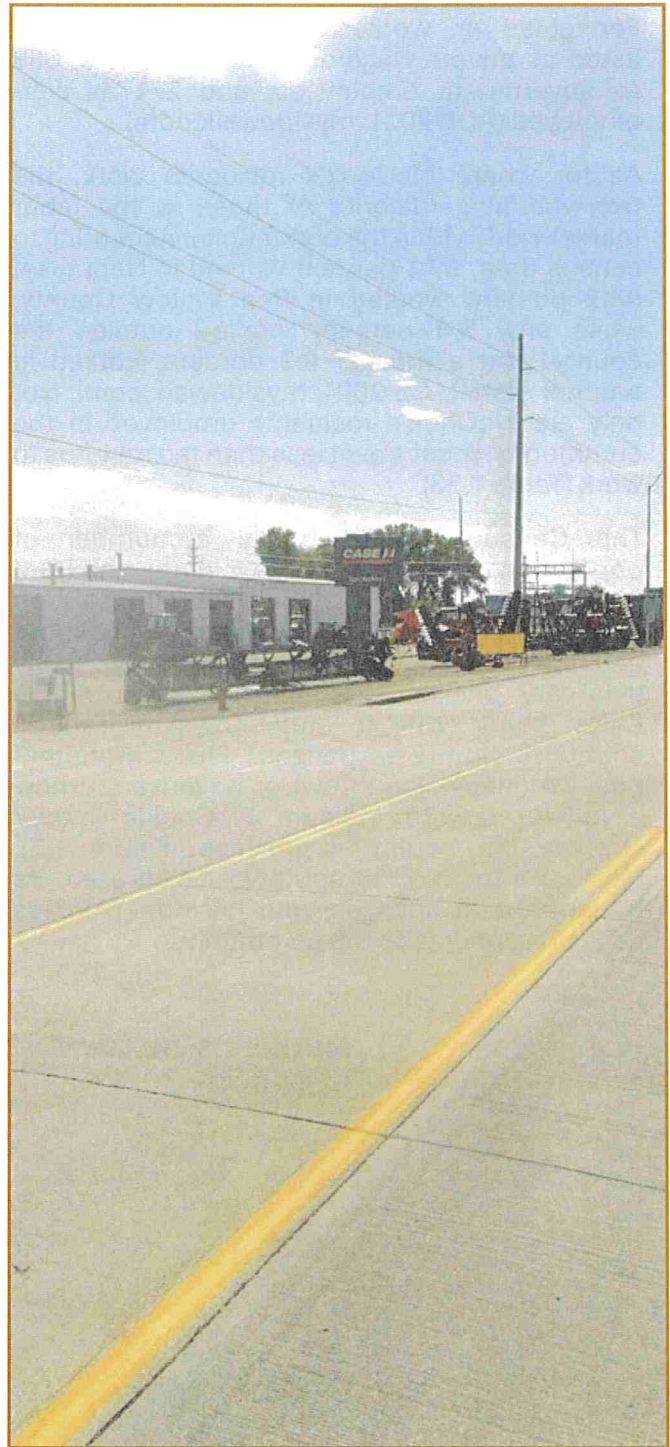
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For labor participation rate, McCook registered 63.8 percent and Red Willow County was at 62.2 percent. In comparison, the State of Nebraska stood at 66.4 percent in 2021 (ACS 2021; mysidewalk.com). Additionally, of those actively engaged in the labor force, 3,818 commute to work—3,414 drove alone, 151 carpooled, 108 walked, and 144 work from home—and the mean travel time in McCook is 13.2 minutes. McCook’s employed residents fill a variety of occupations, with Education Services, Health Care, and Social Assistance (909), Retail Trade (579), and Manufacturing (440) occupying the top three spots (Table 1.22).

Table 1.22: McCook’s Labor Force by Occupation

Occupation	Number
Agriculture, Forestry, Fishing/ Hunting, Mining	95
Construction	246
Manufacturing	440
Wholesale Trade	140
Retail Trade	579
Transportation Warehousing, and Utilities	339
Information	42
Finance and Insurance, Real Estate	150
Professional, Scientific, Management, Administrative	224
Education Services, Health Care, Social Assistance	909
Arts, Entertainment, and Recreation	288
Other Services, Except Public Administration	194
Public Administration	273

Source: American Community Survey Estimates (2021) (mysidewalk.com).



For class or worker segment, 2,959 were listed as private wage and salary workers, 689 as government employees, and 271 as self-employed (ACS 2021; mysidewalk.com).

As for where McCook’s residents work, the overwhelming majority of those in the labor market work within the community. According to census data, 99.1 percent worked in Nebraska, 93.2 percent worked in Red Willow County, while only 5.8 percent worked outside the county, and a meager 0.9 percent worked in another state (ACS 2021; mysidewalk.com). Not only are McCook’s residents employed in the community, most travel less than ten minutes to work (Table 1.23)

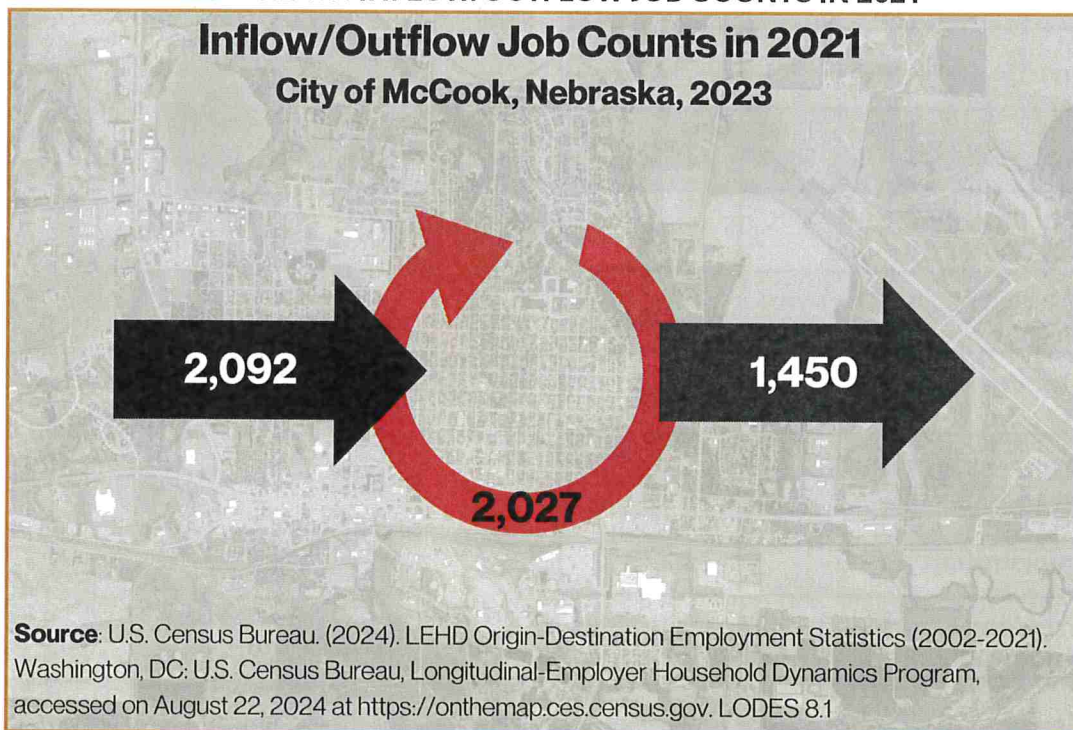
Table 1.23: Travel Time to Work in Minutes

Minutes	Percent
10 or Less	59.3
10 – 14	19
15 – 19	5.8
20 – 24	3.6
25 – 29	2.3
30 – 34	1.3
35 – 44	0.3
45 – 59	1.3
60+	7.1

Source: American Community Survey Estimates (2021) (mysidewalk.com).

The Census Bureau tracks a number of population movements or flows (Ihrke and Burd 2014). An obvious example is overall migration patterns, others might examine employment and labor trend flows. The scale of analysis may also vary, one could examine region to region flows, study state to state flows, or explore county to county exchanges. Flows are either positive (inflow > outflow) or negative (outflow > inflow). Data indicate McCook’s Inflow/Outflow job counts is positive (Figure 1.3). McCook’s location in southwest Nebraska, its transportation linkages, and job opportunities daily bring people to the community.

FIGURE 1.3: INFLOW/OUTFLOW JOB COUNTS IN 2021



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Educational Attainment

In a rapidly changing economy, skill requirements for employment are constantly changing. Workforce training and education programs must keep pace with changing requirements to prepare students and workers for jobs in the short-term and careers in the long-term. Community leaders often look for ways to close skill gaps and address mismatches that exist between supply of and demand for workers.

Obtaining additional education typically, although not always, provides the ability to earn a higher income over a lifetime. In comparison to the State of Nebraska, McCook does show slight variations in educational attainment for those ages 18-24 and 25+ in population (Table 1.24). For the younger category, McCook had a much lower level of “some college” in contrast to the state. For those ages 25+ it is interesting to note that the State of Nebraska had a higher percentage at both ends of the spectrum but similar with the remaining categories.

Table 1.24: Educational Attainment, Ages 18-24 and 25+

Ages 18-24	City of McCook	Percent	State of Nebraska	Percent
Less Than High School	34	4.5	22,296	1.5
High School Graduate	278	3.7	56,117	3.9
Some College	299	40	82,348	56.6
Bachelor’s Degree or Higher	137	18.3	28,193	19.4
Ages 25+	City of McCook	Percent	State of Nebraska	Percent
Less Than 9 th Grade	71	1.4	48,334	3.7
9 th – 12 th Grade	265	5.2	52,981	4.1
High School Graduate	1,559	30.8	325,200	25.1
Some College	1,257	24.9	281,018	21.7
Associate’s Degree	598	11.8	139,742	10.8
Bachelor’s Degree	937	18.5	286,510	22.1
Graduate or Professional	371	7.3	159,751	12.3

Source: American Community Survey Estimates (2021) (mysidewalk.com).



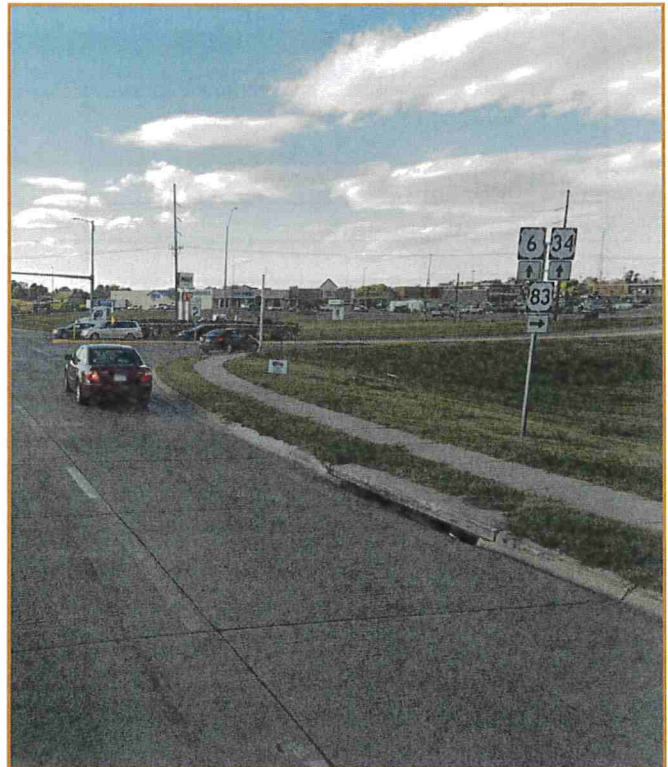
Poverty Levels

As reported by the ACS, 371 households in McCook are below the poverty threshold which totals 11.7 percent of all households in the community. In comparison, for the State of Nebraska the number is 10.8 percent. Additionally, seventy-six households received Supplemental Security Income (SSI) and another 207 received Supplemental Nutrition Assistance Program (SNAP or public assistance) benefits, which combined equals 8.9 percent of households in McCook (ACS 2021; mysidewalk.com). “Supplemental Nutrition Assistance Program” (SNAP) is income-based assistance that offers nutrition assistance to millions of eligible, low-income individuals and families and provides economic benefits to communities. SNAP is the largest program in the domestic hunger safety net. The Food and Nutrition Service works with state agencies, nutrition educators, and neighborhood and faith-based organizations to ensure that those eligible for nutrition assistance can make informed decisions about applying for the program and can access benefits.

Commercial Hubs

It is important that McCook capitalize on its location and transportation linkages. The community has a number of both residential and commercial opportunities, and fostering marketing campaigns, tourism, and commercial developments will only strengthen the community’s tax base.

Running north-south through the heart of the community, Norris Avenue offers a variety of traditional retail opportunities based on several transportation options—including pedestrian activity. Highways 6/34 run somewhat parallel to the rail line on the community’s south side and Highway 83 is found on the community’s west side. Both corridors offer several commercial opportunities with easy access. Whether a more traditional commercial endeavor along Norris Avenue or ventures that require more space along one of the highways, McCook should promote and encourage commercial activity and economic growth which is ultimately a quality of life issue for the entire community.



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Local Industry

Census data reports industry by type and Table 1.25 reveals McCook’s breakdown into five major categories—Management, Business, Science, and Arts; Natural Resources, Construction, and Maintenance; Production, Transportation, and Material Moving; Sales and Office; and Service. Those five employment categories are further subdivided with random examples of employment.

Table 1.26 highlights the diverse educational accomplishments found in McCook’s residents which has an obvious connection to employment. Of those with bachelor’s degrees, Science and Engineering (326) leads the way, followed by Science and Engineering Related Fields (264), Education (255), Business (240), and Arts, Humanities (223).

Table 1.25: Full-Time Civil Employment Population 16+, with Random Examples of Employment

Employment Category	Number	%
Management, Business, Science, and Arts Occupations	929	36.3
Management, Business, Financial	321	
Computer, Engineering, Science	125	
Education, Legal, Community Service	255	
Healthcare Practitioners	228	
Natural Resources, Construction, and Maintenance Occupations	235	9.2
Construction and Extraction	117	
Production, Transportation, and Material Moving Occupations	649	25.3
Transportation	213	
Material Moving	128	
Sales and Office Occupations	499	19.5
Service Occupations	250	9.8
Protective Services (Law Enforcement)	23	
Total	3972	

Source: American Community Survey Estimates (2021) (mysidewalk.com).

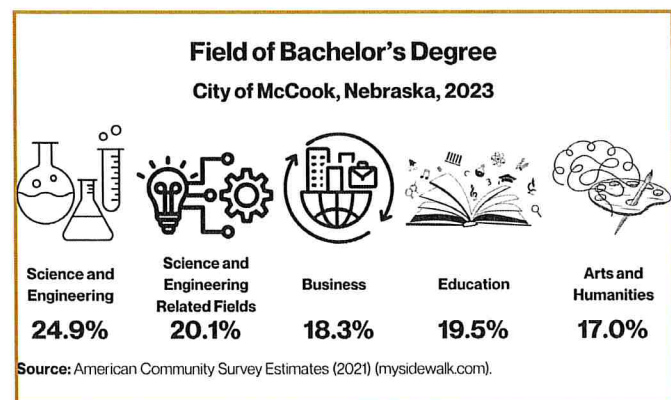


Table 1.26: Field of Bachelor’s Degree

Major/Degree	Number
Science and Engineering	326
Science and Engineering Related Fields	264
Business	240
Education	255
Arts, Humanities	223

Source: American Community Survey Estimates (2021) (mysidewalk.com).

McCook has a broad employment base and the largest employers are found in Table 1.27. Public entities stand out—public schools and the community college—as do several private companies—Wal-Mart and MNB Financial Services.



Table 1.27: Largest Employers	
Employer	Employees
McCook Community Hospital	330
Wal-Mart	240
Parker-Hannafin	231
Valmont	219
McCook Public Schools	200
McCook Community College	167
Hillcrest Nursing Home	100
NDCS Work Ethic Camp	98
City of McCook	80
MNB Financial Services	76
McCook Community Clinic	65

Source: McCook Economic Development Corporation and McCook Chamber of Commerce.



McCook Comprehensive Plan 2025-2035

Shop Local Initiatives

McCook continues to nurture quality relationships with state and regional resources for economic development, including the West Central Nebraska Development District. Several options exist to support local and state development incentives.

Nebraska Rural Advantage

Nebraska Rural Advantage was designed to create a business climate that makes Nebraska the preferred location for starting and growing a business. Nebraska Rural Advantage offers Levels One and Two. With an investment comes refundable credits and wage credits. View the Nebraska Economic Development Department website for more information on the Nebraska Rural Advantage.

Nebraska Advantage Microenterprise Tax Credit Act

Nebraska Advantage Microenterprise Tax Credit Act provides a 20 percent refundable investment tax credit to micro businesses on new investment in targeted communities. The credit is geared to companies with five or fewer employees, including start-ups. View the Nebraska Department of Revenue website for more information on the Microenterprise Tax Credit Act.

Rural Enterprise Assistance Program (REAP) Business Loans

The Rural Enterprise Assistance Program provides counseling, technical assistance, and training for small business owners as well as low interest loans to small businesses with five employees or less.

Tax Increment Financing (TIF)

Tax Increment Financing (TIF) is primarily designed to finance the public costs associated with a private development project. Property tax increases resulting from a new development are targeted to repay the public investment required by a project. TIF projects may be commercial, residential, industrial, or mixed use. Generally speaking, TIF funds can be used for land acquisition, public improvements and amenities, infrastructure, and utilities. View the Nebraska's Department of Economic Development website for more information (<https://opportunity.nebraska.gov>).

Local Option Municipal Economic Development Act (LB840)

McCook is able to tap into several programs offered by the State of Nebraska to encourage development. One is the Local Option Municipal Economic Development Act (LB840, 1991). This authorizes incorporated cities and villages—if approved by voters—to collect and appropriate local tax dollars (including sales and/or property tax) for economic development purposes. All Nebraska cities and villages are eligible to seek local voter approval of and participate in LB840. Any project or program that provides direct or indirect financial assistance to a qualifying business is an eligible activity for local funds to be collected. Programs, for instance, could include direct loans or grants to qualifying businesses, loan guarantees for qualifying businesses, grants for public work improvements, grants or loans for job training, purchase of real estate, relocation assistance for new residents, construction or rehabilitation for sale or lease of housing for low-income residents or housing projects that a part of a Workforce Housing Plan.

McCook Economic Development Corporation



McCook, Nebraska is a progressive community with several development/funding initiatives. The McCook Economic Development Corporation (MEDC) is a privately and publicly funded organization formed by community leaders who

are dedicated to building and maintaining a vibrant business atmosphere in McCook. Formed in 1985, the McCook Economic Development Council's mission is clear—to facilitate the formation, retention, attraction, and expansion of businesses in McCook and the surrounding area. The governing board includes nineteen members in addition to four staff members. The development corporation offers financing opportunities—including LB840 Gap Loan Program and the MEDC Micro-Enterprise Loan Program from \$1,000-\$50,000—in addition to information and assistance related to the Center for Rural Affairs and the Nebraska Enterprise Fund. The McCook Economic Development Corporation is located at 402 Norris Avenue in the Keystone Business Center which is a premier downtown focal point for the community. Renovations completed in 2010, the former Keystone Hotel is an exceptional example of public-private partnership working for the community.

McCook Chamber of Commerce



**MCCOOK CHAMBER
OF COMMERCE**

The McCook Chamber of Commerce was formed in 1921, and currently has 226 members, and sponsors several events throughout the year. For example, Bash on the Hills (June), Heritage Days (October), and Noel on Norris (December) are designed to bring people to the community. Crazy Days (June), Back to School (August), Heritage Days (October), and Winter Wonderland

(December) are all meant to promote retailers and restaurants in McCook.

The chamber also hosts quarterly networking events to engage members and demonstrate the chamber's vitality. In addition to quarterly meetings, there is an annual meeting typically in March/April to recognize outstanding members and service awards. McCook's Chamber of Commerce also recognizes new members and businesses throughout the year and offers a variety of marketing support to community members. It is important to note that the chamber also plays a vital political role with updates from unicameral members to members of both the state and national chamber of commerce. Additionally, it is important to note that the McCook Chamber Foundation was formed in 2020 to promote and execute charitable, educational, and scientific projects important to the chamber of commerce.

McCook / Red Willow County Visitors Bureau

McCook/Red Willow County Visitors Bureau (<https://visitmccook.com>) supports a wide variety of entertainment and recreation opportunities. Beyond supporting dining options and lodging choices in McCook and Red Willow County, the bureau highlights specific sites and events—Kiplinger Arena, Heritage Days, and the Southwest Nebraska Kids Rodeo—as well as rodeo events, hunting and fishing options, along with camping sites—Enders State Recreation Area, Swanson State Recreation Area, Medicine Creek State Recreation Area, Red Willow State Recreation Area, and Karrer Park. Another special attraction is world class bird watching, highlighted by Prairie Chicken Dance Tours (www.prairiechickendancetours.com).

Conclusion

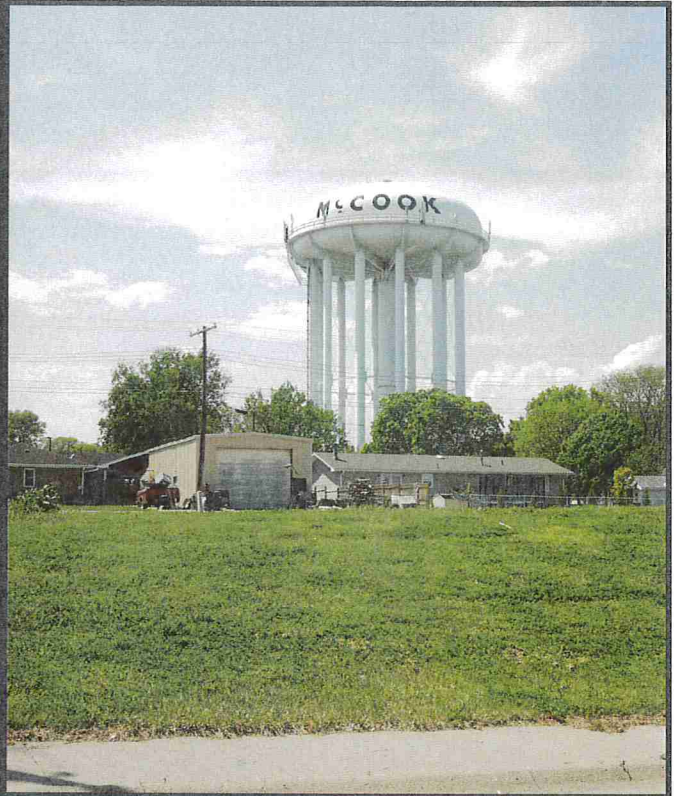
Economic growth is challenging, but an important task for a community. McCook has several options and resources to address business retention and expansion, workforce training, succession planning, and youth retention. McCook is fortunate to possess both large and small ventures that provide various job opportunities, and mutually beneficial opportunities exist for the city and businesses. Marketing and promotional efforts by the city ultimately result in win-win situations for the entire community.

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CHAPTER

2

FACILITIES AND INFRASTRUCTURE



- Education
- Transportation
- Community Amenities
- Parks, Recreational Facilities, and Wellness Services
- Utilities



Educational System

A quality educational system is a tremendous asset for any community, in this case for McCook. In many situations, local education opportunities reflect the community's priorities and serve to attract families to the community.

School Classification

Many Nebraska communities and counties place a high value on maintaining and protecting local schools, pride in place is a common mindset. Nebraska State Statutes group schools into six different classifications which are defined by the following law:

Nebraska Code, Chapter 79 Schools, §79-102.

(1) Class I includes any school district that maintains only elementary grades under the direction of a single school board;

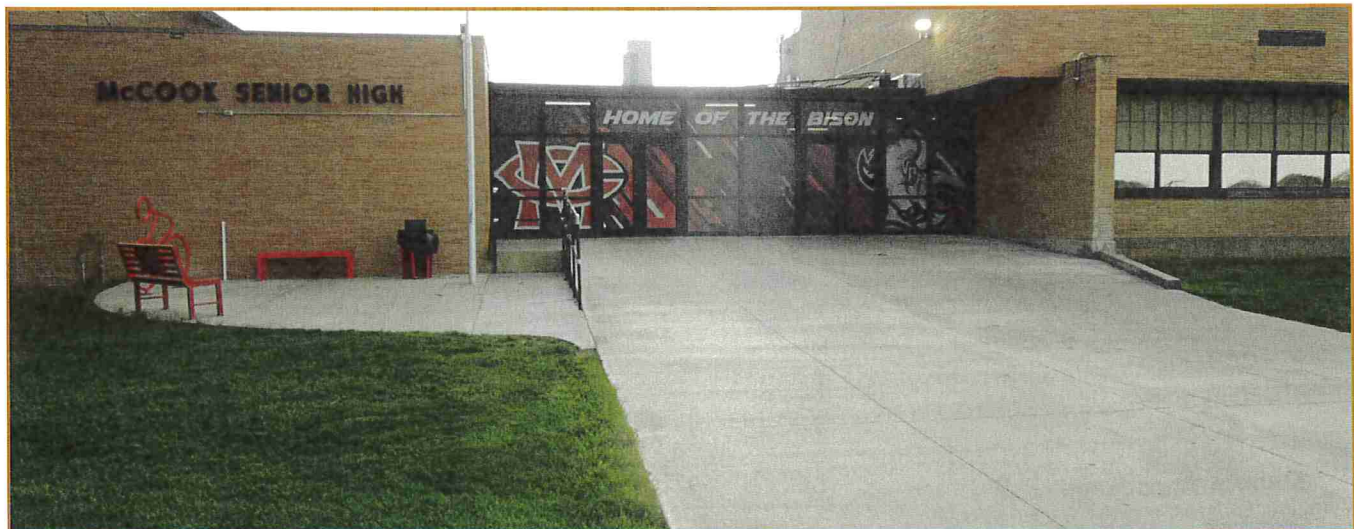
(2) Class II includes any school district embracing territory having a population of one thousand inhabitants or less that maintains both elementary and high school grades under the direction of a single school board;

(3) Class III includes any school district embracing territory having a population of more than one thousand and less than one hundred fifty thousand inhabitants that maintains both elementary and high school grades under the direction of a single school board;

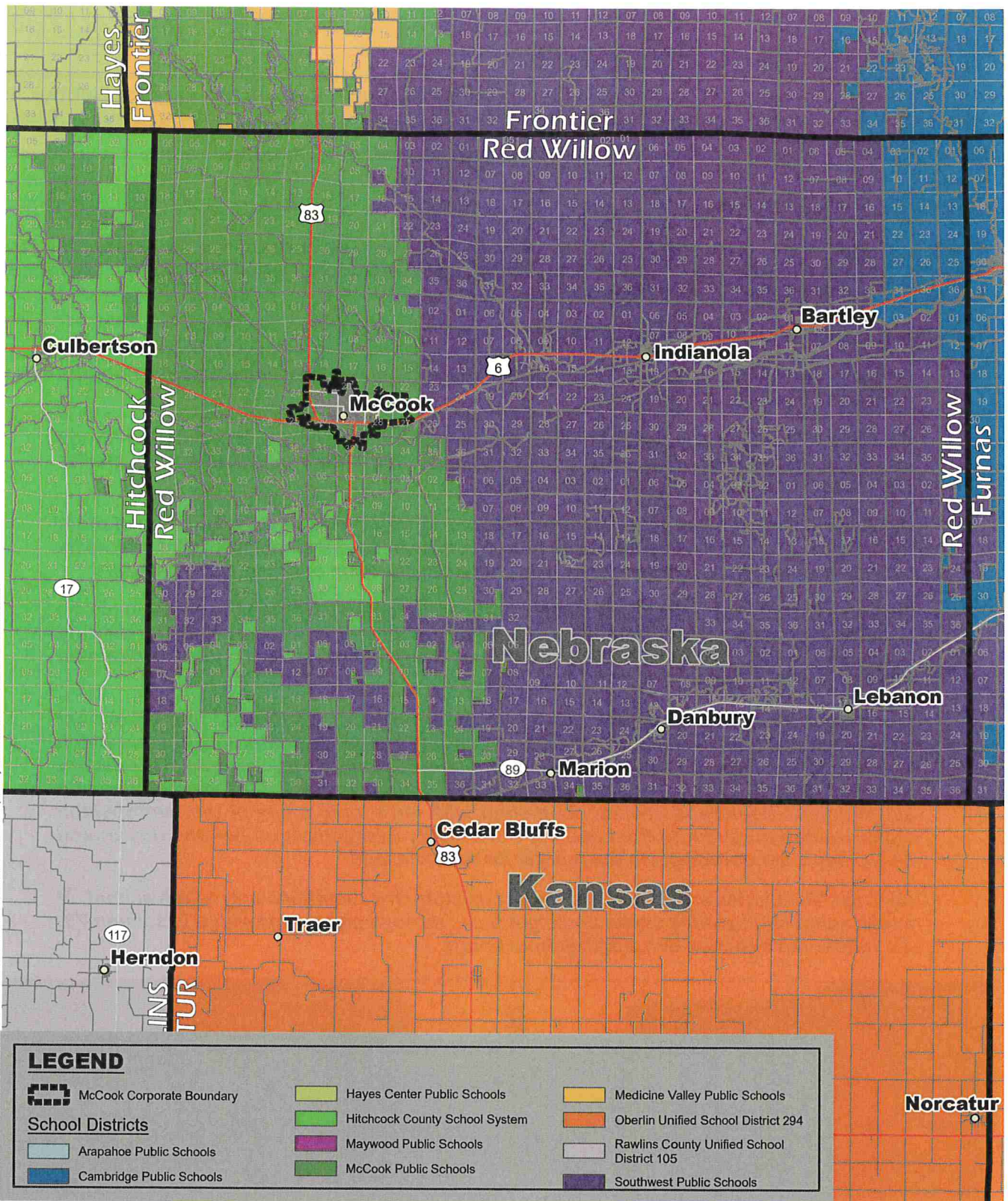
(4) Class IV includes any school district embracing territory having a population of one hundred thousand or more inhabitants with a city of the primary class within the territory of the district that maintains both elementary and high school grades under the direction of a single school board;

(5) Class V includes any school district whose employees participate in a retirement system established pursuant to the Class V School Employees Retirement Act and which embraces territory having a city of the metropolitan class within the territory of the district that maintains both elementary grades and high school grades under the direction of a single school board and any school district with territory in a city of the metropolitan class created pursuant to the Learning Community Reorganization Act and designated as a Class V school district in the reorganization plan; and

(6) Class VI includes any school district in this state that maintains only a high school, or a high school and grades seven and eight or six through eight as provided in section 79-411, under the direction of a single school board.



3/27/2025 9:36 AM Path: G:\Projects\200\200-G1-027\GIS\McCook\FromMcCookPro.aprx Layout: 200-G1-027 FIG 2.1 School District



3/27/2025

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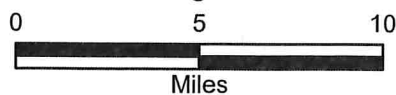


Figure 2.1 Unified School District Boundary

Red Willow County, Nebraska

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McCook Public Schools

The McCook Public School District is classified as a Class III school as it maintains both elementary and high school grades and McCook’s school district population is more than 1,000 but less than 100,000. Figure 2.1 demonstrates McCook Public School boundaries. For 2023-2024 the McCook Public School District was responsible for 1,386 students with 197 employees, ninety-five of which are teachers. Enrollment has remained steady over the previous decade, with a slight decline in the last few years (Table 2.1). The district maintains five different campuses in McCook—Central Elementary, McCook Alternative Education, McCook Elementary School, McCook Junior High School, and McCook Senior High School.

Table 2.1: McCook Public Schools Enrollment 2013-2014 through 2023-2024

School Year	PK	K	1	2	3	4	5	6	7	8	9	10	11	12	Total Enrollment
2013 - 2014	46	115	71	90	110	103	103	94	106	111	135	104	124	125	1,437
2014 - 2015	54	84	117	78	92	109	104	105	99	111	132	129	102	121	1,437
2015 - 2016	54	100	80	118	83	95	107	103	96	94	125	129	123	100	1,407
2016 - 2017	38	112	97	82	118	83	94	109	110	100	107	122	126	117	1,415
2017 - 2018	40	91	107	97	88	116	88	98	110	113	128	107	109	132	1,424
2018 - 2019	47	92	93	108	99	87	127	89	102	110	126	118	115	112	1,425
2019 - 2020	34	74	102	93	110	108	92	123	91	104	128	130	121	116	1,426
2020 - 2021	42	89	73	91	87	110	107	89	114	87	108	121	128	128	1,374
2021 - 2022	50	97	90	76	98	92	107	107	95	122	95	99	121	138	1,387
2022 - 2023	44	93	94	98	79	101	96	104	107	96	128	105	101	130	1,376
2023 - 2024	44	110	91	98	95	83	105	90	112	108	111	129	107	103	1,386

Sources: Nebraska Department of Education, Statistics & Facts About Nebraska Schools, 2013-2024, Retrieved from education.ne.gov, 2023; McCook Public Schools.



Operation Costs

Education is often the largest public expense in a community. Since the school board controls the budget, coordination between the school board and the city council is essential for effective management of growth, annual budgets, and the delivery of educational services. Active participation from both sides of the relationship fosters a sustainable system in McCook, which is critical to the community’s long-term success.

Table 2.2 shares McCook’s general fund operating expenditures per formula student in comparison to other regional districts. McCook Public Schools at \$16,284 is at the low end of Average Daily Attendance (ADA) funding compared to nearby school districts but just above the statewide per pupil cost in 2021-2022 of \$15,113.01.

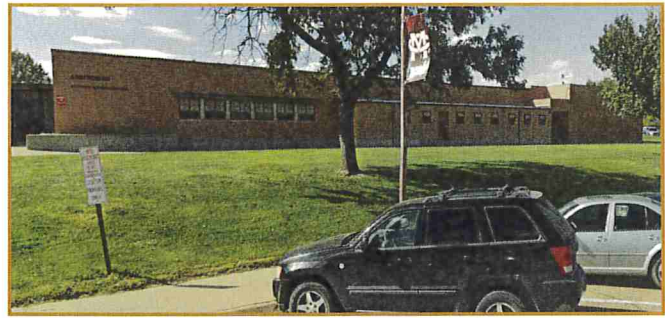


Table 2.2: Cost Per Pupil by Average Daily Attendance 2021-2022

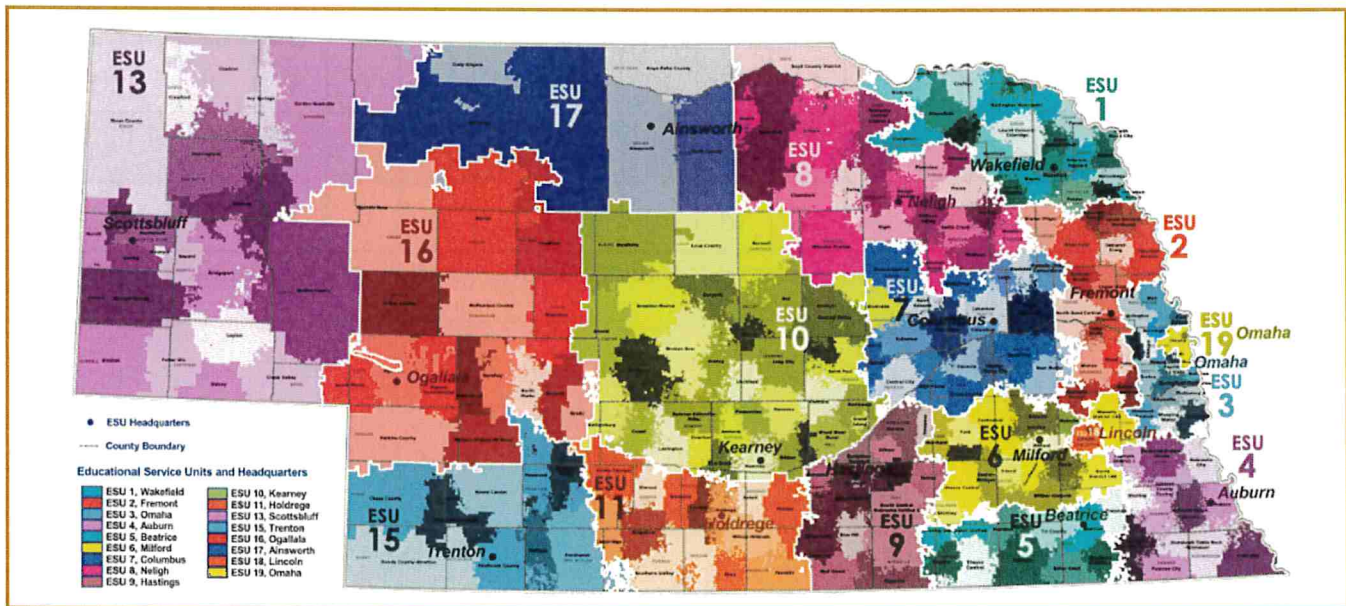
District	\$-ADA
<i>Nebraska</i>	\$ 15,113.01
Arapahoe Public Schools	\$ 17,170.00
Cambridge Public Schools	\$ 21,285.00
Chase County Schools	\$ 18,208.00
Dundy County Stratton Public Schools	\$ 28,838.00
Elwood Public Schools	\$ 24,318.00
Hayes Center Public Schools	\$ 29,193.00
Hitchcock County School System	\$ 20,205.00
McCook Public Schools	\$ 16,284.00
Southwest Public Schools	\$ 26,893.00
Wauneta-Palisade Public Schools	\$ 26,248.00

Source: Nebraska Department of Education.

Educational Service Unit

Nebraska is divided into nineteen Educational Service Units (ESU), which provide districts across the state with support and training. Figure 2.2 demonstrates coverage areas for each unit. McCook Public Schools is part of ESU 15 which has a “home base” in Trenton, Nebraska and serves Chase County Schools, Dundy County-Stratton Schools, Hayes Center Schools, Hitchcock County Schools, Maywood Public Schools, McCook Public Schools, Medicine Valley Public Schools, Southwest Public Schools, St. Patrick Elementary in McCook, and Wauneta-Palisade Public Schools.

Figure 2.2: Nebraska’s Educational Service Units



St. Patrick's Elementary School

St. Patrick's Elementary School is located at 401 East F Street in McCook. For 2023-2024 the St. Patrick's Elementary School was responsible for 125 students, with another 33 in preschool. St. Patrick's Elementary School has fourteen faculty with three administrators. The school offers volleyball, basketball, and track & field (<https://www.stpatrickmccook.com>). In addition, the student council offers a number of stewardship projects, which include, but are not limited to Box of Joy at Christmas campaign, Veterans Day program, and various missionary endeavors. Enrollment has remained steady over the previous decade, with a slight decline in the last few years (Table 2.3).

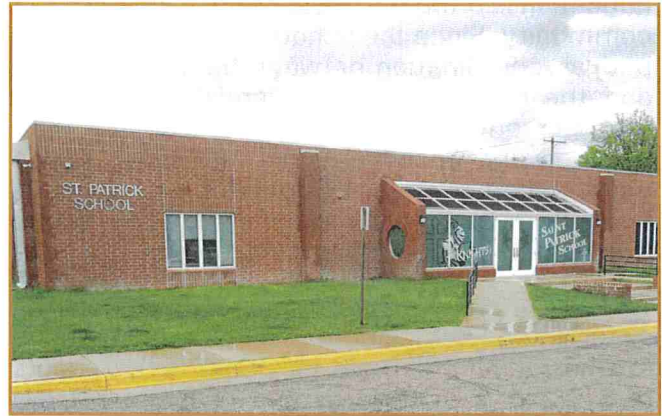


Table 2.3: St. Patrick's Elementary School Enrollment 2013-2014 through 2023-2024

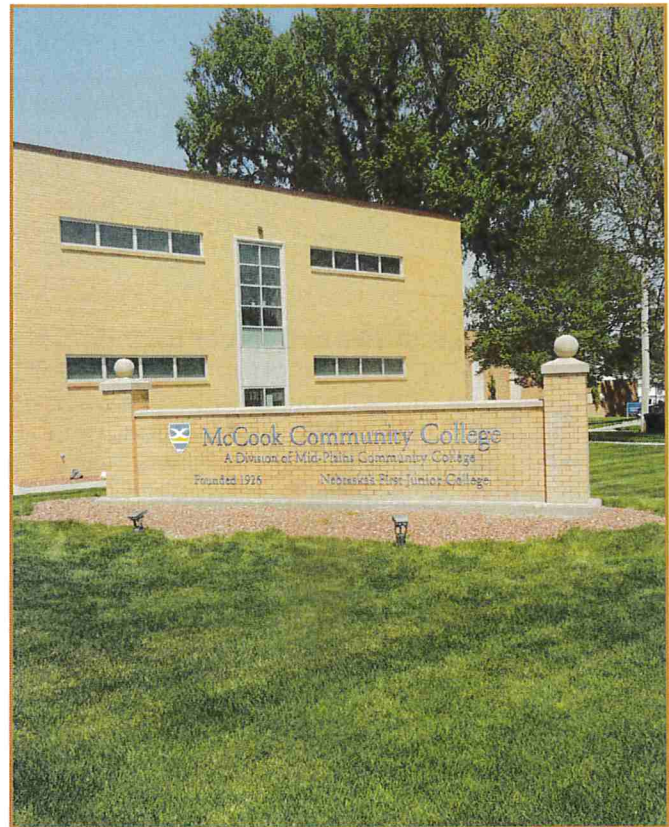
School Year	PK	K	1	2	3	4	5	6	7	8	9	10	11	12	Total Enrollment
2013 - 2014	31	18	20	10	17	20	20	18	9	13	0	0	0	0	176
2014 - 2015	38	22	15	21	9	16	20	17	15	9	0	0	0	0	182
2015 - 2016	36	21	25	15	18	10	16	19	19	16	0	0	0	0	195
2016 - 2017	20	14	17	22	14	15	9	15	17	19	0	0	0	0	162
2017 - 2018	15	11	13	17	18	13	15	8	16	17	0	0	0	0	143
2018 - 2019	18	15	13	14	17	19	13	15	7	16	0	0	0	0	147
2019 - 2020	11	14	17	13	16	16	18	14	14	6	0	0	0	0	139
2020 - 2021	22	19	17	17	11	16	15	18	14	12	0	0	0	0	161
2021 - 2022	26	15	21	16	18	12	15	15	18	13	0	0	0	0	169
2022 - 2023	30	20	14	18	15	18	9	16	15	18	0	0	0	0	173
2023 - 2024	19	15	19	14	17	15	16	10	12	13	0	0	0	0	150

Sources: Nebraska Department of Education, Statistics & Facts About Nebraska Schools, 2013-2024. Retrieved from education.ne.gov, 2023.

McCook Comprehensive Plan 2025-2035

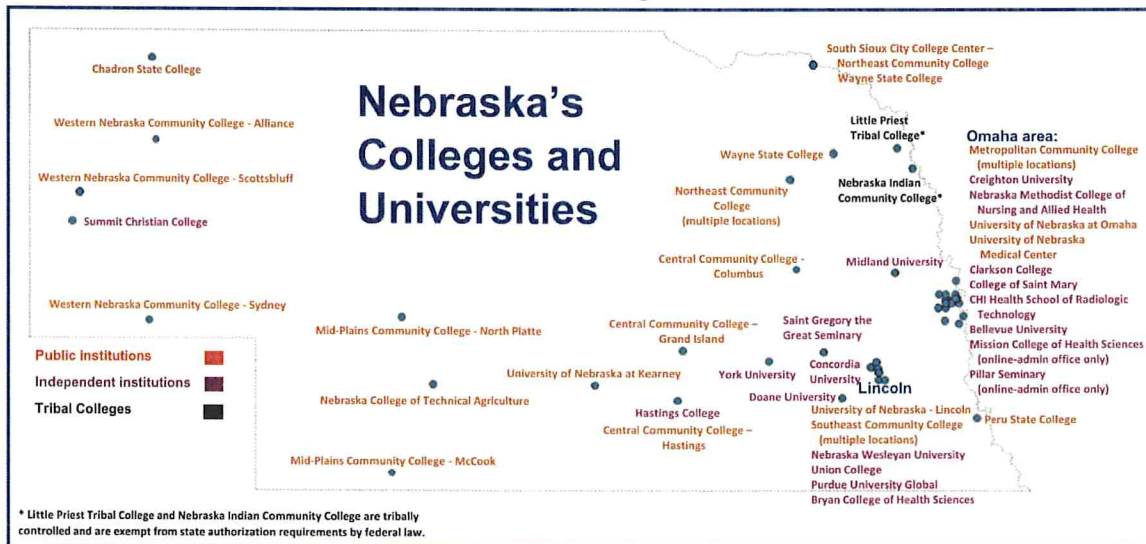
Post-Secondary

McCook is home to Nebraska’s oldest two-year junior college along with numerous post-secondary options in the region. Founded in 1926, the name eventually changed from the McCook Community College to the Mid-Plains Area Community College (Mid-Plains has satellite campuses in Broken Bow, Imperial, Ogallala, North Platte, and Valentine) (Ford *et al.* 2008). Accepted by the Higher Learning Commission, Mid-Plains with a 79.3 percent Student Success Rate is currently ranked in the Top 10 of Best Community Colleges in America by *The Chronicle of Higher Education* (www.mpcc.edu). With a total headcount of 3,095, a graduation rate of 87 percent, and 76 percent of graduates employed within the eighteen-county service area (96 percent are employed within Nebraska), Mid-Plains is fulfilling its mission. Mid-Plains offers degree programs in a wide array of disciplines, from accounting, agriculture, and art to construction technology, criminal justice, and information technology to sociology, theater, and welding. Mid-Plains is fueling growth not only in McCook but in southwestern/western Nebraska as well.



Additionally, Western Nebraska Community College in Scottsbluff, Northeastern Junior College in Sterling, Colorado, and the Laramie County Community College in Cheyenne, Wyoming are other regional options. Beyond community colleges, Fort Hays State in Hays, Kansas and the University of Nebraska-Kearney are both Division II schools within a few hours of McCook. Quality education options are selling points for a community and its tax base. McCook Public Schools and Mid-Plains Community College are both positives that tie directly to making McCook an attractive destination for families and students.

Figure 2.3: Nebraska’s Colleges and Universities



Transportation

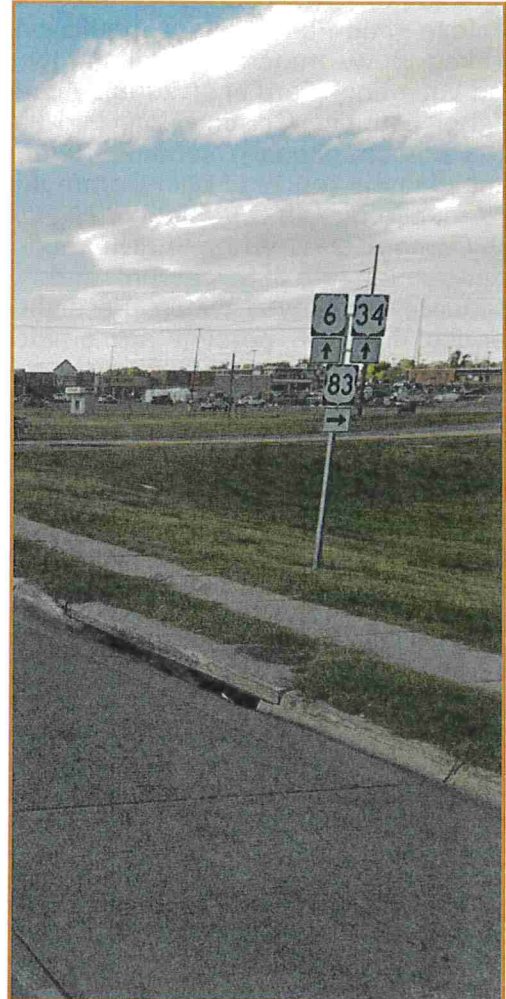
Transportation is a fundamental consideration for any community. Transportation is a criterion often viewed from a local standpoint or regional perspective. Networks within the community and those outside McCook allow for the movement of goods, services, and people, in addition to continual economic development.

Roads

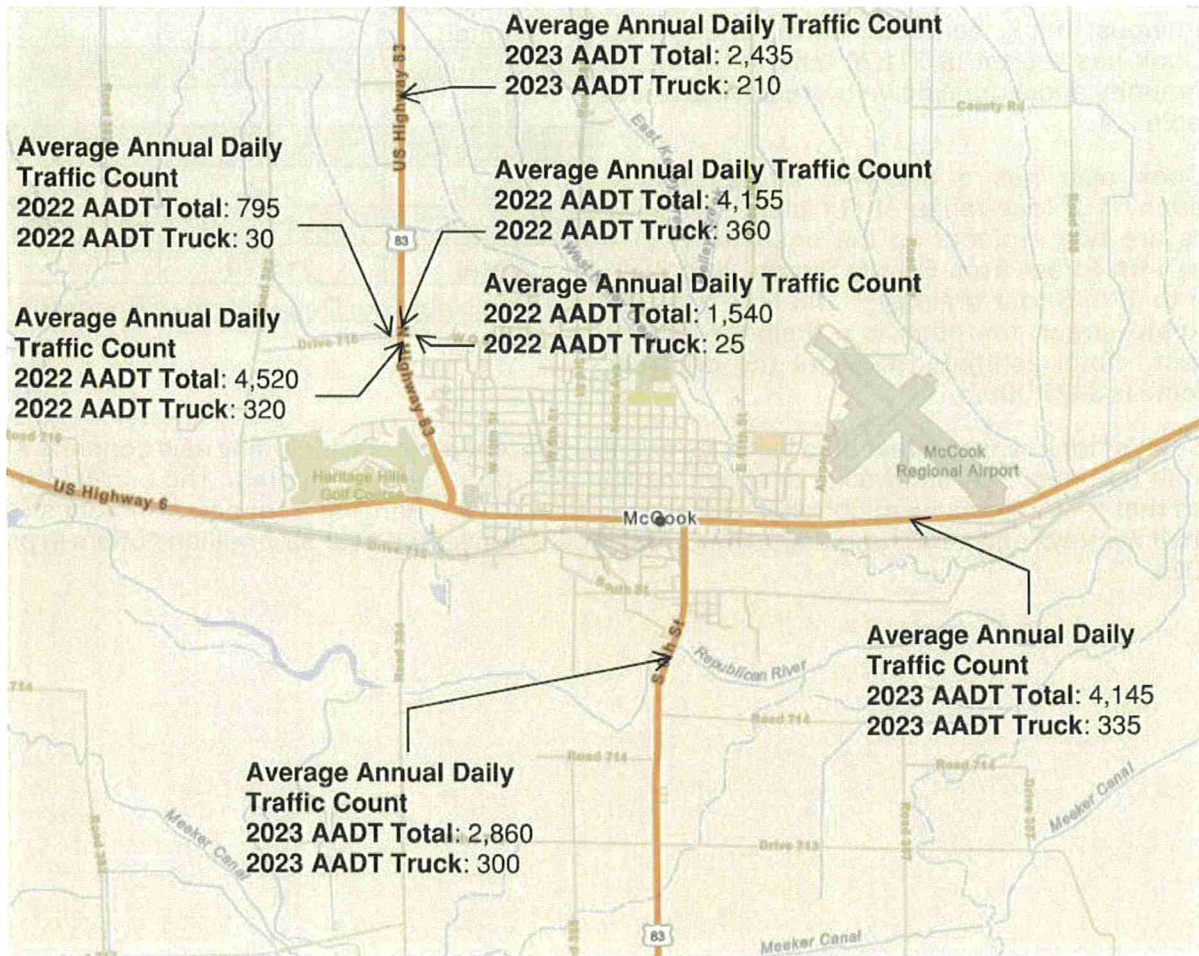
McCook's connectivity to a larger transportation network creates many growth opportunities. McCook is located at the juncture of Highway 83 and Highways 6/34—these two highways split west of McCook near Culbertson with Highway 6 continuing northwest toward Imperial and Highway 34 running southwest toward Benkelman. Highways 6, 34, and 83 are all U.S. numbered routes and major arterial roads moving traffic in and out of the community which presents opportunities for community leaders to showcase McCook with prominent gateway entrances providing a positive “first impression.”

Along with noting major highways that serve McCook, traffic data collected by the Nebraska Department of Transportation is an important consideration. Accessibility is a key factor for all commercial/industrial enterprises and this data is one way to assess market viability and pinpoint properties for development (Burger and Combs 2011; Burger *et al.* 2015).

Traffic counts are an important consideration and the Nebraska Department of Transportation provided traffic flow data for major highways and streets in McCook (Figure 2.4) (Nebraska Department of Transportation). In 2021, just west of the intersection of Highways 6/34 and Highway 83 the average annual daily traffic (AADT) count was 10,225 plus an additional 450 trucks. Further west on the same highway, the numbers dipped to 5,065 AADT and 405 trucks. On Highway 83 just south of the J Street intersection, the AADT stood at 7,495 along with 395 trucks per day. Further north on the same highway just south of the intersection with Q Street in 2022, the numbers were 4,520 AADT and 320 trucks per day.



**Figure 2.4
Average Annual Daily Traffic Counts
City of McCook, Nebraska, 2023**



2022 - 2023 AADT = Average Annual Daily Traffic Counts

Just north of McCook on Highway 83 just south of Road 718, the annual average daily traffic (AADT) count indicated 2,435 AADT vehicles and 210 trucks per day (NDOT 2023). On McCook's east side just south of McCook's regional airport on Highway 6, the total count was 4,145 AADT along with 335 trucks per day (NDOT 2023). South of McCook on Highway 83 near the Republican River, 2,860 AADT was found in addition to 300 trucks per day (NDOT 2023).

Nebraska Department of Transportation (NDOT). Annual Average Daily Traffic. <https://gis.ne.gov/>

Street Improvement Plan

The Nebraska Department of Transportation (NDOT) annually reports surface aggregates for all roads in McCook. Road types include asphalt, bituminous, brick, concrete, earth, and gravel. McCook has a total of 211.70 lane miles in the community and a breakdown by percent is found in Table 2.4.

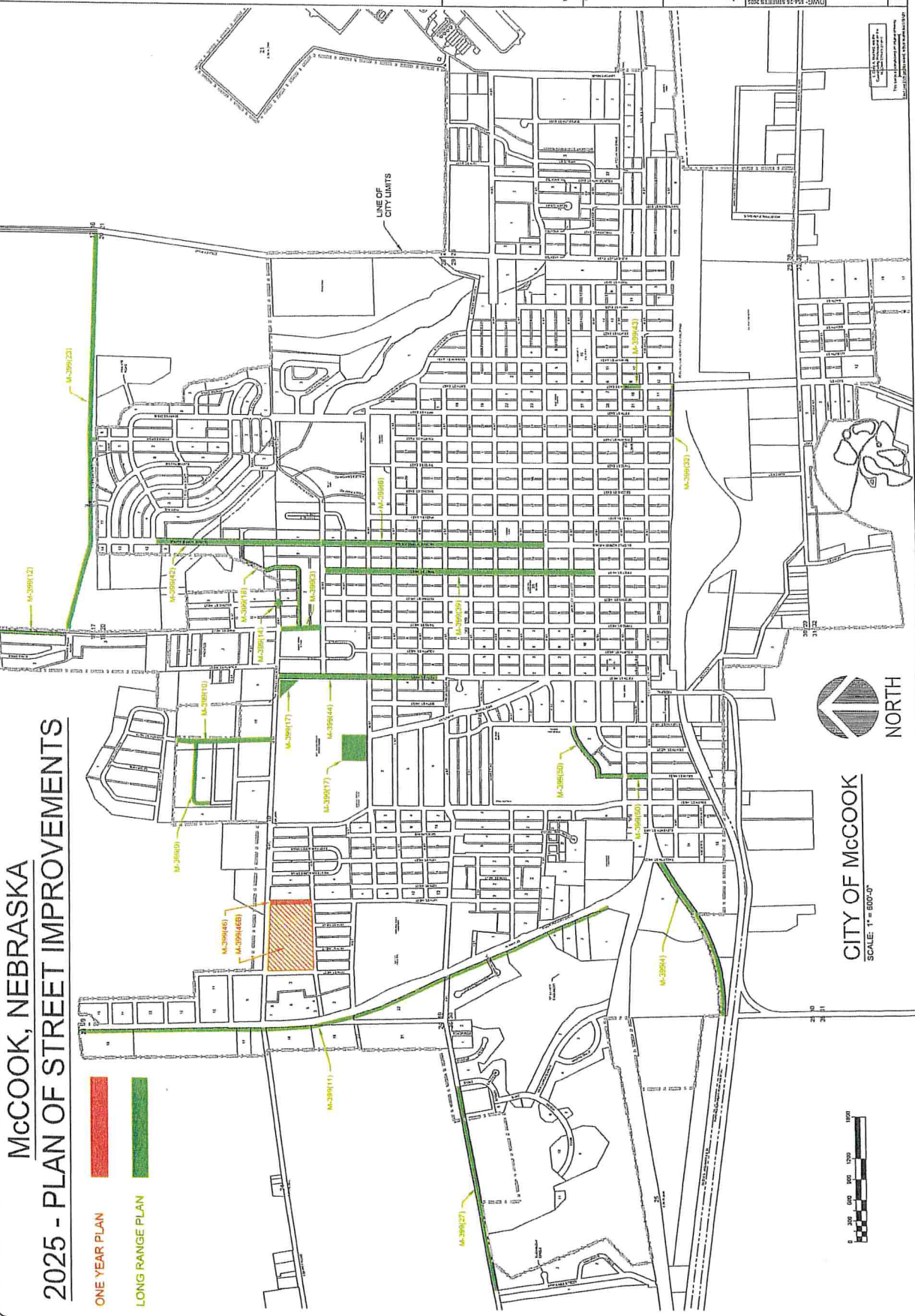
McCook also has a one-year street plan in addition to a long-range street plan. Currently there are two projects on the one-year plan—West 14th Street from O to Q Streets and West 14th to 17th Street drainage. The first is a new concrete street, the other is a drainage district project. Total estimated cost for the one-year projects is \$477,000.

Table 2.4: Lane Mile Report		
Surface	Miles	Percent
Asphalt	98.10	46.3
Bituminous	17.89	8.5
Brick	8.10	3.8
Concrete	80.52	38
Earth	0.05	0.0002
Gravel	7.04	3.3
Total	211.70	

Source: Nebraska Department of Roads 2023.

McCook’s “long range” street plan includes twenty different projects, including new concrete streets, asphalt updates, new sidewalks, drainage issues, and storm sewer updates. The current plan also notes that ten projects were completed last year in McCook. Ranging from new concrete streets to asphalt overlays and sewer upgrades, the City of McCook invested over \$3.7 million dollars in projects in 2024.

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McCOOK, NEBRASKA
 2025 - PLAN OF STREET IMPROVEMENTS

ONE YEAR PLAN
 LONG RANGE PLAN



CITY OF McCOOK
 SCALE: 1" = 600'-0"



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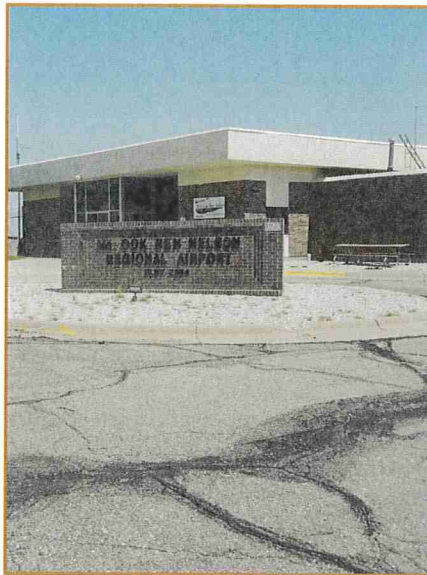
Sidewalks

Pedestrian activity is critical for a community’s livability and research has shown that sidewalk traffic leads to safer communities (Duany *et al.* 2000; Jacobsen 2003). A positive for the entire community, sidewalks are key for two vulnerable populations—young children and elderly adults. Approximately 92 percent of McCook’s streets have curbs and 98 percent have sidewalks. In much of the older portions of the city, sidewalks are found in a traditional sense with separation from the roadway. In comparison, sidewalks in McCook’s more modern stretches on the city’s northern and western sides are often extended from the curb with no separation from the roadway.



Sidewalks are an essential amenity in communities, they are also public infrastructure and require maintenance, ADA compliance, and on occasion complete replacement. Disrepair coupled with non-compliant connections make sidewalks a hazard. Completing a comprehensive sidewalk inventory would assist city leaders with a strategic sidewalk plan, locating problem areas and connectivity.

Airport



The McCook Ben Nelson Regional Airport serves McCook and much of southwest Nebraska and northwest Kansas. The airport has two paved runways (6,450 feet and 4,000 feet) and a turf runway (1,350 feet) as well. It is served by Denver Air which offers service to three communities in Nebraska, one of which is McCook. The number of enplanements has dramatically varied over the last decade on an annual basis (Table 2.5).

Table 2.5: Enplanements at Ben Nelson Regional Airport

Year	Enplanements	Percent Change
2022	1,130	-42.76
2021	1,974	53.1
2020	1,289	-40.82
2019	2,178	-7.63
2018	2,358	-12.76
2017	2,703	66.13
2016	1,627	388.59
2015	333	-20.7
2014	402	-79.68
2013	1,978	***

Source: City of McCook, Public Works Department.

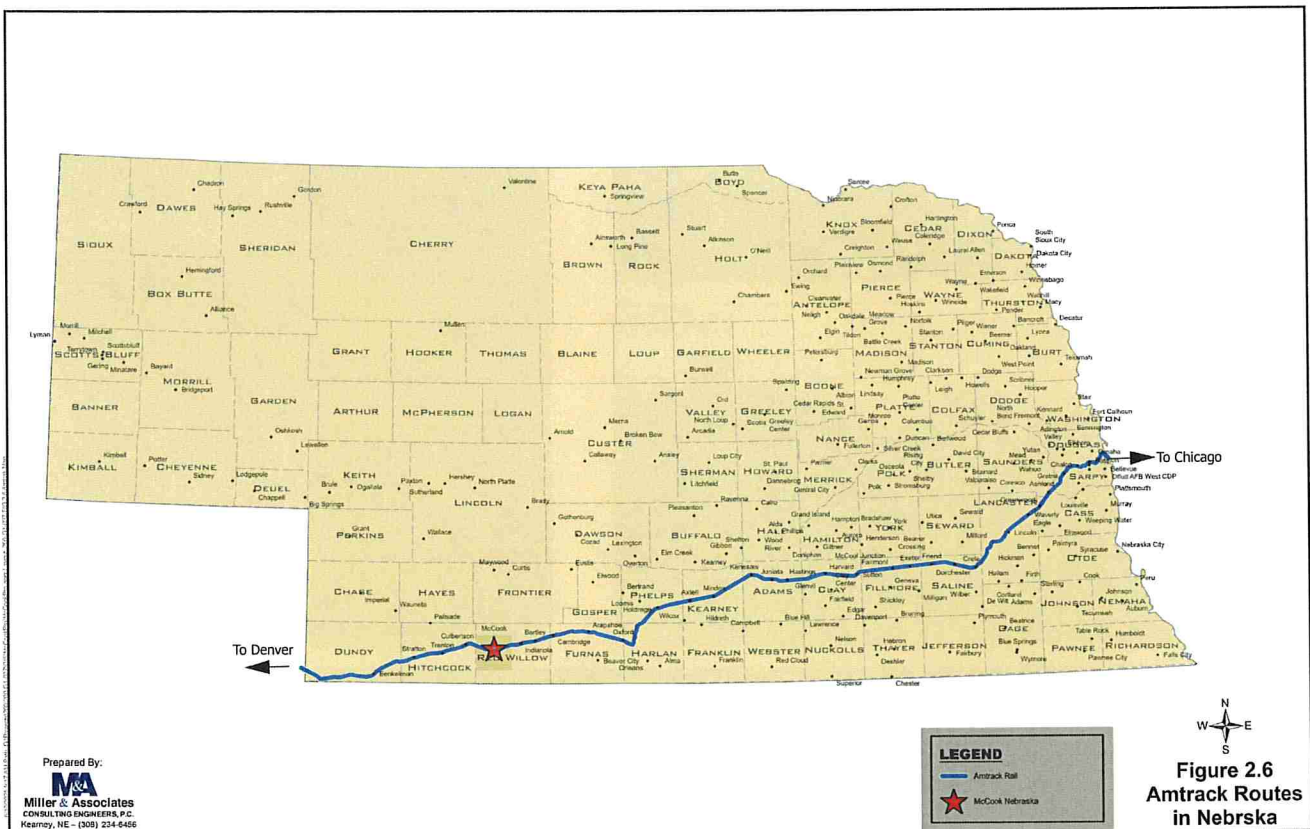
McCook Comprehensive Plan 2025-2035

Other Transportation Options

Public transportation is one available option for McCook. The City operates McCook Public Transit with a dial-a-ride system and anyone is eligible to ride.

Passenger Train

Nebraska has a single Amtrak service—the California Zephyr—which links Chicago to San Francisco (Figure 2.6). The passenger line runs through the southern portion of Nebraska, providing daily access to Chicago, Denver, Salt Lake City, Reno, and the San Francisco area. The number of McCook passengers (arrivals and departures) has dipped in recent years—going from over 3,000 in 2018 and 2019 to 2,211 in 2020 and 1,321 in 2021 (www.railpassengers.org). The California Zephyr provides direct service to twenty-seven cities and a majority of McCook’s passengers travel 200-299 miles each trip.



Code Enforcement

Code enforcement is responsible for conducting inspections on construction sites, informing—and enforcing when necessary—citizens of city codes and issuing building permits. The code enforcement (Problem Resolution Team) division is located in the Municipal Building.

Public Works Department

The Public Works Department oversees a variety of community service programs in McCook.

Parks and Recreation

For McCook, the Public Works department oversees cemeteries as well as the swimming pool, ballfields, and skatepark.

Memorial Park and Riverview Cemetery

The City of McCook oversees two cemeteries—Memorial Park (sixteen acres) and Riverview Cemetery (ten acres). Memorial Park Cemetery includes sixteen acres and sixty-four columbariums. Riverview Cemetery consists of ten acres. The City of McCook maintains maps of both cemeteries that can be found at (cityofmccook.com).



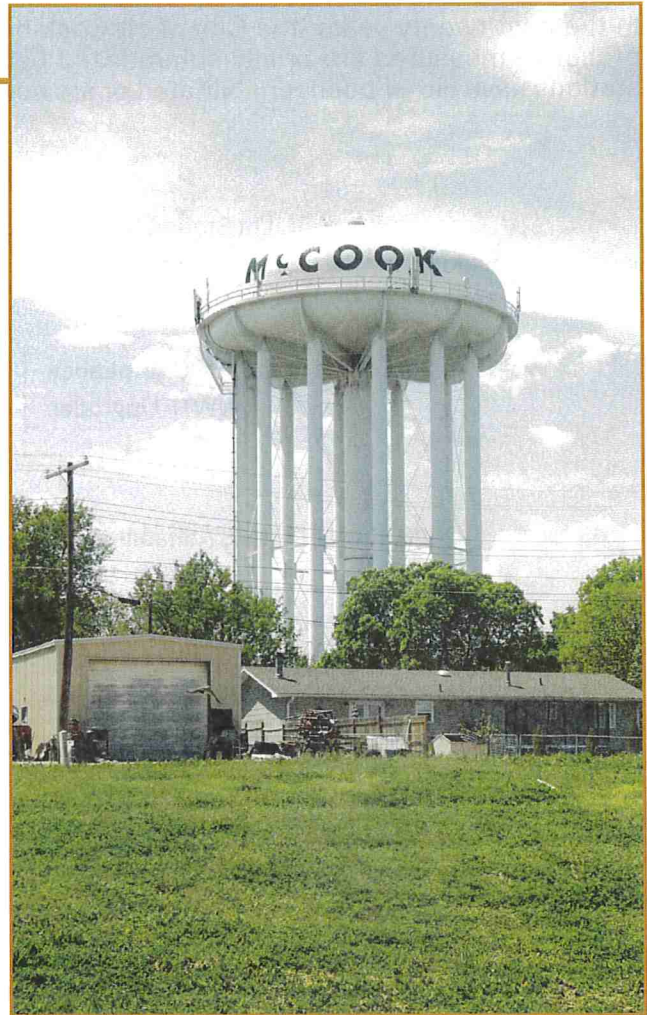
Utilities

The City of McCook supports water, sewer, trash, and recycling efforts in the community. The McCook Public Water System (NE3114504) captures water from a series of nine wells located in the Republican River valley. In 2021, McCook produced 785,620,000 gallons of drinking water—some 2.1 million gallons per day.

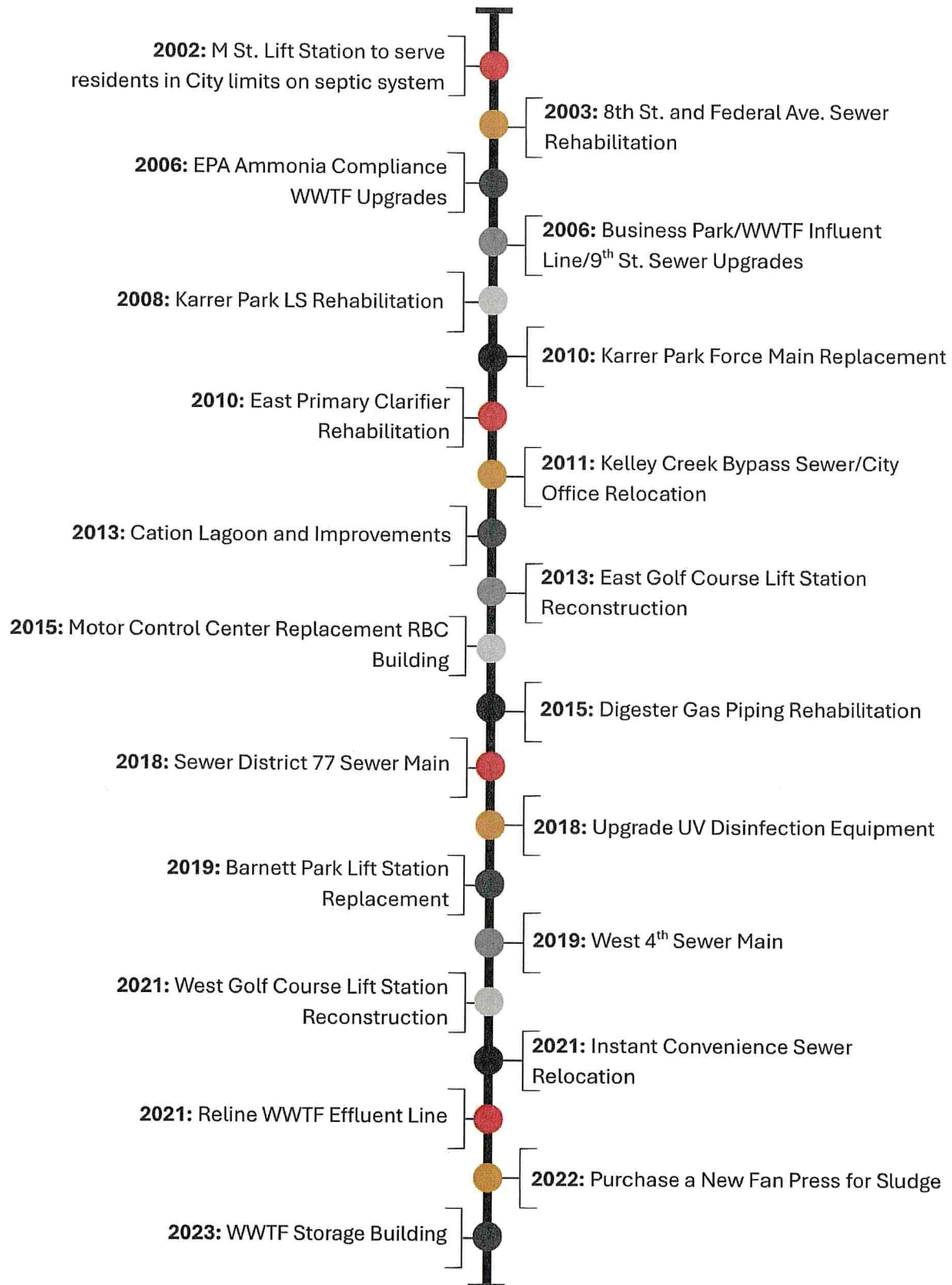
The City of McCook Wastewater Department maintains fifty miles of collection mains ranging in size from four inches to thirty-six inches. Using both gravity and force mains, waste is sent to the treatment facility southeast of the city. The plant currently handles approximately 0.7 million gallons per day on average.

Domestic, commercial, and industrial wastewater is processed at the city's wastewater treatment facility located in the southeast portion of McCook. The facility has been treating waste from an expanding service area since the 1960s and two significant industries discharge water to the treatment facility—Parker Hannafin which currently manufactures automotive belts and hoses along with Valmont Industries which is a metal finisher. In addition to the wastewater facility, the city has five lift stations located throughout the collection system—Karrer Park Lift Station, Barnett Lift Station, East and West Golf Course Lift Stations, and the M Street Lift Station.

All the domestic, commercial, and industrial wastewater generated in the service area currently flows by gravity or is pumped to the wastewater facility where it flows through a headworks facility for preliminary treatment. Preliminary treatment includes a Channel Monster comminutor, manual bar screen, and aerated grit removal with cyclone dewatering. Primary treatment is provided by two primary clarifiers and Rotating Biological Contactors (RBCs) provide secondary treatment, in addition to two final clarifiers and a four-cell biological aerated filter (BAF) facility. Disinfection is provided by an ultraviolet system (UV) and disinfected effluent is discharged from the UV channels to a cascade system, which provides aeration to the effluent prior to discharge to Outfall 001 to the Republican River and its basin.



In the past twenty years, the City of McCook has completed several sewer-related projects. These proactive measures are briefly summarized below. It is important to note that all of McCook's lift stations have either been rehabilitated or are new in the last two decades.



McCook Comprehensive Plan 2025-2035

It is important to note that the City of McCook is currently working with Nebraska’s Department of Environment and Energy to complete an application for the Combined Clean Water and Drinking Water State Fiscal Year 2025 Needs Survey State Revolving Fund. One project list estimated at just over \$19,000,000 includes a new “headworks building with grit and screening, installation of fan press for solids processing, installation of new sequencing batch reactor treatment units, eliminating anaerobic digestion and installing aerobic digestion.” The remaining updates include sewer line extensions in several locations along with lift station upgrades waste lagoon extensions. The second project list is estimated at just above \$22,000,000 and includes a variety of upgrades and extensions including replacing water mains in several locations, extending service the to the proposed sports complex, and rehabilitating several wells (manganese removal from Wells 1, 2, 8, and 10, for instance).

The City of McCook has a refuse collection system supported by a \$22.50 monthly fee. Additionally, yard waste collection sites are located at various spots throughout the community. Over the last decade, total waste collection has remained somewhat steady (Table 2.6). Along with waste collection is recycled material. Adjacent to McCook’s transfer station is a recycling center that collected 55.5 tons of material from January 2017 through May of 2023—recycled materials included aluminum, cardboard, newspaper, plastic, scrap metal, and tin cans. Recycling has a two-fold benefit to McCook in that it avoids landfill fees and the recycled materials can be sold as well.

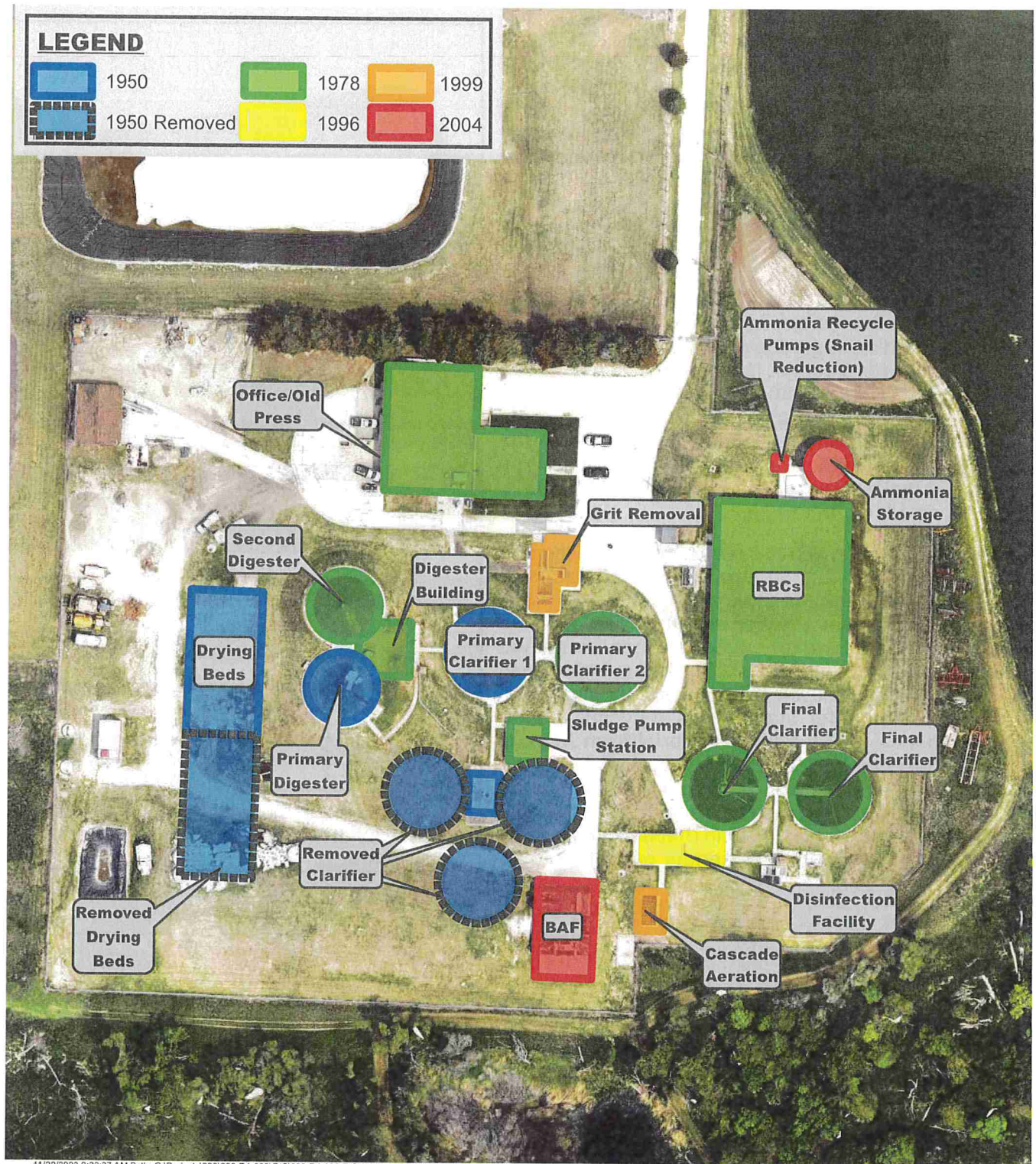


Table 2.6: Transfer Station Solid Waste Tonnage

Year	Solid Waste (Tonnage)
2022	17,690.04
2021	17,831.22
2020	17,782.68
2019	17,155.29
2018	16,435.62
2017	16,082.17
2016	16,829.89
2015	17,915.02
2014	16,603.64
2013	14,510.36

Source: City of McCook, Nebraska Transfer Station Tonnage.





Note:

1. Aerial Photography acquired from:
M&A Drone Flight May 2023

11/22/2023

Prepared By:



Miller & Associates
CONSULTING ENGINEERS, P.C.
Kearney, NE - (308) 234-6456

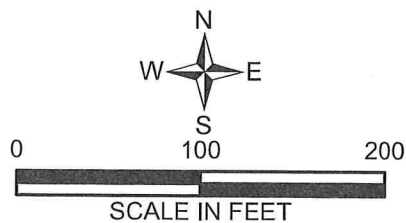





Figure 2.7
Age of System

*Figure 3-4 from Project
200-D1-027 McCook
Facility Plan

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LEGEND

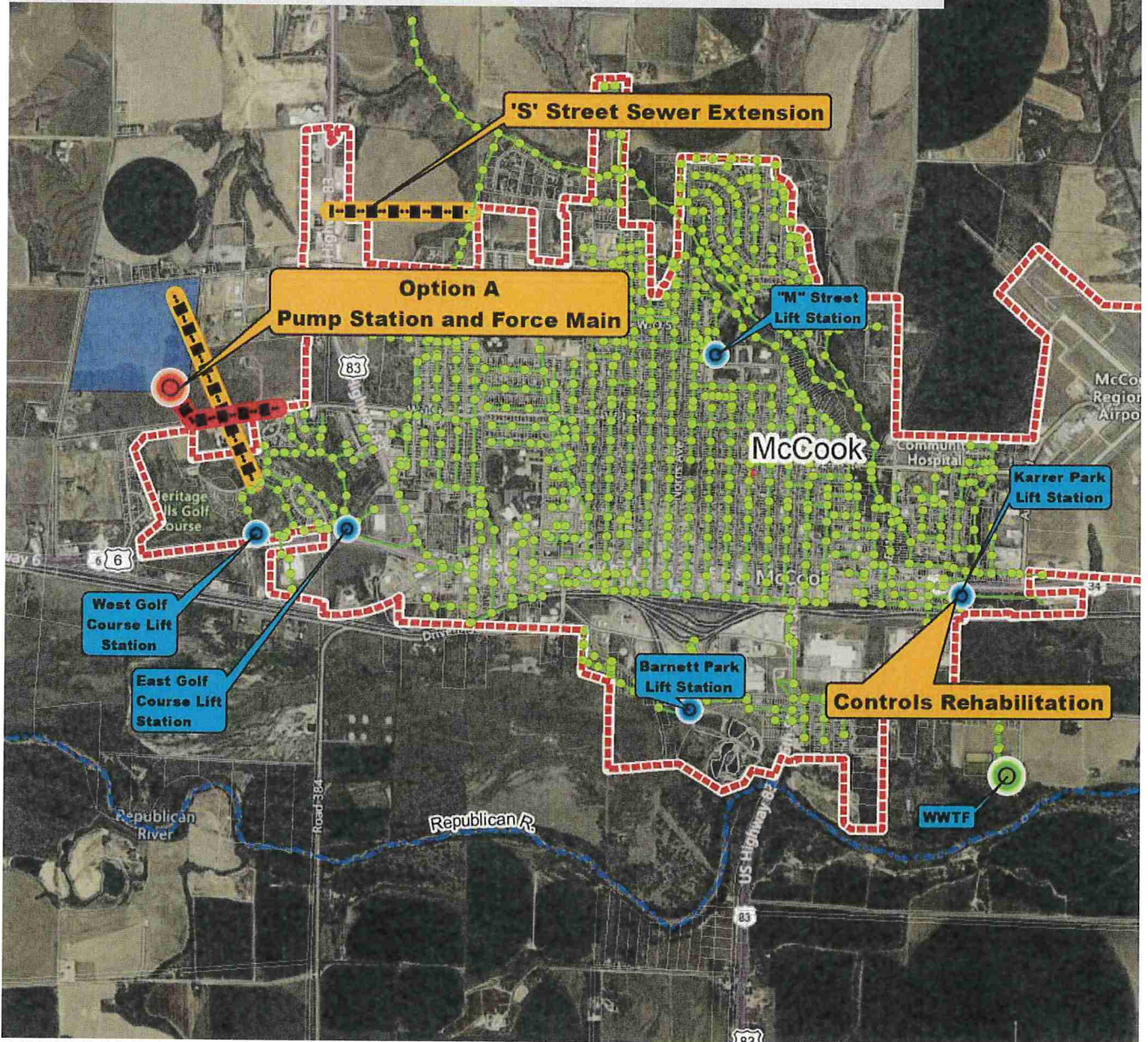
Option A

-  Proposed Pump Station
-  Force Main
-  Gravity Main

Existing Sewer Infrastructure

-  Existing Lift Station
-  WWTF
-  Manhole
-  Gravity Main

-  Service Area
-  Proposed Sports Complex

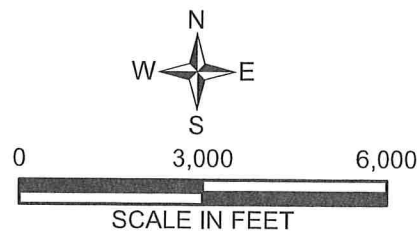


11/22/2023 9:36:11 AM Path: G:\Projects\200\200-D1-029\GIS\200-D1-029 FIG 7.9 Proposed Collection System Improvements.mxd

Figure 2.8
2023 Priority 1
Proposed Collection
System Improvements

11/22/2023
 Prepared By:

Miller & Associates
 CONSULTING ENGINEERS, P.C.
 Kearney, NE – (308) 234-6456



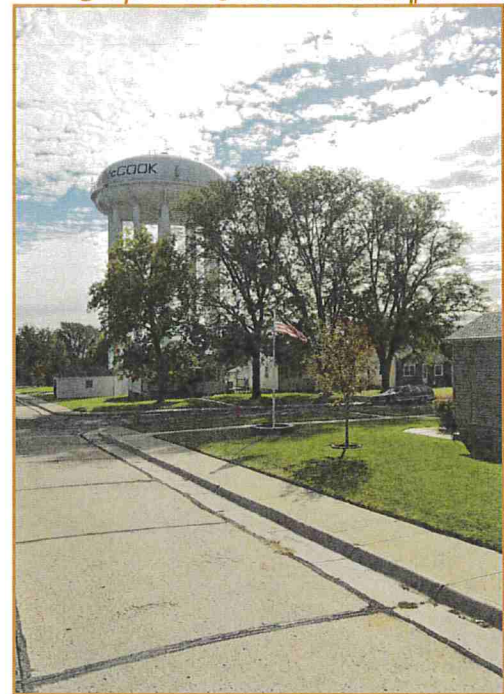
*Figure 7-9 from Project 200-D1-027
 McCook Facility Plan

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Table 2.7: Water Consumption

Month	2021 Consumption	2022 Consumption	2023 Consumption
January	4,476,208	3,211,956	2,756,109
February	3,954,241	2,866,767	2,900,494
March	2,952,981	3,362,689	2,987,250
April	2,506,267	3,000,202	2,474,654
May	4,235,553	3,661,190	3,430,699
June	6,113,296	7,453,672	6,534,291
July	7,224,147	9,554,685	5,382,309
August	9,998,508	12,351,368	7,470,844
September	11,617,365	12,769,417	8,805,407
October	10,799,713	11,488,837	10,000,272
November	8,866,671	8,787,389	7,102,591
December	4,156,873	5,843,878	3,657,576

Source: City of McCook, Nebraska.





Water Consumption 2021 to 2023
City of McCook, 2023

	2021 Average Number Billed	2022 Average Number Billed	2023 Average Number Billed
Residential 	3,108	3,123	3,103
Commercial 	494.40	476.83	480.25

Source: City of McCook, Nebraska

Sewer Discharge 2021 to 2023
City of McCook, 2023

	2021 Average Number Billed	2022 Average Number Billed	2023 Average Number Billed
Residential 	2,930	2,935	2,925
Commercial 	420.50	418.50	423.50

Source: City of McCook, Nebraska

Table 2.8: Sewer Discharge

Month	2021 Discharge	2022 Discharge	2023 Discharge
January	2,577,507	3,457,682	2,475,840
February	2,558,603	3,452,958	2,466,330
March	2,344,459	2,373,960	2,463,561
April	2,554,286	2,264,241	2,445,027
May	3,495,226	2,485,722	2,548,158
June	3,496,593	2,535,412	2,403,726
July	3,485,896	2,493,860	2,328,858
August	3,473,241	2,460,427	2,349,113
September	3,463,581	2,462,647	2,342,149
October	3,460,160	2,466,229	3,094,254
November	3,452,678	2,481,947	2,335,030
December	1,343,097	2,441,890	2,310,460

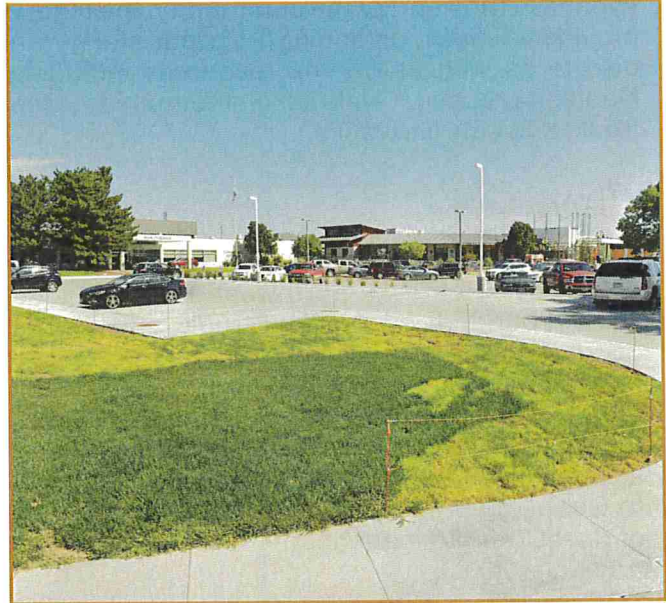
Source: City of McCook, Nebraska.

Community Services

McCook offers many community services and events to its residents. These services add to the quality of life citizens have come to enjoy in McCook. The following is a list of services and events available in McCook.

Healthcare

The Community Hospital Association was formed on September 4, 1970 with the intent to acquire the St. Catherine of Sienna Hospital and construct McCook's new facility. Community members partnered with charitable foundations to build a new facility. McCook's Community Hospital opened on July 1, 1974 and has since been awarded several distinguished recognitions—Quest for Excellence Award (2011), Top 100 Critical Access Hospital (2017), and Top 20 Critical Access Hospital (2018), for instance. A 25-bed facility, the regional hospital serves more than 30,000 people who live in their referral area. In addition to some thirty medical specialists, the Community Hospital also provides rural health clinics in Trenton and Curtis, Nebraska.



Red Willow County Extension Service

The University of Nebraska-Lincoln Extension office in Red Willow County is located in McCook at 1400 West 5th Street. The office provides research-centric information related to agriculture and natural resources, consumer and family economics, community and economic development, and 4-H and youth programs.

Library

The McCook Public Library aims to promote lifelong learning, cultural enrichment, recreation, and solutions. Located at 802 Norris Avenue in the heart of the community, the library provides a variety of reading programs along with on-site as well as on-line resources including NebraskaAccess, Nebraska Memories, One Book, and One Nebraska.

Newspaper

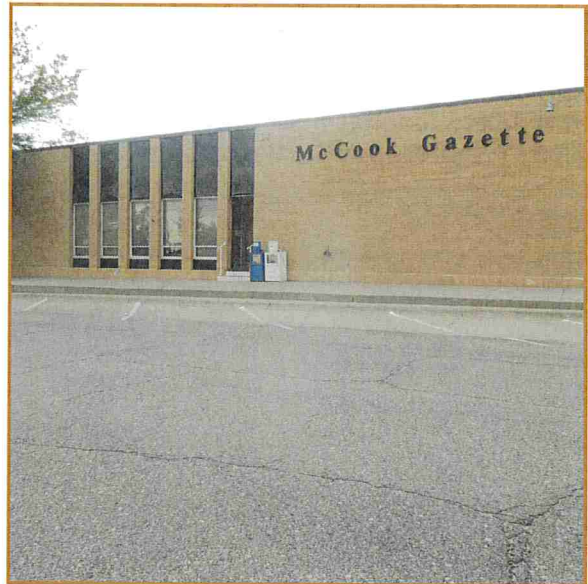
The *McCook Gazette* has been serving southwest Nebraska-northwest Kansas since 1911. Founded by Harry Strunk and Burriss Stewart as the *Red Willow County Gazette*, the paper began as a weekly and evolved into a daily paper in 1924. Harry Strunk's son Allen returned to McCook after college and managed the paper as publisher. In 1986, the family sold the *Gazette* to Gozia-Driver Media and in 1997 became part of Rust Communications.

Post Office

The McCook post office is located at 411 W. 3rd Street and open throughout the week in addition to Saturday mornings.

Auditoriums and Reception Venues

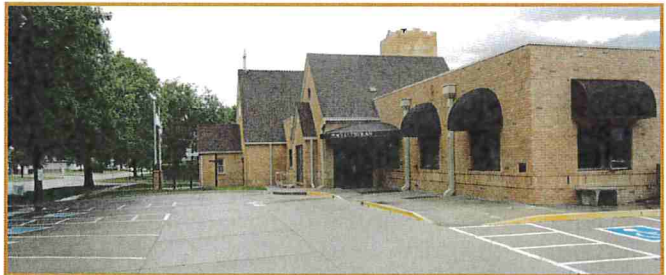
McCook Memorial Auditorium was completed in 1939. The local landmark still retains city offices and serves as an entertainment venue for events in McCook. The City of McCook's Heritage Senior Center also is available to rent for events—the dining facility can house 300 guests and the meeting room can serve fifty guests. Shelter parks are available for rent in Kelley Park and the McCook Public Library also possesses space available to the public.



Places of Worship

The community offers a wide range of religions and denominations—the following is a list of those institutions.

- McCook Baptist Church, 329 N. Cherokee Road
- Grace Baptist Church, 1010 E. 6th Street
- St. Alban's Episcopal Church, 509 W. 1st Street
- Church of Christ, 711 E. G Street
- McCook Christian Church, 507 W. B Street
- Cornerstone Fellowship, 402 W. 5th Street
- St. John's Lutheran Church, RR 3
- United Methodist Church, 105 E. E Street
- Indianola Christian Church, 419 E. E Street
- St. Patrick's Church, 409 E. F Street
- Peace Lutheran Church, 411 E. 6th Street
- St. Patrick Lutheran Church, 612 E. 4th Street
- Trinity Lutheran Church, 1619 W. 3rd Street
- Lutheran Church Our Savior's , 312 Seminole Drive
- St. John Lutheran Church, 39097 Road 712
- First Congregational Church, 212 E. E Street
- Christian Science Reading Room, 601 W. 1st Street
- First Assembly of God Church, 811 E. C Street
- Norris Avenue Chapel, 1211 Norris Avenue
- Jehovah's Witnesses, 2010 W. J Street
- Evangelical Free Church, 602 E. 14th Street
- Seventh-Day Adventist Church, 212 W. 7th Street
- Nazarene Church of McCook, 801 W. 1st Street
- The Church of Jesus Christ of Latter-day Saints, 411 Elizabeth Lane
- Sacred Heart Catholic Church, N. Highway 83



Public Safety

The City of McCook maintains a combination fire department (505 C Street) with eleven full-time employees and twenty-four volunteers. All full-time firefighters are paramedics as well and serve an area within McCook's City's limits. The EMS response area covers approximately 320 square miles. The fire department's ISO (Insurance Services Office) rating is a 3—on a scale from 0 to 10—with lower scores reflecting a better staffed and equipped department.



Police Department

The McCook Police Department (505 C Street) law enforcement division includes one chief, four patrol sergeants, two detectives, eight patrol officers, and one school resource officer. Staff assistants handle 911 duties and surrounding law enforcement agencies include the Red Willow County Sheriff's Office and the Nebraska State Patrol.



Red Willow County Sheriff's Office

Offices are located at 516 Norris Avenue for the Red Willow County Sheriff's Office. Staff includes a sheriff and deputy sheriff along with support staff. The Red Willow County jail is located at the same address.



Senior Center

The McCook Heritage Senior Center is located at 1312 West 5th Street in McCook and provides activities—home delivered meals, for instance—for those sixty years and older. The center is directed and maintained by the City of McCook and the West Central Nebraska Area Agency on Aging.

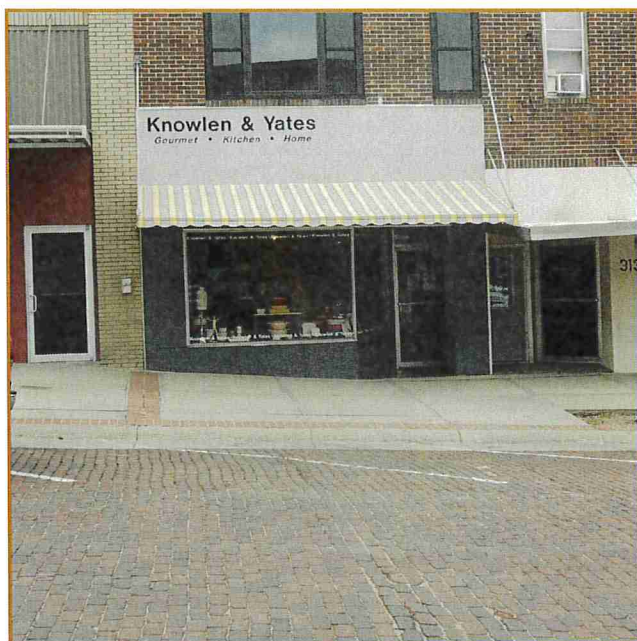


Tourism—McCook and Red Willow County

The Nebraska Department of Tourism does not track data related to an individual community but does compile data at the county-level. McCook/Red Willow County are blessed with both cultural events and natural amenities to attract visitors and examining a ten-year dataset reveals positive trends (Table 2.9). In 2021, Red Willow County witnessed a ten-year high in tourism spending—\$14.8 million—with many visitors staying in hotels, some in private homes, others at campgrounds, along with day travelers. Tourism dollars in the county impacted several sectors of the local economy, including accommodations (hotels, motels, Airbnb, and Vrbo), food service, food stores, transportation and fuel, arts, entertainment, and recreation, retail sales, and air travel (Table 2.10).

Year	Direct Spending (Millions)
2012	13
2013	12.7
2014	13.4
2015	12
2016	11.1
2017	12.2
2018	12.2
2019	12.3
2020	10.5
2021	14.8

Source: Nebraska Department of Tourism.

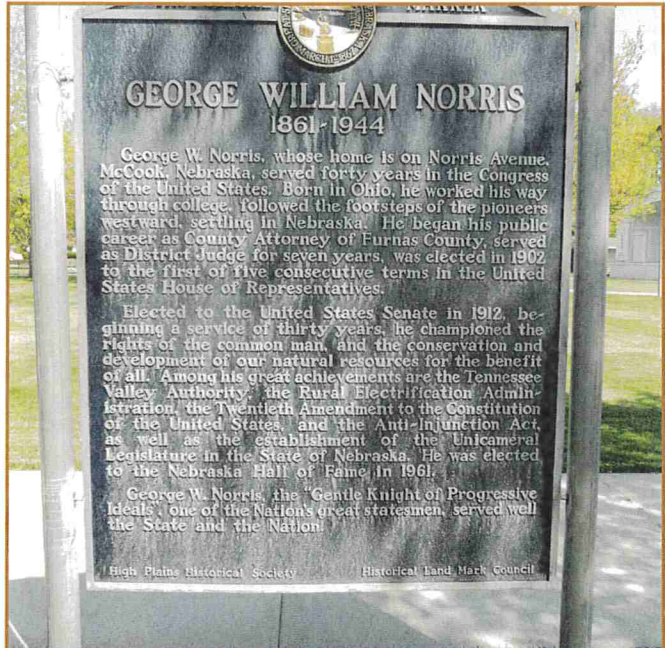
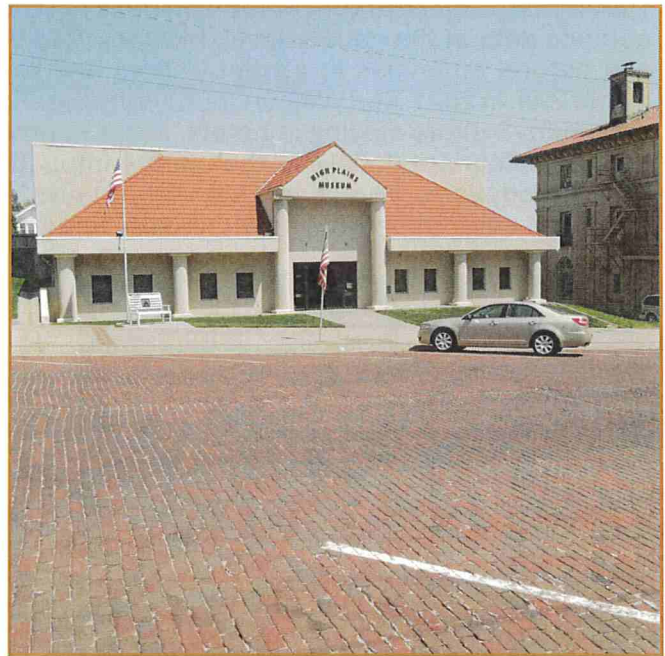
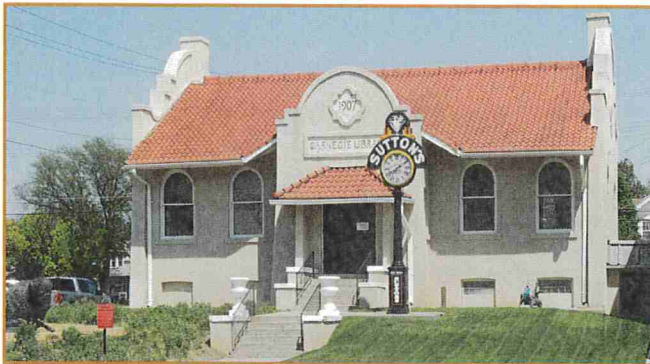


Commodity Purchased	Spending (Millions)
Accommodations	4.4
Food Service	5.7
Food Stores	0.8
Transportation and Fuel	0.9
Arts, Entertainment, and Recreation	1.3
Retail Sales	1.5
Air Transportation	0.2

Source: Nebraska Department of Tourism.

Museums/Historical Markers

The Museum of the High Plains is located at 421 Norris Avenue in McCook. Exhibits range from a WWII air base and German POW camp displays to the 1907 Carnegie Library, along with antique cars and general store items, maps of the west, Native American displays, and political items. The museum is also home to a reference/research room which serves the community and researchers interested in McCook/Red Willow County history.



McCook Parks

A community should provide places for residents to play, socialize, and relax. McCook does that with several parks and recreational facilities. Regarding ballparks, McCook is home to five lighted ball diamonds. Felling Field (E. 6th Street and D Street) has two ball fields and the Jaycees Complex (W. 10th Street and M Street) is home to four fields. McCook is also home to six parks—Barnett, Elks, Karrer, Kelley, Norris, and Russell—which cover 126 acres.

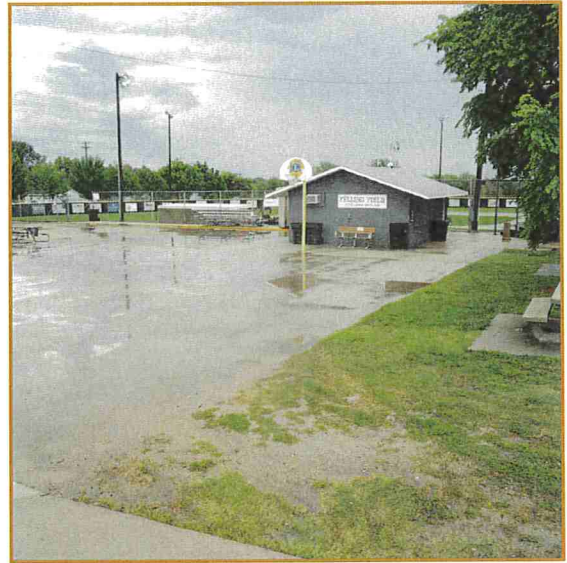
Barnett Park just off Highway 83 on McCook’s south side, possesses forty-five acres that adjoins the Republican River and offers sand volleyball courts, fishing, and open space. Elks Park at West 5th and E Street has playground and tennis courts. Karrer Park is home to the city’s RV and camping facilities and found on McCook’s eastern edge adjacent to Highways 6/34.

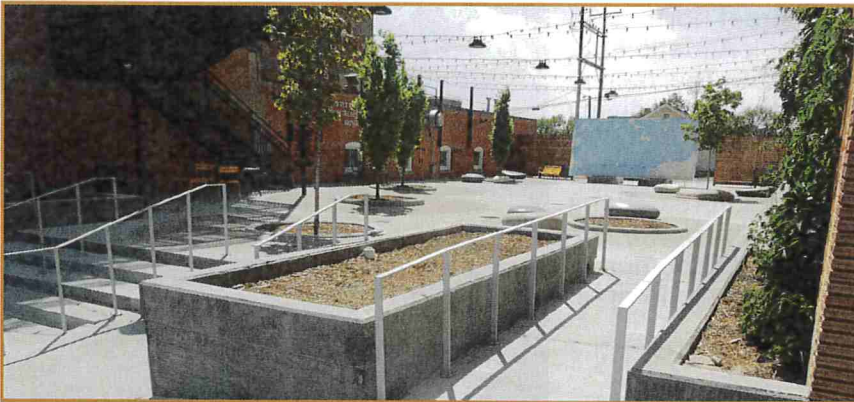
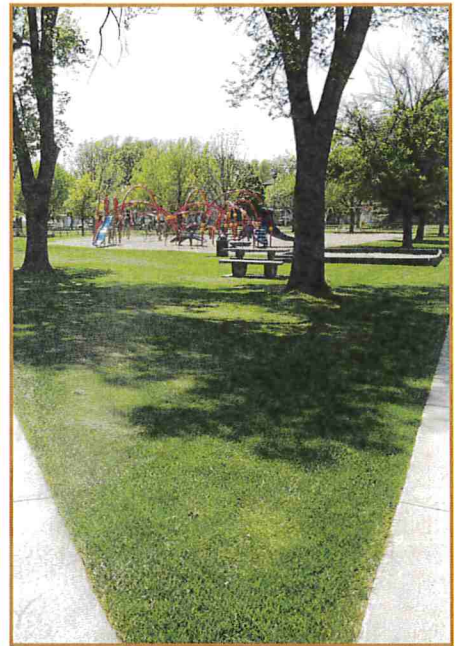
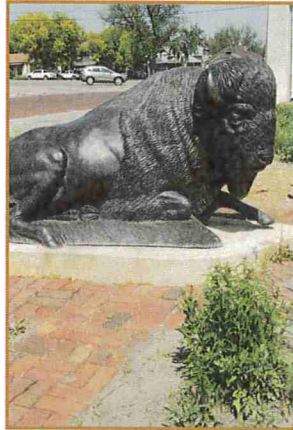
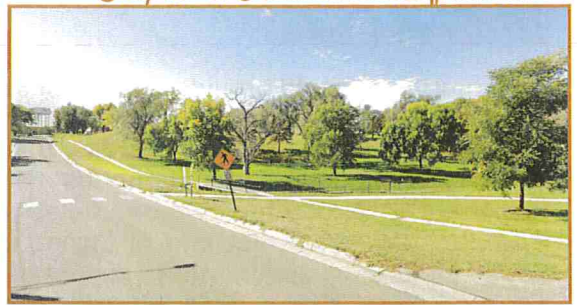
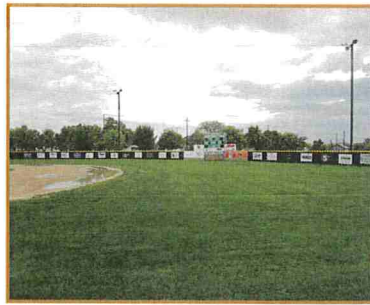
Kelley Park—McCook’s largest City park—at East 3rd and M Street is home to shelter houses, disc golf, playground equipment, and the community’s public swimming pool. Kelley Park also has the Kelley Creek Walking Trail that is 1.5 miles in length and connects to Karrer Park. Next to Mid-Plains Community College and Kelley Park is Bolles Canyon Skatepark that opened in 2015. Catering to bicycle and skateboard enthusiasts, it is a nice example of private-public funding which was also supported by the Tony Hawk Foundation.

The McCook Aquatic Park is located at 500 East M Street, just east of Kelley Park and across the street north from McCook Community College. The McCook Aquatic Park held their grand opening on July 17, 2024. The facility features a lazy river, a zero depth entry pool, diving boards, basketball hoops, a family water slide, a flume slide, and a speed slide. In addition, the facility offers users a lily pad walk, and multiple spray features. Along with the passage of the City’s \$6.7 million bond, the city secured grant funds from the Civic and Community Center Financing Fund (CCCCF) and the Masonic Temple.

Norris Park at Norris Avenue and G Street maintains the community bandshell and playground equipment.

Collectively, McCook’s parks provide a variety of outdoor options, including camping areas, disc golf, playground equipment, tennis courts, and walking trails. McCook is in a fortunate position in regard to parks and recreation. Parks provide public space for residents and visitors to enjoy and enhance the community’s overall appearance.





Heritage Hills Golf Course

The Heritage Hills Golf Course was designated one of the Best 75 Golf Courses in the United States by Golf Digest in 1984. The Phelps-Benz design was revitalized in 2013 with major renovations. Located at 6000 Clubhouse Drive in McCook, the club hosts multiple events and offers travel packages as well.

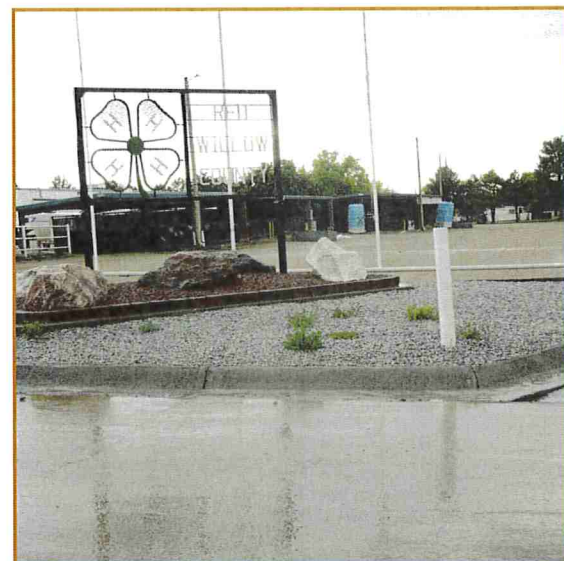


Camping/Outdoor Recreation

The Red Willow Reservoir State Park is not far from McCook and offers a number of activities, including archery, boating, camping, fishing, hunting, and swimming. The 4,320-acre park contains a 1,628-acre lake and is found in northwest Red Willow County. Red Willow Reservoir State Park includes forty-eight camping pads with access to utilities. Additionally, on McCook's eastern edge is another campground along Highways 6/34. Karrer Park is owned by the City of McCook and offers free camp sites along with access to the Kelley Creek Walking Trail.

Red Willow County Fairgrounds

Home to the Red Willow County Fair on McCook's north side, facilities are available for rental throughout the year. Larger venues include the Community Building, Kiplinger Arena, 4-H Building, Trudy Stall Barn, Merchant Building, open air stalls as well as numerous smaller buildings (the largest indoor venue is Kiplinger Arena with 470 permanent seats and up to 330 portable seats). Also located at the fairgrounds is Garrett Nokes Memorial Arena, a traditional outdoor grandstand that hosts rodeos and concerts.

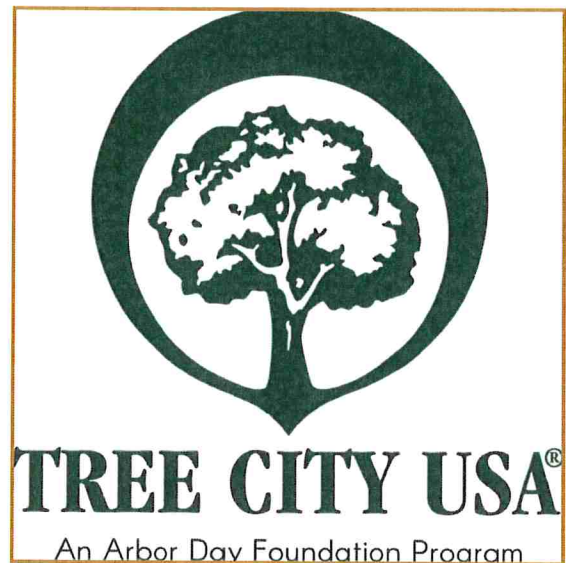
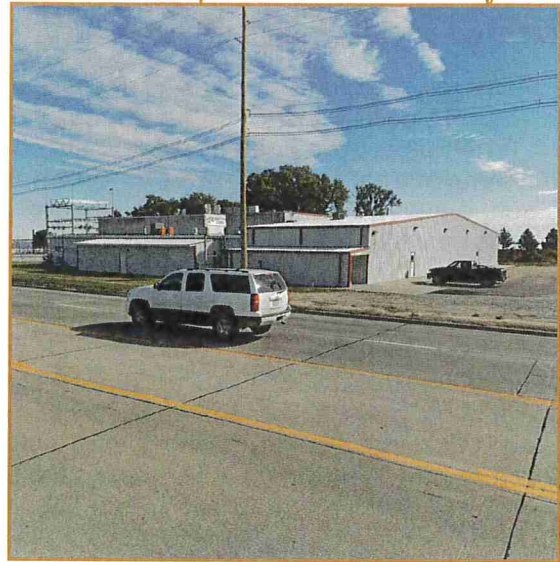


Bowling

TJ's Family Fun Center is located at 1511 N. Highway 83 in McCook and offers arcade games, pool, and food in addition to bowling.

Tree Program

Today many communities and neighborhoods are the recipients of past forestry efforts, which continue with initiatives like the Arbor Day Foundation's *Tree City USA* program and the "tiny forest" movement. McCook is one of ninety-one communities in Nebraska part of the *Tree City USA* program for more than forty years and offers a tree rebate program for residents. Developed by the McCook Tree Advisory Board, trees must be planted within city limits and purchased from McCook businesses. Beautification efforts are essential for communities, the McCook rebate program is a prime example of a forward-thinking design and planning initiative.

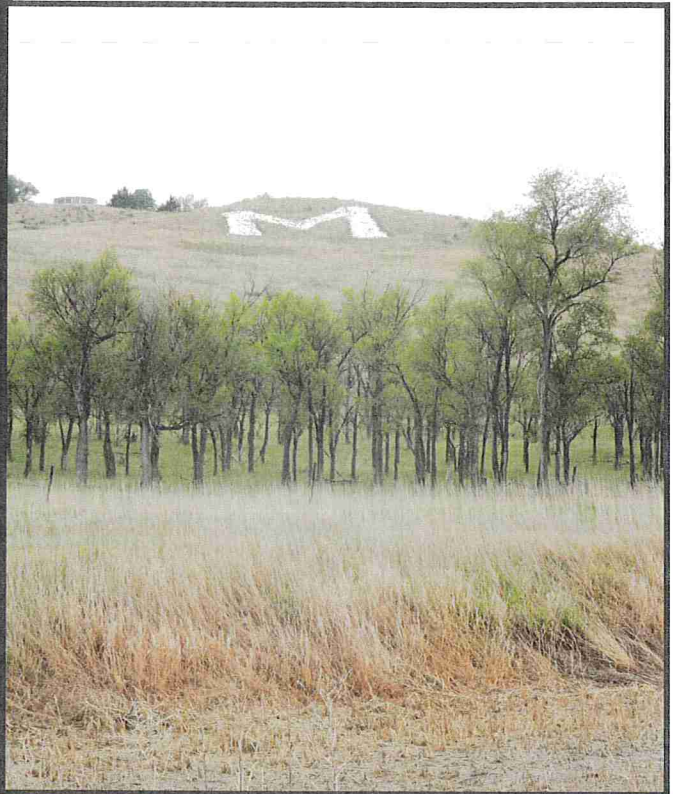


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CHAPTER

3

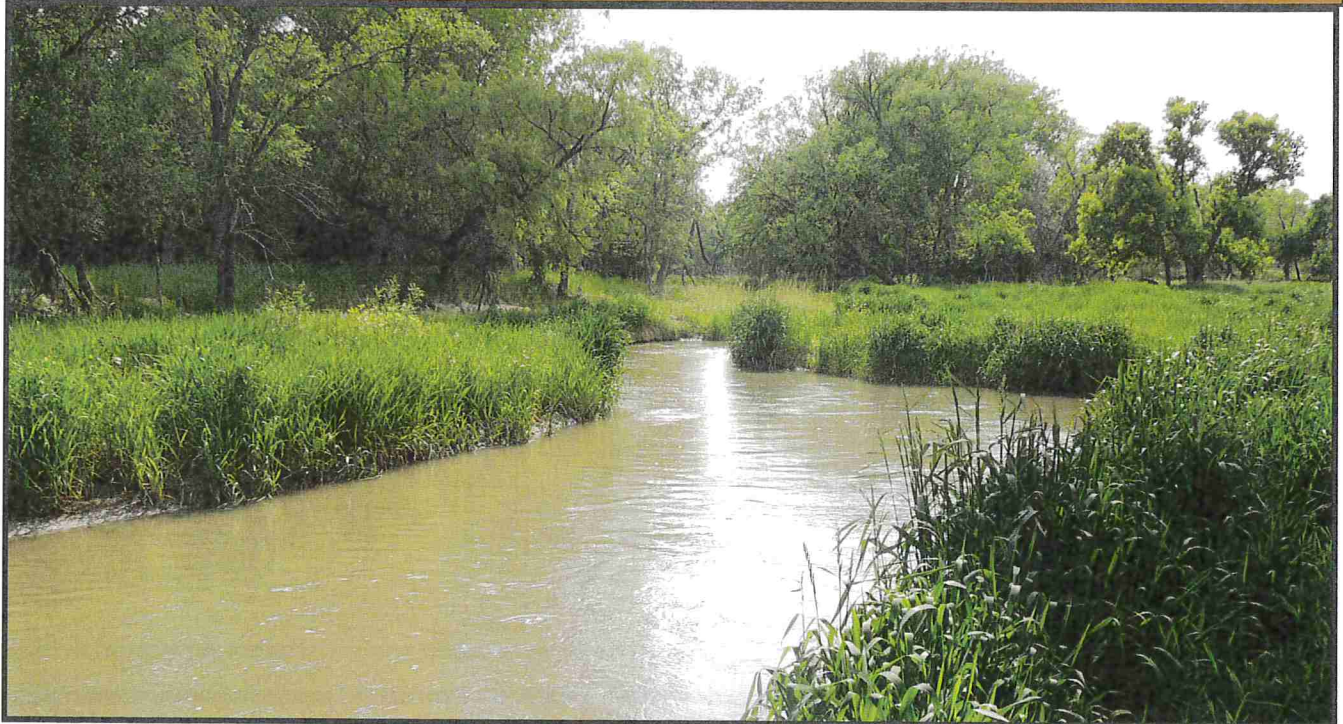
ENERGY AND NATURAL RESOURCES



Evaluating natural resources—land, soil, and water—is necessary for community leaders to consider when planning for development and infrastructure. Development requires an understanding of natural features and potential impacts. Proper land use practices can protect an area’s natural resources while complementing the built environment, hence it is important to acknowledge and understand McCook’s

climate and topography. Conservation can, and should, complement development and progress. With that in mind, this section focuses on the following components

- Energy
- Land
- Soil
- Water

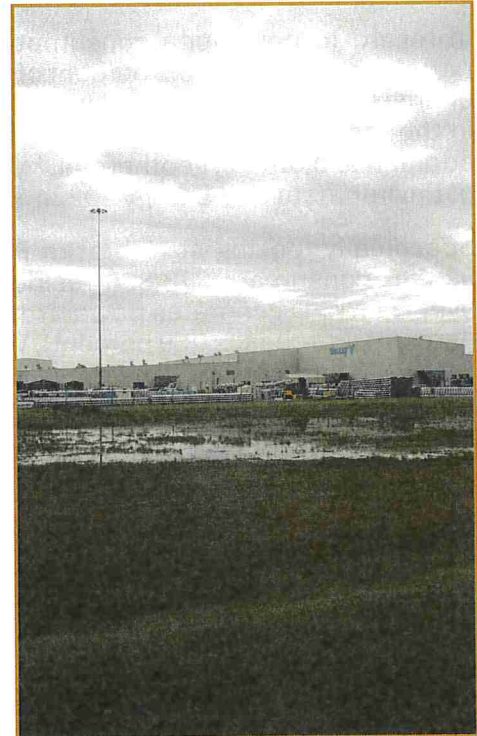


Land, Climate, and Setting

McCook is located in Red Willow County in southwestern Nebraska. The Republican River valley and terrace extend west to east across the southern portion of the county. Topographic elevations for Red Willow County range from 2,267 feet to 2,930 feet, with an average of 2,562. McCook and the nearby vicinity, broadly speaking, is 2,500 to 2,600 feet in elevation. McCook’s continental climate is typical for the Great Plains, characterized by extremes—cold winters and warm summers, high winds, and dramatic changes in weather conditions (Table 3.1). Average daily maximum temperatures range from a high of 90 in July to a low in January of 14 degrees Fahrenheit. Extremes for McCook range from a high of 114 degrees on July 20, 1932 to a record low of -30 on January 12, 1912. Annual precipitation is just over twenty inches per year but has the potential to dramatically vary year to year as history demonstrates.

Month	Average High	Average Low	Precipitation
January	39	14	0.51
February	45	19	0.63
March	54	26	1.42
April	65	36	2.2
May	73	48	3.27
June	85	58	3.23
July	90	63	3.31
August	87	62	2.8
September	79	51	1.38
October	67	38	1.3
November	51	25	1.1
December	41	17	0.51
Total Precipitation			21.66

Source: www.usclimatedata.com.



Energy

Nebraska legislators passed LB997 in 2010 that requires cities and counties to adopt an energy element in comprehensive plans. The energy element is required to include infrastructure and use by sector, utilization of renewable energy sources, and energy conservation measures that benefit the community.



Nebraska Energy Use by Sector

In 2020, Nebraska was 19th lowest in energy consumption in the United States. The state consumed 863.7 trillion British thermal units (Btu) of energy, less than one percent of the (0.93 percent) of the nation's total. In comparison, Texas was highest at 13,480.8 trillion (15 percent of the nation's total) and Vermont was lowest with 125.7 trillion Btu (Nebraska Department of Environment and Energy 2022).

In 2020, the industrial sector consumed nearly half (43 percent) of Nebraska's total. Of the remainder, the transportation sector consumed 22 percent, the residential sector 19 percent, and the commercial sector 16 percent. Between 2019 and 2020, all sectors witnessed a decrease in consumption—transportation -8.4 percent, commercial -7.7 percent, residential -5.5, and industrial -1.4 percent (Nebraska Department of Environment and Energy 2022).

In regard to per capita consumption, Nebraska was ninth highest in the nation. In that respect, petroleum provided 25.3 percent of the state's energy needs, followed by coal 23.7 percent, renewable energy 22.5 percent, natural gas 21.4 percent, and nuclear power at 7.2 percent. Of the 22.5 percent in the renewable category, wind energy dominates with a wide majority of energy in this sector, in addition to biofuels, geothermal, hydroelectric, solar, and wood/waste energy (Nebraska Department of Environment and Energy 2022).

Specifically looking at Nebraska Public Power District (NPPD) for 2022, the district had a total of 93,485 consumers—73,826 residential users, 19,599 commercial users, and 60 industrial users (NPPD). NPPD generates power from several sources, they include Coal (47.5 percent), Nuclear (30.1 percent), Purchases (8.9 percent), Wind (6.2 percent), Hydro (4.7 percent), Gas & Oil (2.4 percent), and Solar (0.2 percent).

For McCook, electricity consumption data provided by NPPD may be divided into three categories—commercial, industrial, and residential (Tables 3.2). Stability is witnessed in all three categories, with little variance over the last three years related to number of consumers and total amount billed.

	2023	2022	2021
Commercial	\$3,553,989	\$3,656,981	\$3,563,189
Industrial	\$1,678,747	\$1,766,428	\$1,822,163
Residential	\$4,950,021	\$5,080,639	\$4,933,150

Source: NPPD 2024.

McCook's Energy Options

McCook's residents are served by a variety of utility companies in several sectors. Natural gas, for instance, is distributed by SourceGas and telephone service is provided by CenturyLink, Great Plains Communications, and Pinpoint. Internet providers include CenturyLink, Great Plains Communications, Verizon, and Veaero.

Within the city limits, electricity is distributed by Nebraska Public Power District (NPPD) while in the two-mile planning jurisdiction it is supplied by the McCook Public Power District (MPPD). MPPD purchases its power from NPPD and distributes it to parts of six counties in southwest Nebraska including Red Willow County.

Renewable Options

There are currently three viable renewable energy options to consider—solar, water, and wind.

Solar Energy

Solar energy is a renewable energy source that involves harnessing light from the sun and converting it to electricity. In the process, sunlight is captured using either photovoltaic (PV) collectors or flat plate collectors. Sparsely populated Red Willow County does have 224 sunlit days each year (the U.S. average is 205 days) so there is potential for solar power.

Water Energy

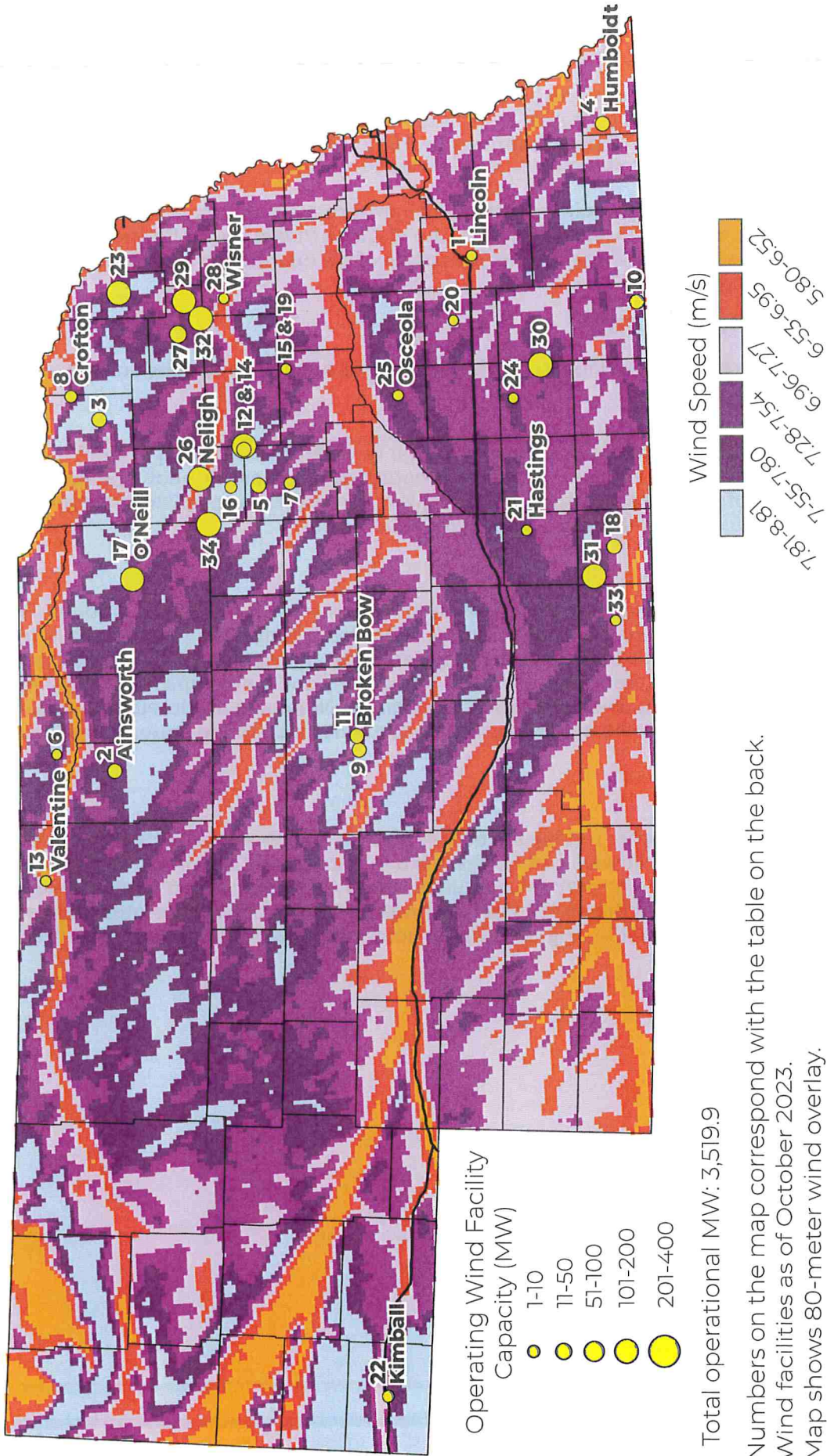
Nebraska has an abundance of groundwater, much from the Ogallala Aquifer. Red Willow County residents acquire drinking and agricultural water from wells that utilize porous rocks that form the Ogallala Aquifer. This critical resource requires constant monitoring to ensure quality and supply are maintained. In many situations—based on topography and landscape elements—hydroelectric power generation is an option, even in certain locations in Nebraska. Hydroelectric power, however, at this time does not appear to be a viable option throughout much of the state, in particular for McCook and Red Willow County.

Wind Energy

Wind power is yet another renewable energy source, one that has become more common not only in the Great Plains and Midwest but in Nebraska in particular. Capturing wind to produce power is not new, the idea has been in play for centuries. Wind turbines convert kinetic energy into mechanical power or wind power. At the end of 2021, Nebraska was one of twenty states that generated over 1,000 megawatts of wind capacity. Figure 3.1 graphically demonstrates current wind production sites in the state.

Wind Development in Nebraska

Operating Facilities



Total operational MW: 3,519.9

Numbers on the map correspond with the table on the back.
Wind facilities as of October 2023.
Map shows 80-meter wind overlay.

For questions or comments on this map, contact neo.energy@nebraska.gov.
For more information, visit: <https://neo.ne.gov/programs/stats/inf/89.htm>

Sources: Base map provided by National Renewable Energy Laboratory for U.S. Department of Energy (2017).
Facility locations provided by the Nebraska Department of Environment and Energy (2023).

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Geographical Extent and Soils

Red Willow County is located along Nebraska's southern border with elevations that range from approximately 2,300 feet on the eastern side of the county to more than 2,800 in the northwest and southwest corners of the county. The Rocky Mountains to the west essentially "cut off" moisture (rain shadow effect) from the west and with no barriers to the north or south the county realizes sharp changes in temperature associated with wind patterns. Red Willow County's total land area is 458,240 acres, or 716 square miles, and the Republican River and Red Willow Creek and Beaver Creek are the primary streams in the county.

Red Willow County is in the "western part of the Loess Plains, a part of the Great Plains. It consists of nearly level to gently sloping tablelands, the fringes of which are dissected by the valleys of the Republican River and by those of Driftwood, Red Willow, and Beaver Creeks and a few smaller streams" (Huber *et al.* 1967, 46). The Republican River valley is "2 to 2-1/2 miles wide. The bottom land lies only 5 to 10 feet above the normal water level. Bordering the river are extensive alluvial terraces" (Huber *et al.* 1967, 46).

There are four primary soil associations—that can be further divided into different series—in Red Willow County and almost "half of the county consists of moderately sloping loess plains in the uplands and of sloping to steep canyons. The rest consists of loamy soils on stream terraces, bottom lands, and foot slopes in the uplands, of sandy and loamy soils along the Republican River, and of silty soils on steep loess hills and in canyons" (Huber *et al.* 1967, 2).

The first soil type is the Holdrege-Keith Association which is found on "nearly level to moderately sloping loess plains in the uplands and in sloping to steep canyons. The area of this association is 263,600, or about 58 percent of the county" (Huber *et al.* 1967, 2). While productive, the Holdrege-Keith Association in Red Willow County is subject to flooding. The Hord, Terrace-McCook-Bridgeport Association is the second soil type to consider. On nearly level to gently sloping stream terraces, bottom lands, and foot slopes, there are 56,050 acres in this category, some 12 percent of the county. A portion of the land south of McCook is of this type and due to slow permeability and the possibility of flooding, does not make this area appropriate for lagoons and septic tanks. The third type—Sandy Alluvial Land-Las-Glenburg Association—is found on low flood plains along the Republican River and covers 13,590 acres or about 3 percent of the county. As a result of the high water table associated with this soil type in the Republican Valley limits the use of septic tanks and there is a potential for flooding. The Colby Association soils are found on "steep loess hills and in canyons that form the valley slopes of most drainageways in the county. The total area is 125,000, or more than 27 percent of the county" (Huber *et al.* 1967, 4). Steepness of the areas associated with this soil type just north of McCook's City limits impacts development potential which also limits cultivation.

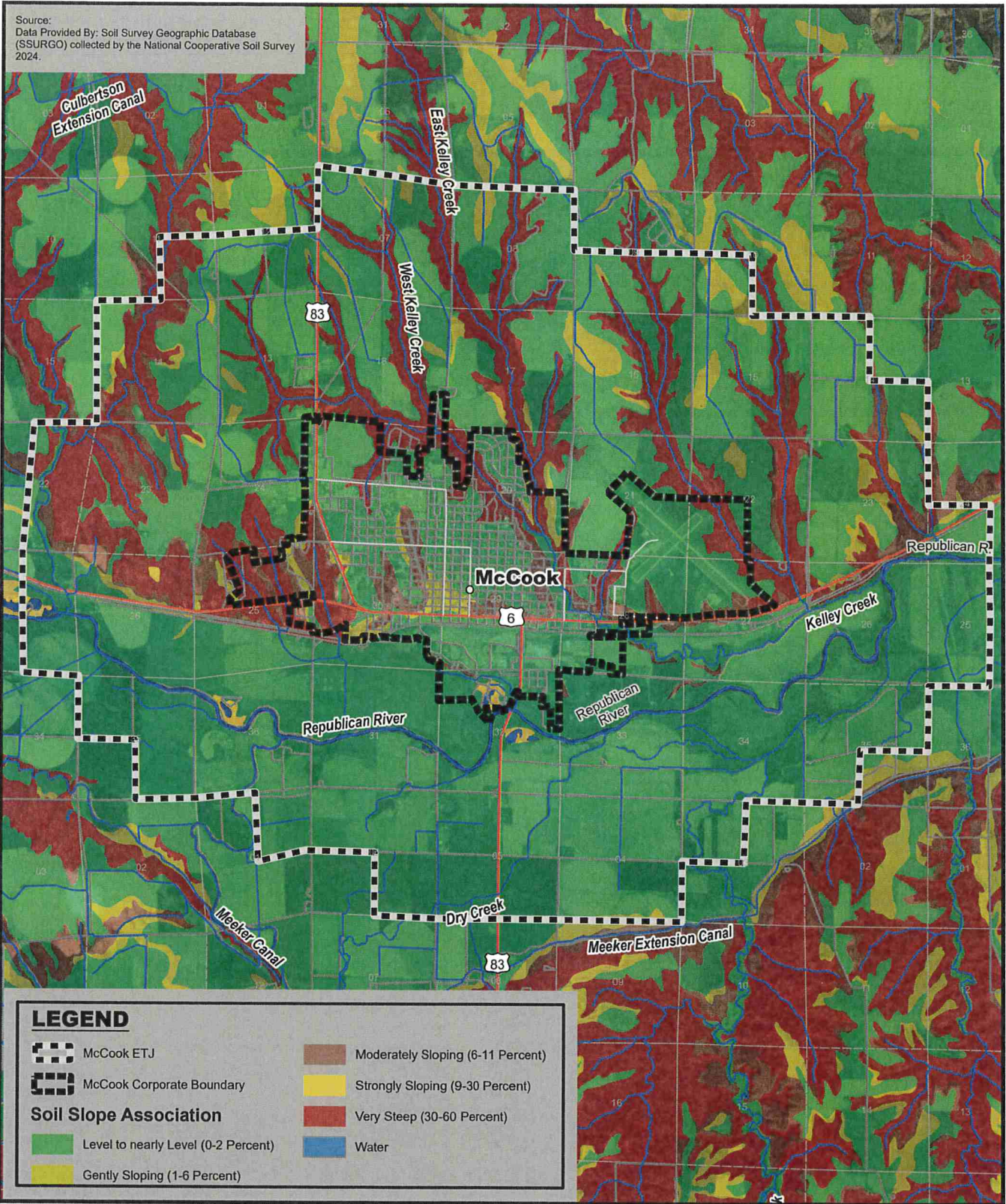
Having even a limited knowledge of soil type is important for land use and management practices. For instance, soil properties are of "special interest to engineers because they affect construction and maintenance of highways, roads, airports, pipelines, foundations of buildings, and facilities for storing water, controlling erosion, irrigating and draining soils, disposing of sewage, and conserving soil and water" (Huber *et al.* 1967, 26).

The following maps in this section depict slope, soil suitability, and dryland or irrigated capability by soil associations for the planning jurisdiction of this comprehensive plan; soils data and classifications were gathered by the NRCS.

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Source:
Data Provided By: Soil Survey Geographic Database
(SSURGO) collected by the National Cooperative Soil Survey
2024.

3/27/2025 9:36 AM Path: G:\Projects\200\200-G1-027\GIS\McCook\Pro\McCookPro.aprx Layout: 200-G1-027.FIG 3.2 SOIL SLOPE



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CONSULTING ENGINEERS, P.C.
Kearney, NE – (308) 234-6456

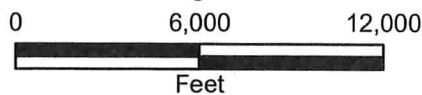
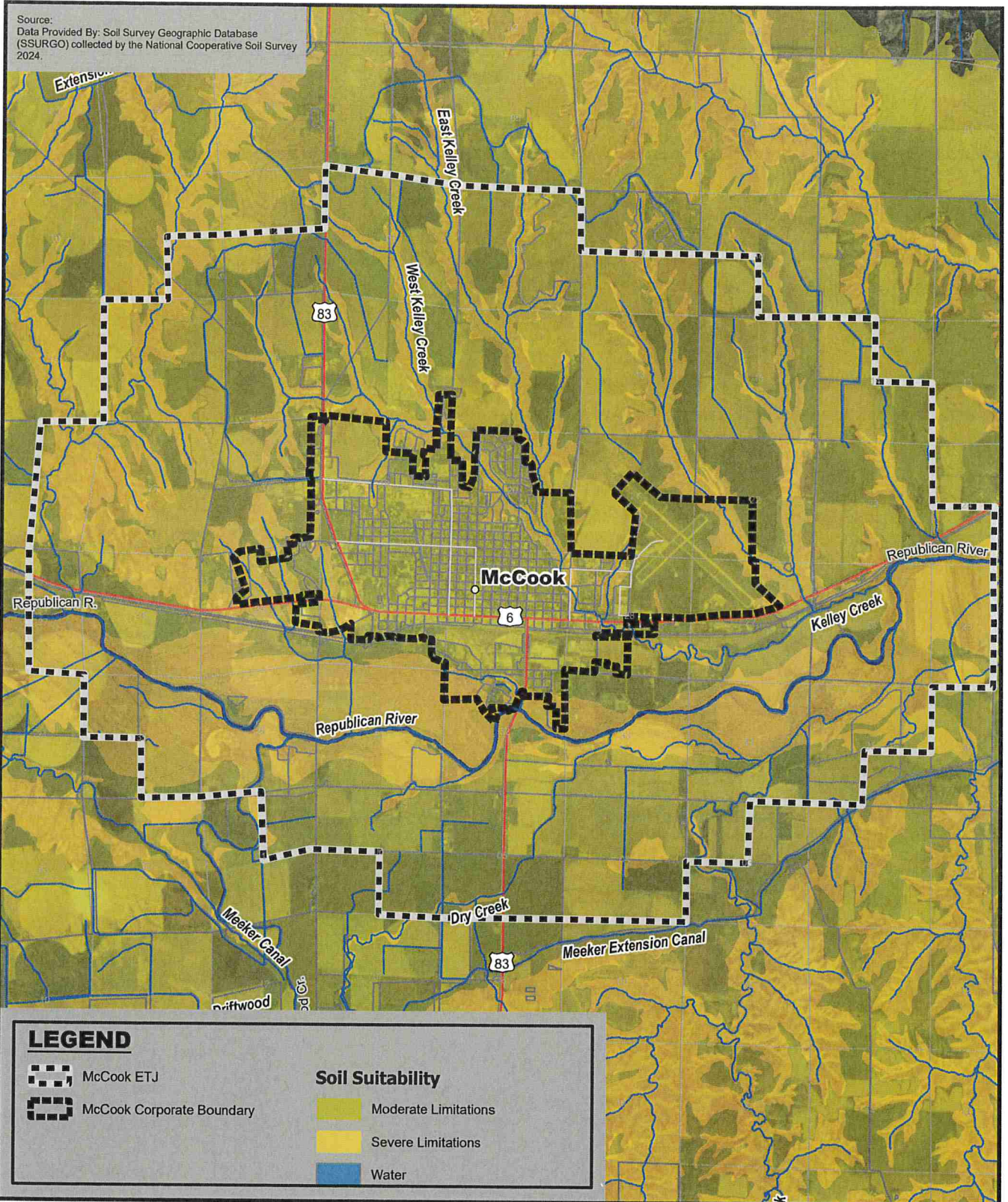


Figure 3.2
Slope
McCook, Nebraska

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(SSURGO) collected by the National Cooperative Soil Survey
2024.

3/27/2025 9:36 AM Path: G:\Projects\200-G1-027\GIS\McCook\Pro\McCook.Pro.aprx Layout: 200-G1-027.FIG.3.3.SOIL.SEPTIC



LEGEND	
	McCook ETJ
	McCook Corporate Boundary
Soil Suitability	
	Moderate Limitations
	Severe Limitations
	Water

3/27/2025

Prepared By:



Miller & Associates
CONSULTING ENGINEERS, P.C.
Kearney, NE - (308) 234-6456

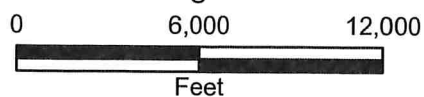
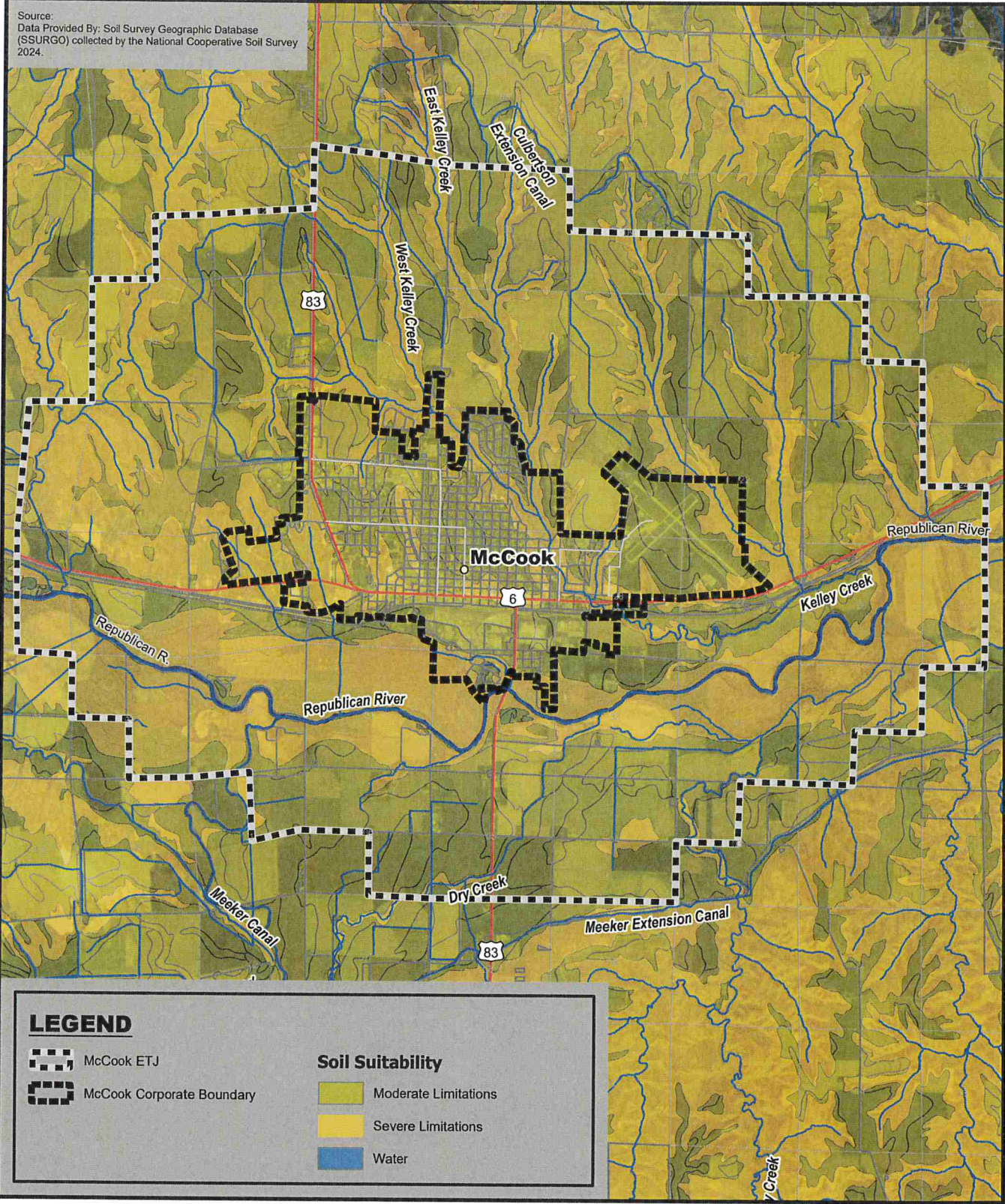


Figure 3.3
Soil Suitability For
Septic Tanks
McCook, Nebraska






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Source:
 Data Provided By: Soil Survey Geographic Database
 (SSURGO) collected by the National Cooperative Soil Survey
 2024.

3/27/2025 9:36 AM Path: G:\Projects\200\200-G1-027\GIS\McCook\Pro\McCookPro.aprx Layout: 200-G1-027 FIG. 3.4 SOIL Sewage Lagoons



LEGEND

	McCook ETJ		Moderate Limitations
	McCook Corporate Boundary		Severe Limitations
			Water

3/27/2025
 Prepared By:

Miller & Associates
 CONSULTING ENGINEERS, P.C.
 Kearney, NE – (308) 234-6456

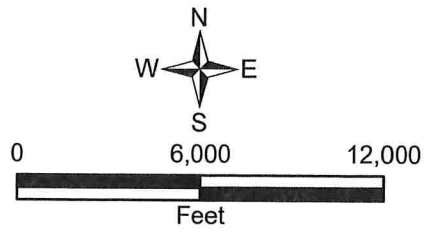
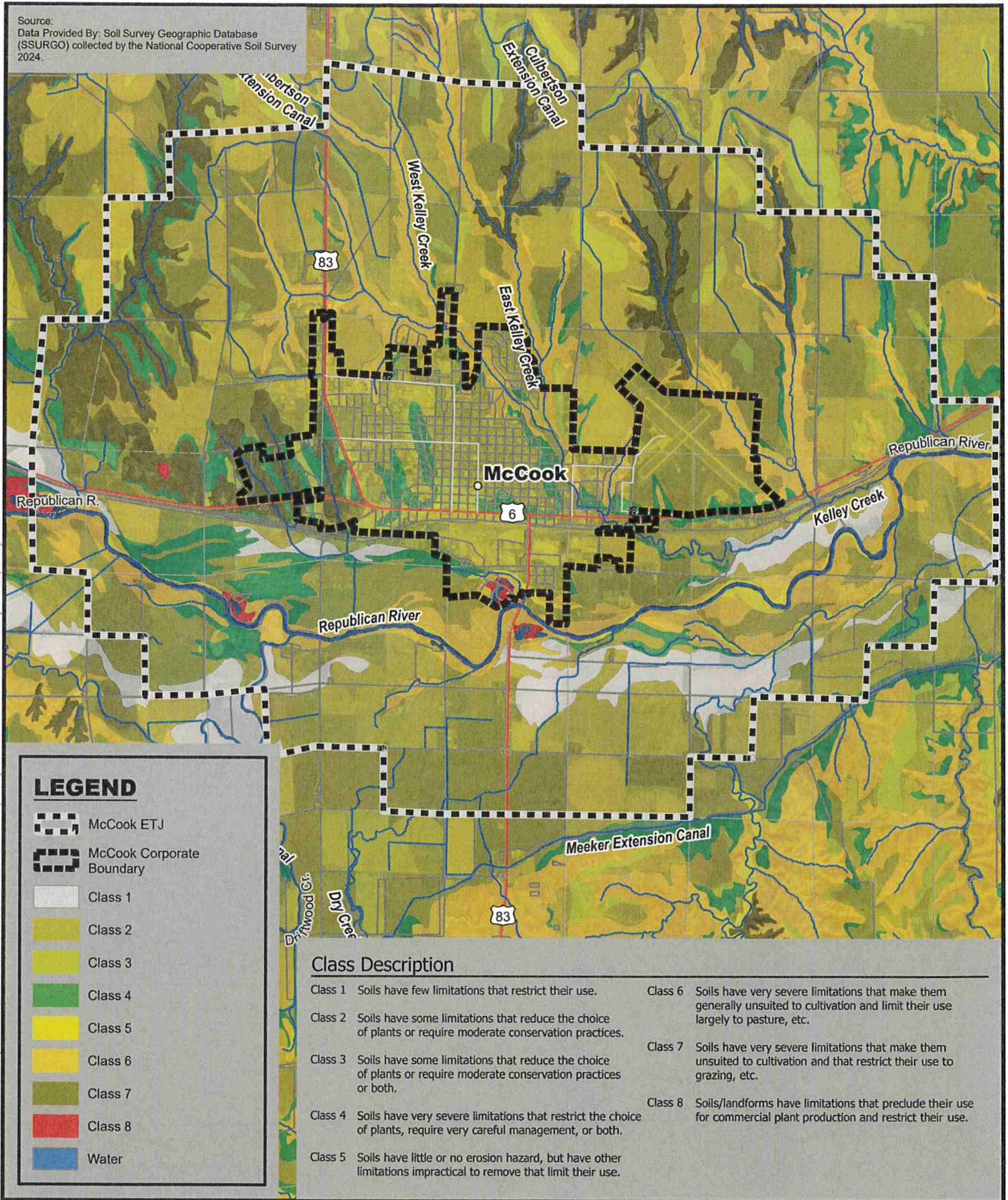


Figure 3.4
Soil Suitability For
Sewage Lagoons
McCook, Nebraska

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Source:
Data Provided By: Soil Survey Geographic Database
(SSURGO) collected by the National Cooperative Soil Survey
2024.

3/27/2025 9:38 AM Path: G:\Projects\200-G1-027\GIS\McCook\Pro\atrx Layout: 200-G1-027 FIG 3.5 SOIL Dryland Capability



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Prepared By:

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Miller & Associates
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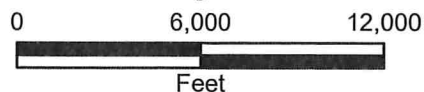
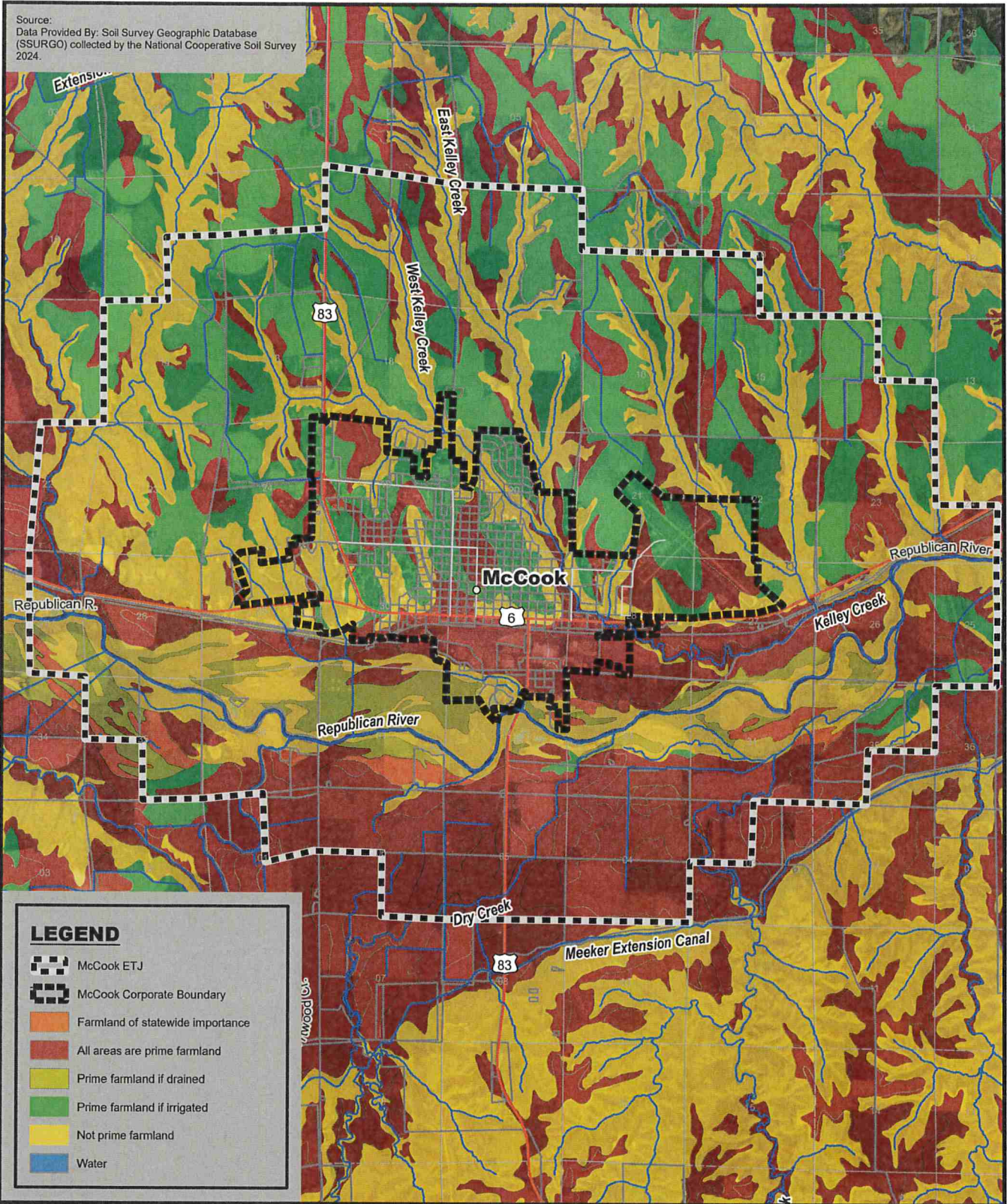


Figure 3.5
Dryland Capability
Classification
McCook, Nebraska









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Source:
 Data Provided By: Soil Survey Geographic Database
 (SSURGO) collected by the National Cooperative Soil Survey
 2024.

3/27/2025 9:36 AM Path: G:\Projects\200\200-G1-027\GIS\McCook\Pro\McCookPro.aprx Layout: 200-G1-027 FIG 3.6 SOIL Prime Farmland



LEGEND

-  McCook ETJ
-  McCook Corporate Boundary
-  Farmland of statewide importance
-  All areas are prime farmland
-  Prime farmland if drained
-  Prime farmland if irrigated
-  Not prime farmland
-  Water

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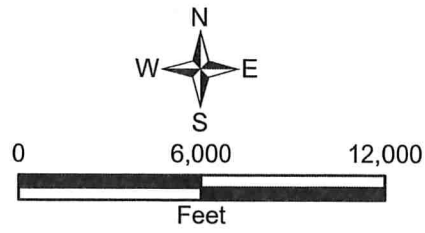


Figure 3.6
Soil Suitability For
Prime Farmland
McCook, Nebraska

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Water

Nebraska has an abundant groundwater supply, much of it related to the Ogallala Aquifer—one of the largest known aquifers in the world. Conservation measures need to be consistently assessed to protect this critical resource.

The Ogallala Aquifer provides water for irrigation near McCook, supplying water to residents, cropland, and livestock. The State of Nebraska receives approximately 80 percent of its public drinking water and nearly 100 percent of its private water supply from groundwater sources. The agriculture economy, which is fundamental to the entire state economy, is directly tied to these natural sources as well. The State of Nebraska understands the vital importance of natural resources and has developed Natural Resources Districts (NRDs) to protect and oversee resources, in this case water resources. McCook is located in the Middle Republican NRD, with offices in Curtis, Nebraska.

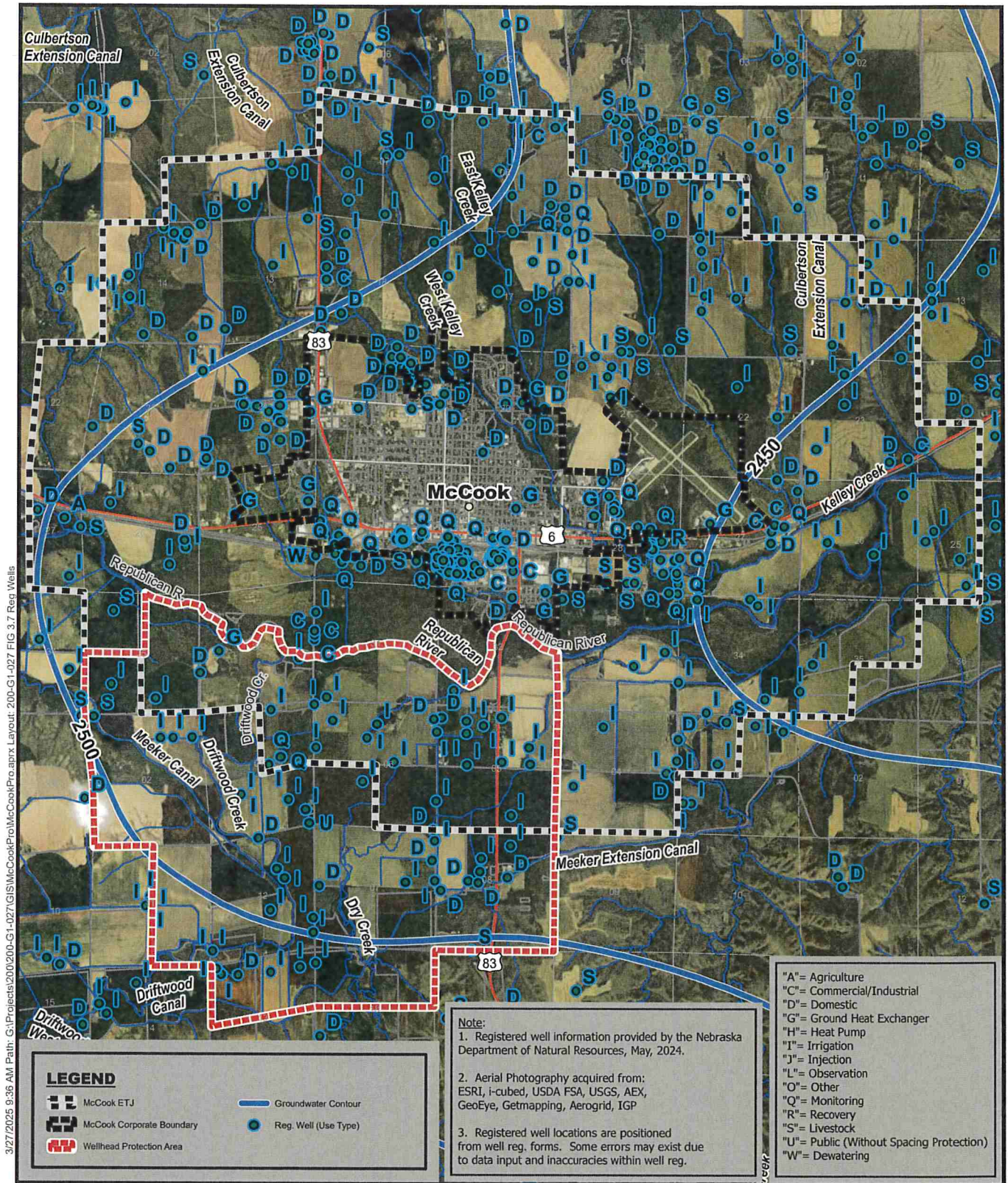
Red Willow County residents can typically find water 100 to 300 feet below the surface, with many wells in the 140 to 160 feet range (Huber *et al.* 1967). This resource is protected by the Wellhead Protection Program that provides the following information on federal regulation compliance:

- Outlines duties of the governmental entities and utility districts.
- Determines protection area.
- Identifies contamination sources.
- Develops a containment source management program.
- Develops an alternative drinking water plan.
- Reviews contaminated sources in future wellhead areas.
- Encourages public participation and involvement.

The Nebraska Wellhead Protection Program aims to regulate ground water quality and quantity. Nebraska's Wellhead Protection Program also intends to protect municipal drinking water supplies by focusing on several goals.

- Prevent new contamination sources in Wellhead Protection Areas through planning.
- Minimize the hazard of existing contamination sources through management.
- Provide early warning of existing contamination through groundwater monitoring.

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3/27/2025 9:35 AM Path: G:\Projects\200\200-G-1-027\GIS\McCookPro\McCookPro.aprx Layout: 200-G-1-027 FIG. 3.7 Reg. Wells

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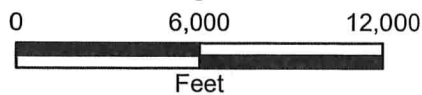


Figure 3.7
Registered Well & Wellhead Protection Area Map
McCook, Nebraska

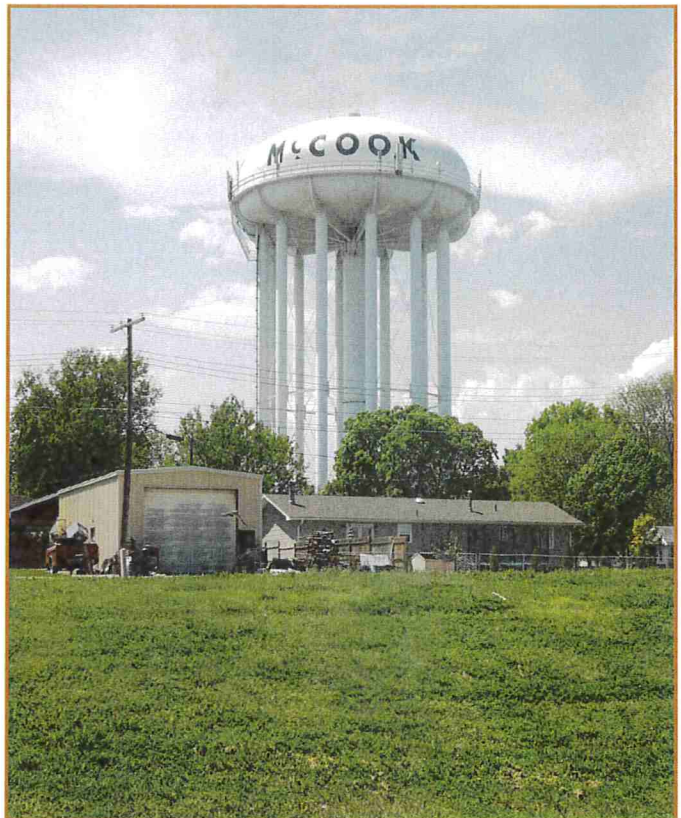
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City Water Supplies

The City of McCook operates nine (ten total—one was abandoned in 2006) active wells, none of which utilize surface water. McCook's current water treatment facility was constructed to reduce concentrations of nitrate, arsenic, and uranium. Contamination primarily comes from agricultural chemicals within the recharge area for wells and the City of McCook is attempting to acquire land adjacent to the wells to better control environmental concerns. Water supply wells are separated enough that should contamination take place, wells can be individually isolated protecting the total water supply. Along with that, Nebraska Public Power is the primary power source but reserve generators are in place to maintain water service if necessary.

Should McCook need additional water, potential supplies could be obtained by drilling additional wells west of the current well field or north of the community in the Ogallala aquifer. Another option would be capturing surface water from the Republican River or Red Willow Lake.

McCook currently has three water storage facilities. The McCook water treatment facility has four million gallons of capacity, while the east storage tank and west storage tank are both elevated structures with one million gallons of capacity. Concerning distribution, McCook's system comprises fifty-one miles of pipes ranging in size from three inches to twenty-four inches in diameter. According to the Public Water Systems Emergency Response Plan document the "average daily demand is the system's average daily usage based upon operational records maintained during the past several years. Maximum daily demand is typically the highest daily demand experienced in recent years based on operational records. System capacity is the maximum daily amount of water that a system is capable of treating or producing and distributing. Peak water demand is the maximum hourly demand that the system can sustain provided by storage or by production capability plus storage." McCook's average daily demand is 2.34 million gallons, the maximum daily demand is 4.77, and the system capacity is 6.5 million gallons. Peak sustainable demand is calculated to be 250,000 gallons per hour.



Floodplain-Floodway

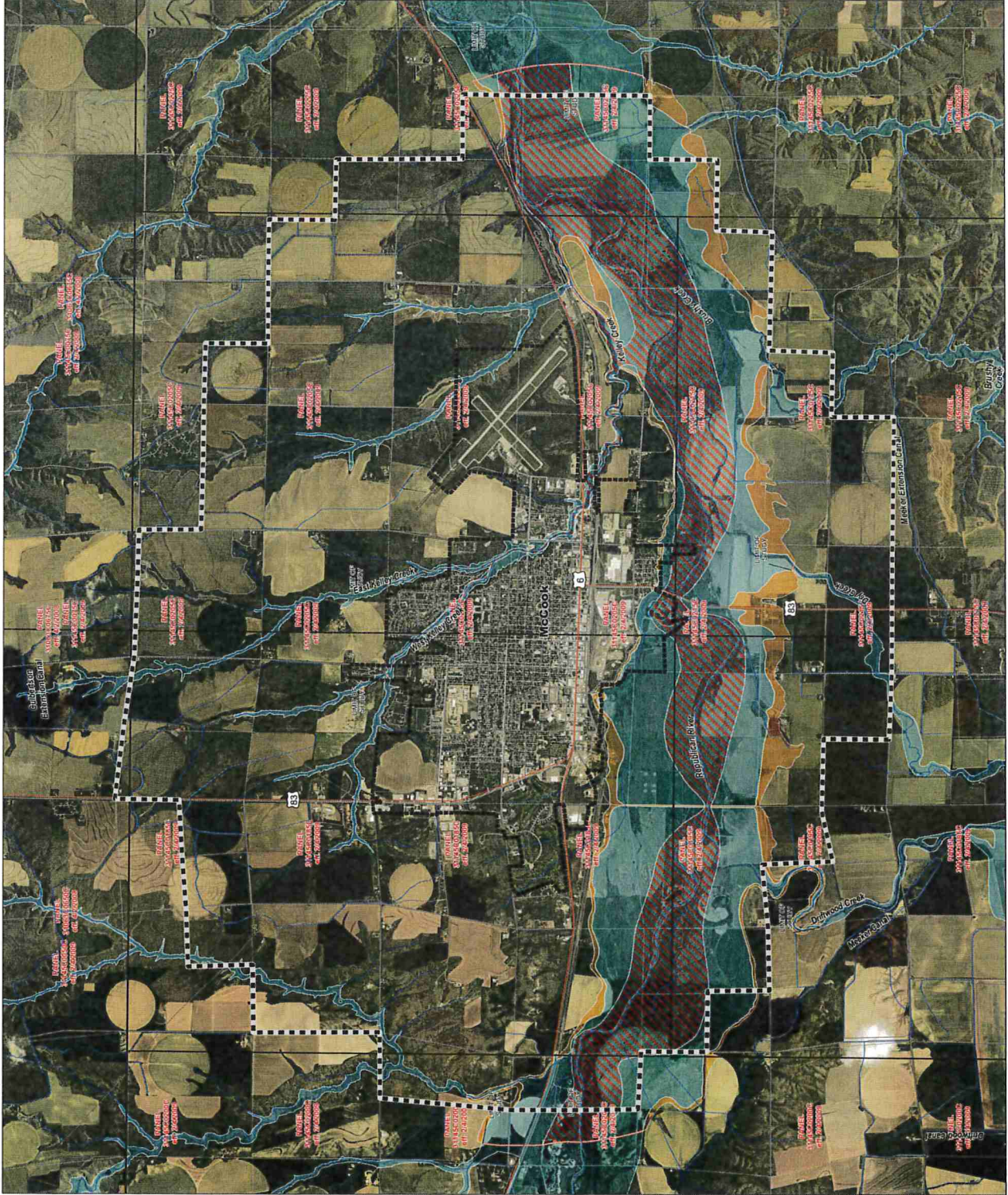
The Republican River is the major drainage system for much of southwest Nebraska. Starting in Colorado, the river flows through extreme northwest Kansas before it enters Nebraska and ultimately returns to Kansas—in total some 453 miles in length. In Nebraska, the Republican flows through eight counties—west to east they are Dundy, Hitchcock, Red Willow, Furnas, Harlan, Franklin, Webster, and Nuckolls—before it turns south into Kansas. In Red Willow County, the Republican flows across the county’s entire west to east extent roughly through the north-south middle of the county.

Located in close proximity to the Republican River, flooding has been and is a concern for McCook. Figure 3.8 indicate that Kelley Creek on the city’s east side and the Republican River to the south do pose flood concerns for the community. These concerns are issues to consider with future growth and development plans.

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LEGEND

- McCook ETJ
- McCook Corporate Boundary
- FIRM Panels
- Flood Hazard Boundaries
- Limit Lines
- NP
- SFHA / Flood Zone Boundary
- Flowage Easement Boundary
- Flood Hazard Zones
 - 1% Annual Chance Flood Hazard
 - Regulatory Floodway
 - Special Floodway
 - Area of Undetermined Flood Hazard
 - 0.2% Annual Chance Flood Hazard
 - Future Conditions 1% Annual Chance Flood Hazard
 - Area with Reduced Risk Due to Levee
 - Area with Risk Due to Levee

Figure 3.8
Floodplain Map
McCook, Nebraska

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1 Percent Annual Chance of Flooding

Commonly known as the 100-year floodplain, the 1 percent chance of annual flooding defines an area where there is a 1 percent chance of flooding to annually occur within the boundary.

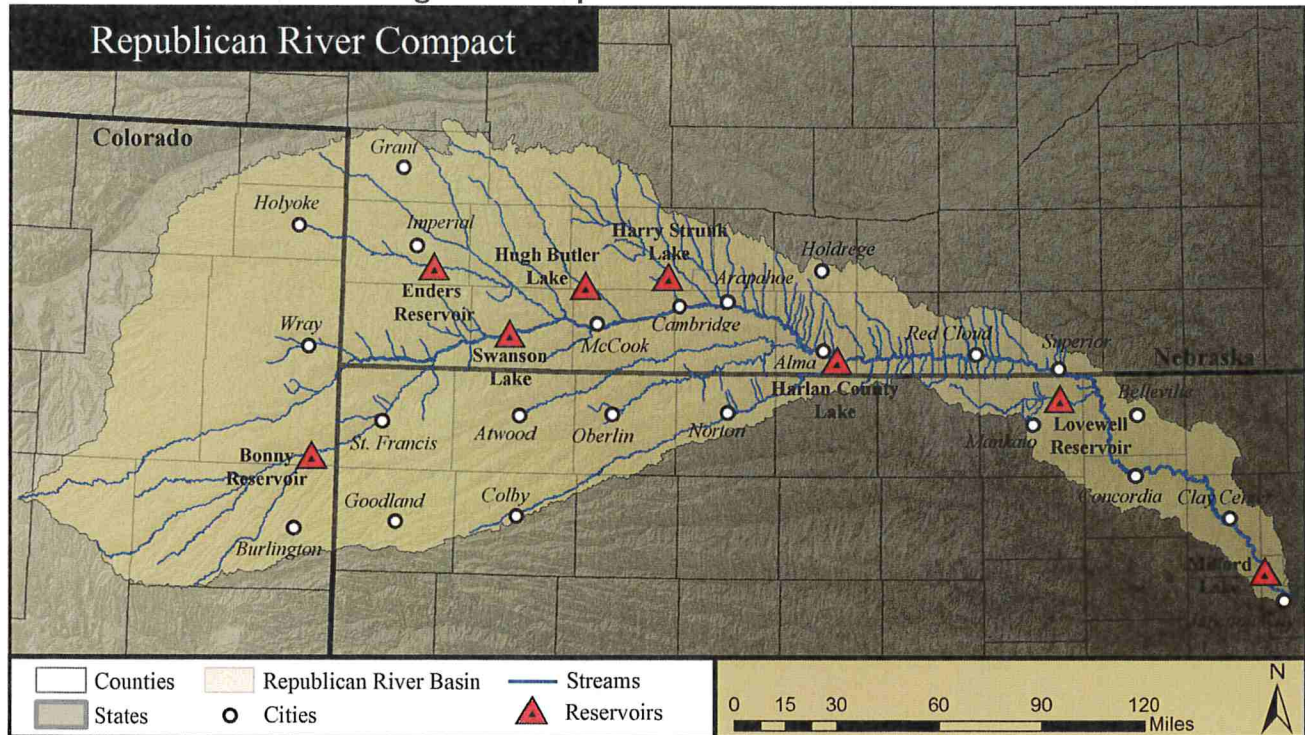
2 Percent Annual Chance of Flooding

The 2 percent chance of annual flooding is commonly known as the 500-year floodplain. There is a 2 percent chance of annual flooding in these areas but was not mapped by FEMA.

History of Flooding

McCook is adjacent to the Republican River—part of the Kansas River drainage system—which flows west to east across Red Willow County. Much of Red Willow County is non-irrigated grazing land but the Republican River valley utilizes water for agricultural endeavors. The Republican River basin begins in the plains of eastern Colorado and flows through northwest Kansas and southern Nebraska, ultimately returning to Kansas (Figure 3.9). The Republican River Compact was negotiated during the early 1940s with participation by the states of Colorado, Kansas, and Nebraska along with a representative of the President of the United States. The compact was formally signed in 1942 and its purposes are to provide for equitable division of such waters, remove all causes of controversy, promote interstate comity, promote joint action by the states and the United States in the efficient use of water the control of destructive floods, and provide for the most efficient use of waters in the Republican River basin. The distribution established in the 1940s set the following allocations: Nebraska 49 percent, Kansas 40 percent, and Colorado 11 percent. Since that time the states involved have continually contested consumption rates as water is critical for agriculture, recreation, and urban needs in the high plains of Colorado, Kansas, and Nebraska.

Figure 3.9: Republican River Watershed



Source: Nebraska Department of Natural Resources, Republican River Compact.

McCook Comprehensive Plan 2025-2035

Ironically, in the middle of the Dust Bowl one of the greatest flood events to strike Nebraska occurred along the Republican River in May of 1935. Toward the end of May torrential rains fell in eastern Colorado and southwestern Nebraska and by May 31 the river was running “bluff to bluff” (Figure 3.10). When the flood subsided, approximately 100 people had perished and devastation ran into the millions of dollars (Borchers 1983; Wilmot 1995).

Flooding to this extreme is indeed a rare event, yet flooding to a lesser degree is not a rare occurrence in southwest Nebraska and community leaders should be cognizant of this hazard. In May of 2023, for instance, McCook along with several other southwestern Nebraska communities experienced massive flooding following six to seven inches of rain in a short time (Olberding 2023). More recently, in September of 2025 over a six-hour span McCook received more than five inches of rain along with destructive hail that resulted in widespread flooding and storm damage (Larington 2025).

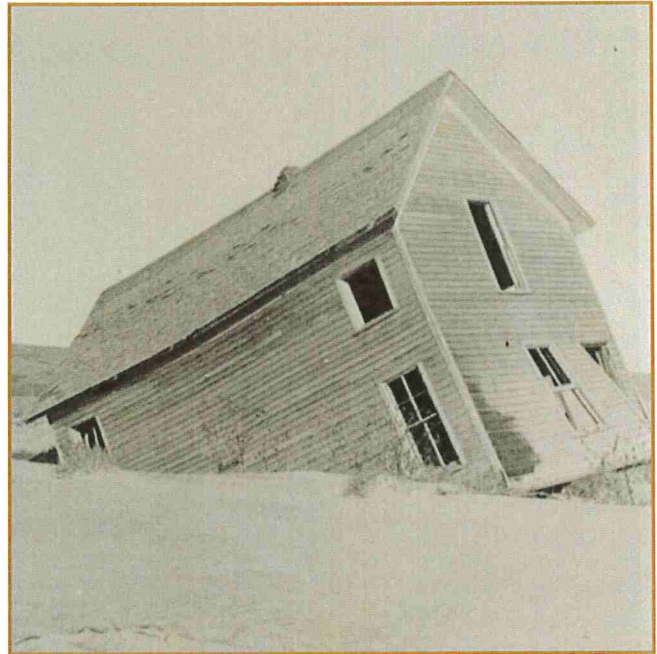


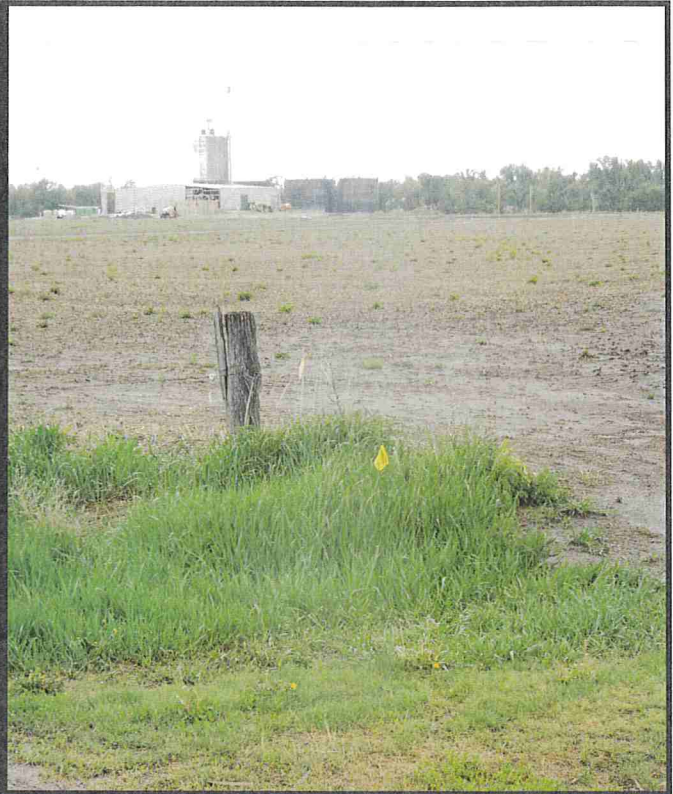
Figure 3.10: The Republican River Flood of May 31, 1935 washed this house about a quarter-mile downstream (Stubbs 2016).



CHAPTER

4

LAND USE AND ANNEXATION



This section examines McCook's land uses and provides a vision with possibilities and options for future development and growth. Discussions of existing and future land use plans are a good barometer of the community's overall health. This section also evaluates McCook's existing and future land use plans along with annexation plans.

With that in mind, this section focuses on the following components

- Land Use
- Annexation





Land Use

Land use is a critical aspect in the comprehensive plan process which allows community members an opportunity to visualize existing land uses and discuss how and where McCook might grow and should grow. Land use planning is an important process that allows community leaders and residents to assess physical, social, and economic factors in a way to not only discuss growth opportunities but to also mitigate potential pitfalls moving forward.

- If a housing development takes place in this area, how does that impact traffic patterns?
- Are there environmental concerns associated with new development?
- Possibly public safety concerns?

Those questions highlight the importance of planning and developing a comprehensive plan that guides and shapes projects which is imperative to balance activities in a community.

Existing Land Use

The land use portion of the comprehensive plan consists of two separate but related sections. The existing land use section evaluates pros and cons of McCook's existing land uses and development patterns (Figure 4.1a). McCook has several primary land uses—commercial, agricultural/vacant, public/quasi-public, and residential—dictated to some degree by transportation options and zoning regulations.

Many commercial properties are adjacent to Highways 6/34 and Highway 83 as well as the downtown district, much in part to visibility and accessibility. Communities typically have zoning regulations for a Highway Corridor Commercial District and the Central Commercial District. Similar to other communities, McCook has these districts within its current zoning regulations. Different setback and parking requirements, height restrictions, and aesthetic concerns typically necessitate the need for different commercial districts.

The primary land use in McCook is residential which can be found throughout the community. New residential properties in McCook are vital but should complement existing land uses. Single-family residential is the most common, however, there are multi-family units as well. McCook's extraterritorial jurisdiction (ETJ) also has residential structures—farm homes and/or single-family structures on large lots—which are attractive and provide easy access to McCook's amenities.

Recreational space in McCook includes the municipal swimming pool, ball fields, basketball and tennis courts, playground equipment, and picnic shelters (Figure 4.1a). These opportunities provide amenities for a wide range of the community's residents and provide an important quality of life aspect to McCook's landscape.

Public/quasi-public land uses in McCook include churches, municipal properties, school buildings, healthcare facilities, museums, and community buildings (Figure 4.1a). These dispersed public areas provide a foundational land use for the community. Moving forward public land is imperative as McCook considers the role of public space and its connection to quality of life issues.

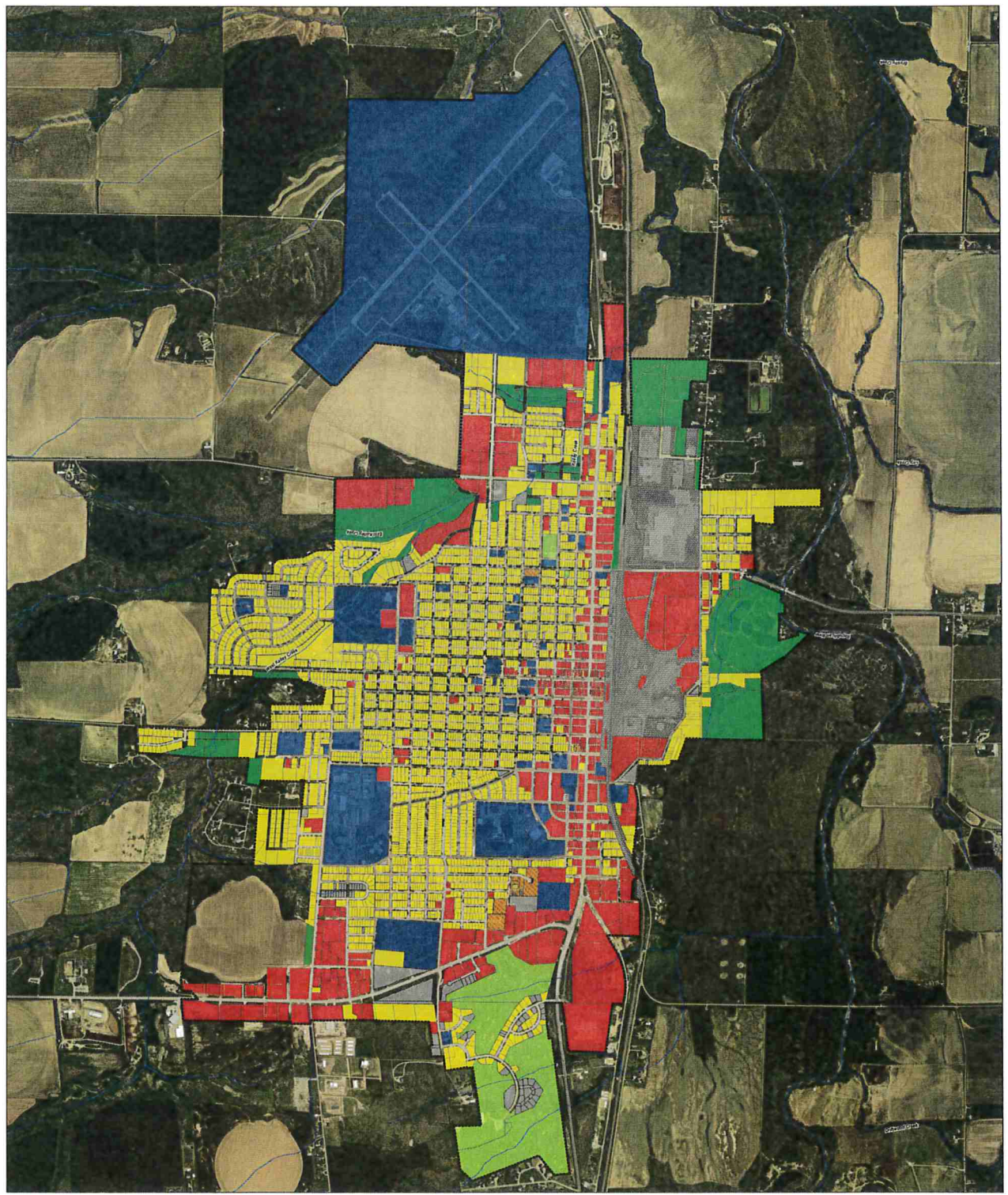
McCook's developed territory is surrounded by agricultural/vacant land, some in the corporate limits other tracts in the ETJ (Figure 4.1b). Several of the tracts would be difficult to develop due to physical science issues but should be considered greenspace or buffer tracts between the community and activities outside the corporate limits. These areas also provide buffer zones between competing land uses—commercial and residential, for instance.

Existing land uses have been analyzed and it is important to note that McCook is growing, with pockets of development throughout the community. Proactive city leaders over the years utilized the planning process to push the community forward, those in leadership positions should do the same and lean on the comprehensive plan to provide a broad roadmap to the future.

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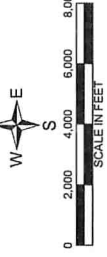
LEGEND

- McCook Corporate Boundary
- Existing Land Use**
- Single-Family Residential
- Multi-Family Residential
- Commercial
- Light Industrial
- Public/Quasi-Public
- Agricultural/Greenspace
- Recreational
- Vacant

Figure 4.1a
Existing Land Use
McCook, Nebraska

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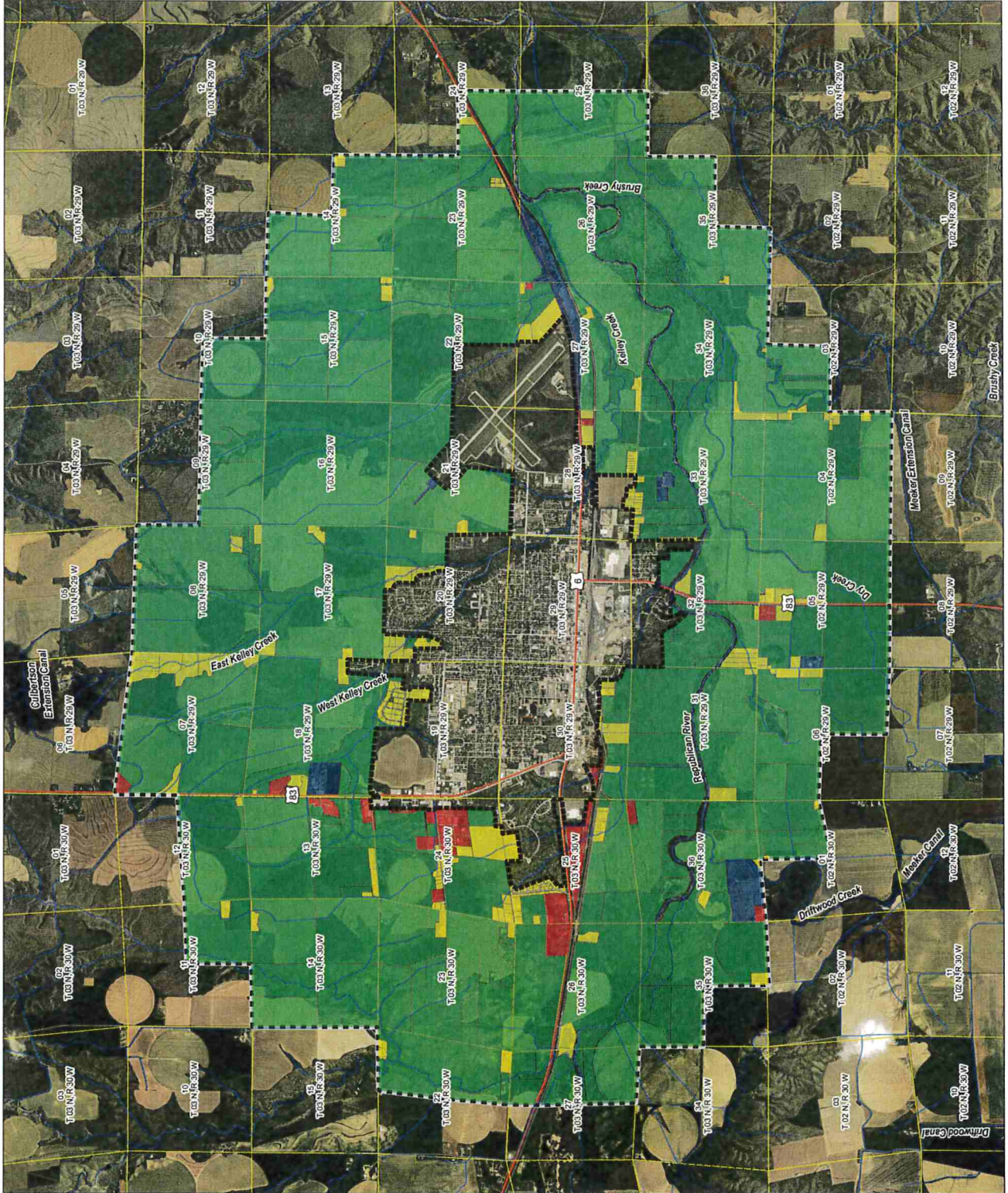
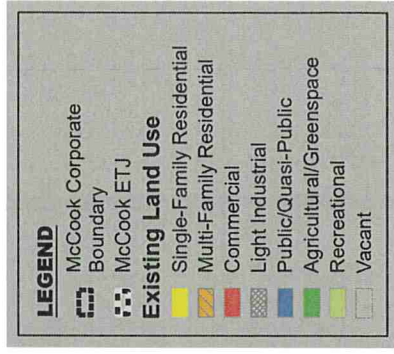


Figure 4.1b
Existing Land Use ETJ
McCook, Nebraska

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Future Land Use and Planning

Planning for future land use options is an essential step in McCook's Comprehensive Plan. The purpose of this section is to provide a general guide for future changes in development patterns with the underlying goal of avoiding or minimizing conflicts between land use and the environment. The future land use plan must reflect existing land uses while being flexible to adapt as the community changes as it moves forward.

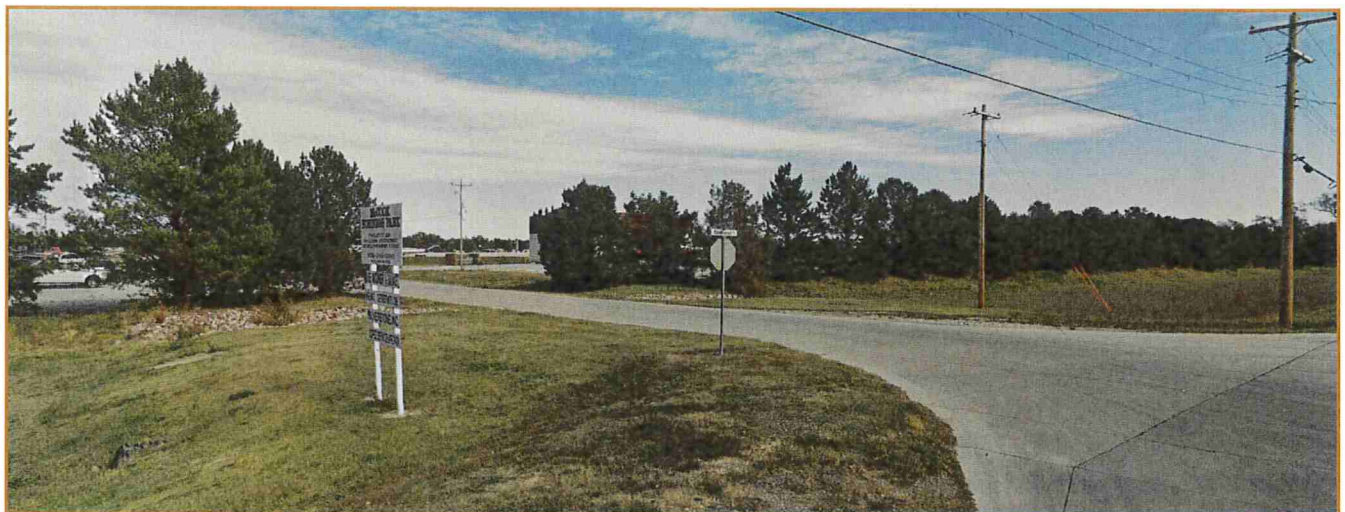
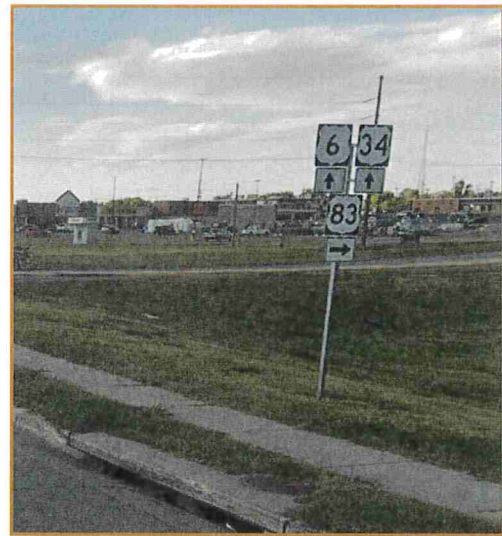
As a component of the planning process, a series of public input meetings was held and a public input survey was shared with residents. Community involvement was, and is, essential to capture the public's input and plan for future land use. The future land use plan gathered information from the public as well as existing land use and data from primary and secondary sources.

A Future Land Use Plan is a vision of how residents see the community moving forward. This vision is a model, providing guidance and continually evolving. To prepare and plan, McCook's decision-makers and community leaders need to be ambitious yet remain realistic. Types of land use vary within the community incorporating a balance of activities—residential, commercial, and public space. With that, housing options also vary based on location, size, and price and serve to attract a wide range of constituents. Commercial development should be encouraged which will attract new residents and retain McCook's current population all while strengthening the tax base.

During public input sessions and community surveys, when future development ideas were discussed participants were encouraged to “think outside the box” and “dream big” when considering future growth and development in McCook. From the discussions several themes appeared (Figure 4.2a).

Commercial and Industrial Development

Future commercial development along Highway 83 to the north is reasonable as well as commercial development along Highway 6 in southwest McCook. As noted one prime area near the junction of Highway 6 and Highway 83 is the former McCook landfill which hampers future development. On McCook's east side commercial development is somewhat limited due to the presence of the airport and Karrer Park adjacent to Highways 6/34. Most agree that continued industrial expansion in southeast McCook along Ravenswood Road is a priority. With highway and rail spur expansion possible, continued or future industrial development—often supported by TIF funding—is logical.



Residential Development

Residential comprises the largest land use in McCook, yet the creation of new housing is critical—both single-family residential and multiple family units. During public input sessions and community surveys, housing was identified as a critical issue for McCook to address. Despite some tracts being confronted with floodplain and/or steep terrain, McCook does fortunately have several areas adjacent to developed sections that lend themselves to residential growth. North of McCook’s Community Hospital (east of 11th Street and north of East J Street) is a tract, for example, ready to develop as well as areas north of the existing corporate limits between Road 385 and Road 386 (Figures 4.2b). The continuation of residential developments on McCook’s north/northwest side (north of Q street) and along West 3rd Street that utilize existing infrastructure—or have access for the extension of utilities—makes sense as well.

These areas were identified during public input sessions and along with utilities allow for easy connections to the existing street pattern in McCook. Community leaders also pointed to an area north of West Q Street adjacent to commercial properties along Highway 83 as an area to potentially develop as residential as well as an area west of commercial development along north Highway 83 as potential residential growth. Land south of the Republican River was also identified as an area to possibly develop as residential-although floodplain issues are concerns.

Infill lots throughout McCook are a viable option, providing easy access to utilities along with the potential to rejuvenate traditional neighborhoods. Independent of where, either single-family or multiple-family units must be accessible. Promoting accessibility and incorporating greenspace into developments creates a sense of place and space that is important for long-term sustainable growth.

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LEGEND

- McCook ETJ
- McCook Corporate Boundary
- Future Land Use**
- Single-Family Residential
- Multi-Family Residential
- Commercial
- Light Industrial
- Public/Quasi-Public
- Agricultural/Greenspace
- Recreational
- Vacant
- Potential Hike Bike Trail

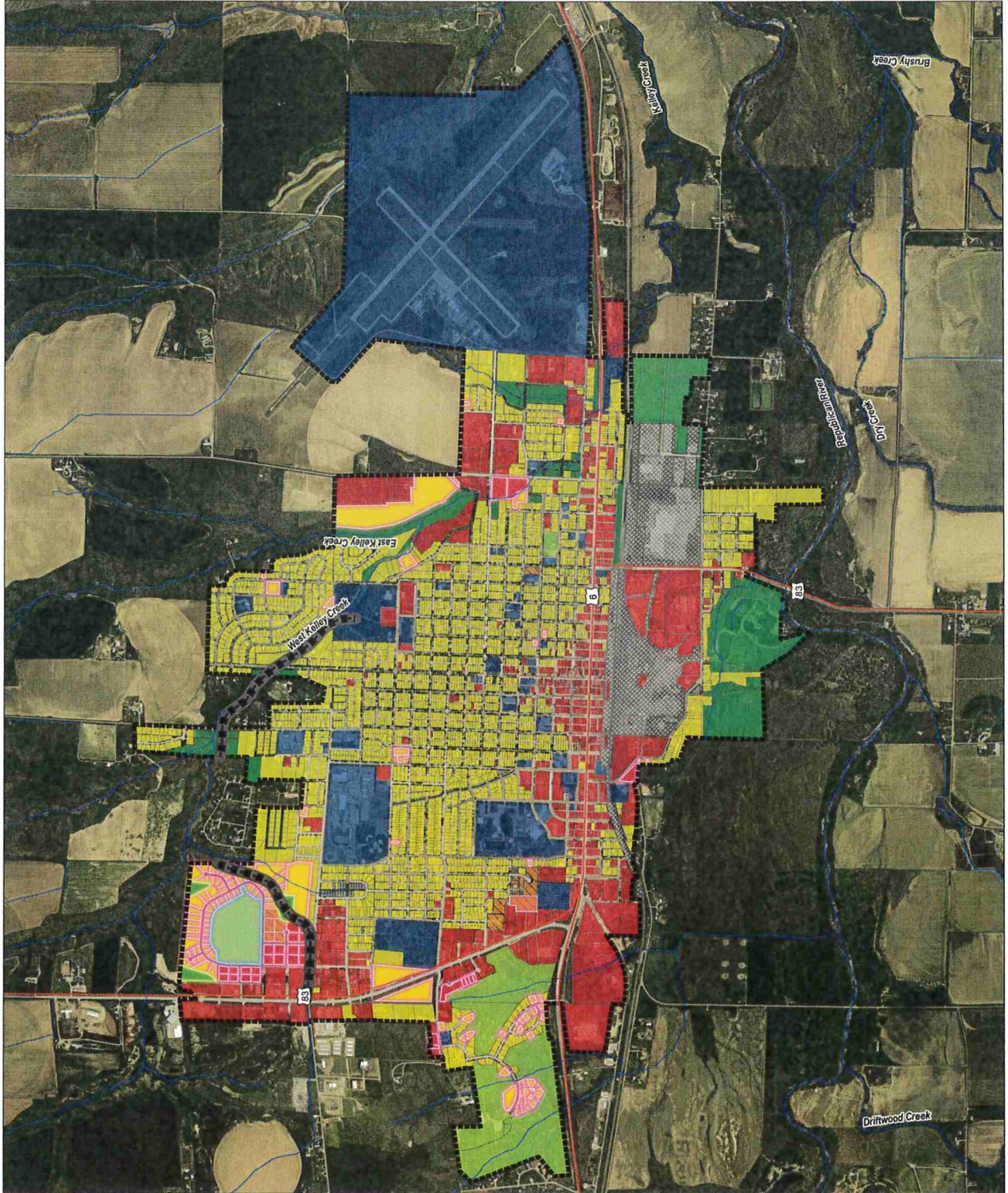


Figure 4.2a
Future Land Use
McCook, Nebraska

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LEGEND

- McCook Corporate Boundary
- McCook ETJ
- Future Land Use**
- Single-Family Residential
- Multi-Family Residential
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- Public/Quasi-Public
- Agricultural/Greenspace
- Recreational
- Vacant
- Potential Hike Bike Trail

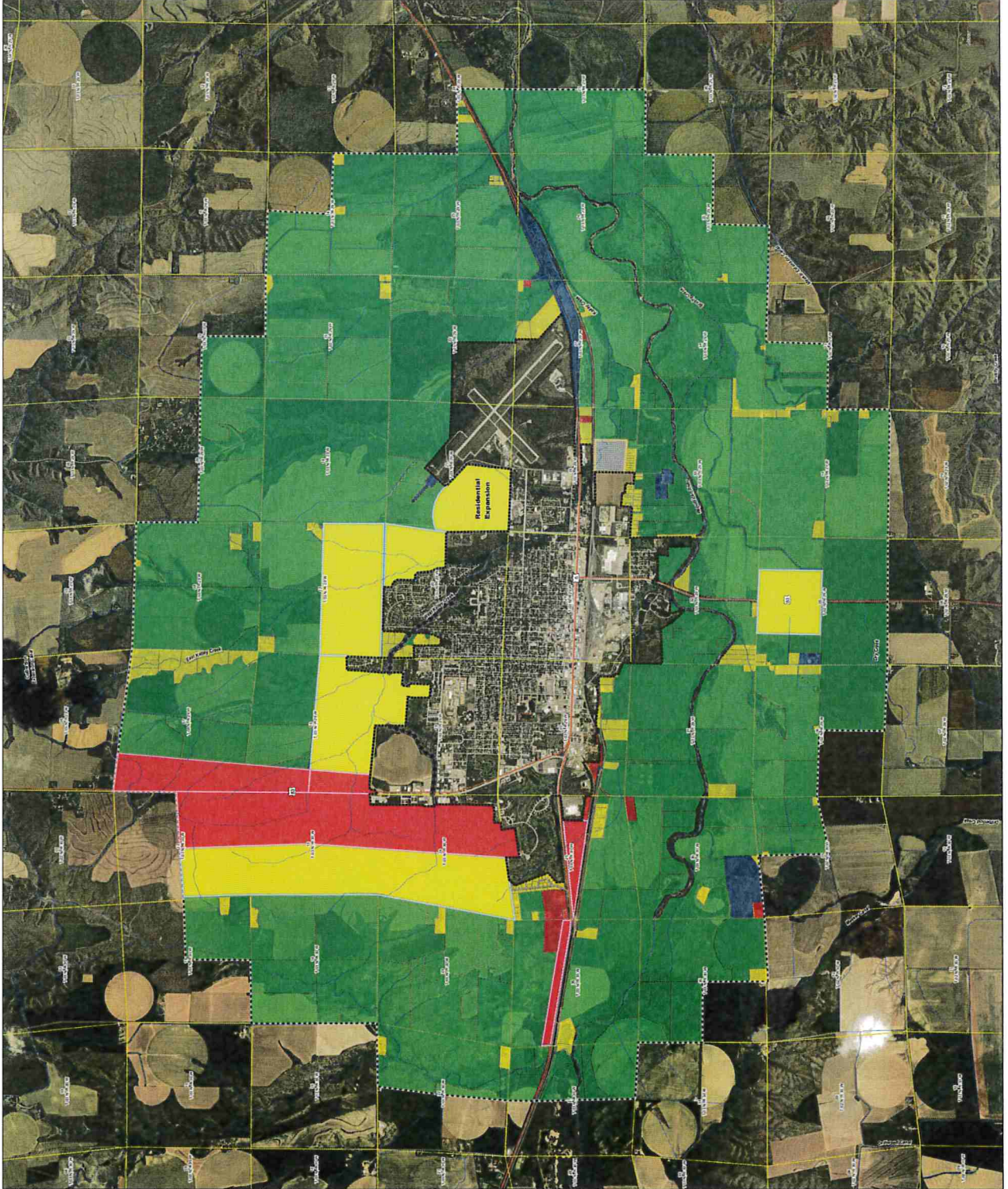


Figure 4.2b
Future Land Use ETJ
McCook, Nebraska

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Community Development Law

In regard to development, Nebraska communities have a number of tools at their disposal. One of which is tax increment financing, or TIF. To utilize TIF, blight and substandard areas must be confirmed and designated within a community, and the *Nebraska Community Development Law* provides legal parameters to follow. Under the law, a first class city (more than 5,000 residents and fewer than 100,000) may designate up to 35 percent of its area as blighted. A second class city may designate up to 50 percent of its area as blighted and substandard and a Village may “blight” its entire area within the corporate limits.

A blighted area is defined (*Nebraska Revised Statute §18-2103 (3)*) as having one or more of the following criteria: the presence of a substantial number of deteriorated or deteriorating structures; existence of defective or inadequate street layout; faulty lot layout in relation to size, adequacy, accessibility, or usefulness; unsanitary or unsafe conditions; deterioration of site or other improvements; diversity of ownership; tax or special assessment delinquency exceeding the fair value of the land; defective or unusual conditions of title; improper subdivision or obsolete platting; existence of conditions which endanger life or property, by fire and other causes; or any combination of such factors. These blighted criteria may substantially impair or arrest the sound growth of the community, slow the provision of housing accommodations, or constitute an economic or social liability, and be detrimental to the public health, safety, morals, or welfare.

Conditions that reflect these criteria are the average age of the residential or commercial units in the area is at least forty years; more than half of the platted and subdivided property in an area is unimproved land that has been within the city for forty years and has remained unimproved during that time; the per capita income of the study or designated blighted area is lower than the average per capita income of the city in which the area is designated, or the area had a stable or declining population based on the last two decennial censuses. A blight and substandard evaluation include an exterior survey of structures and parcels/lots within the study area, a land use inventory, a field investigation, and analysis of pertinent documents and data, which potentially validate the existence of blight conditions.

As defined in *Nebraska Revised Statute §18-2103 (31)* a substandard area has a predominance of deteriorated or dilapidated buildings or improvements, whether nonresidential or residential in character, as a result of age or obsolescence; inadequate provision for ventilation, light, air, sanitation, or open spaces; and high density of population and overcrowding. As a result, the substandard area is conducive to ill health, the transmission of disease, infant mortality, juvenile delinquency, crime, and detrimental to public health, safety, morals, and/or welfare.

The presence of one or more of these blighted and substandard conditions may make it fitting to declare an area substandard or blighted under State Statute. As part of the *Nebraska Community Development Law, Nebraska Revised Statute §§18-2101 to 18-2155* a determination shall be made that the conditions existing in any such blighted and substandard area are beyond remedy and control solely by the regulatory process in the exercise of police power and cannot be dealt with effectively by ordinary operations of private enterprises without aid provided under the *Nebraska Community Development Law*. This analysis was conducted because additional public intervention, over and above the exercise of police power, is needed to overcome the existing conditions in the Blighted and Substandard Study Area.

McCook, Nebraska, is a first class city and, as such, may designate up to 35 percent of its corporate boundaries as blighted and substandard. McCook currently has 29.1 percent of the area within its corporate boundaries designated as blighted (McCook’s total area is 3,672.65 acres, and the blighted area within those limits is 1,067.40) (Figure 4.3). Blighted and substandard conditions indicate that McCook, Nebraska can and should encourage long-term improvements via TIF. Improvements and conditions can also be accomplished through applications of zoning regulations, nuisance abatement, infrastructure improvements, pedestrian accessibility improvements, dilapidated building demolition, rehabilitation, and debris removal. Increasing taxes or assessments, however, to achieve these goals might be problematic for area residents.

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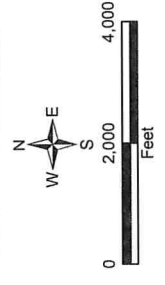
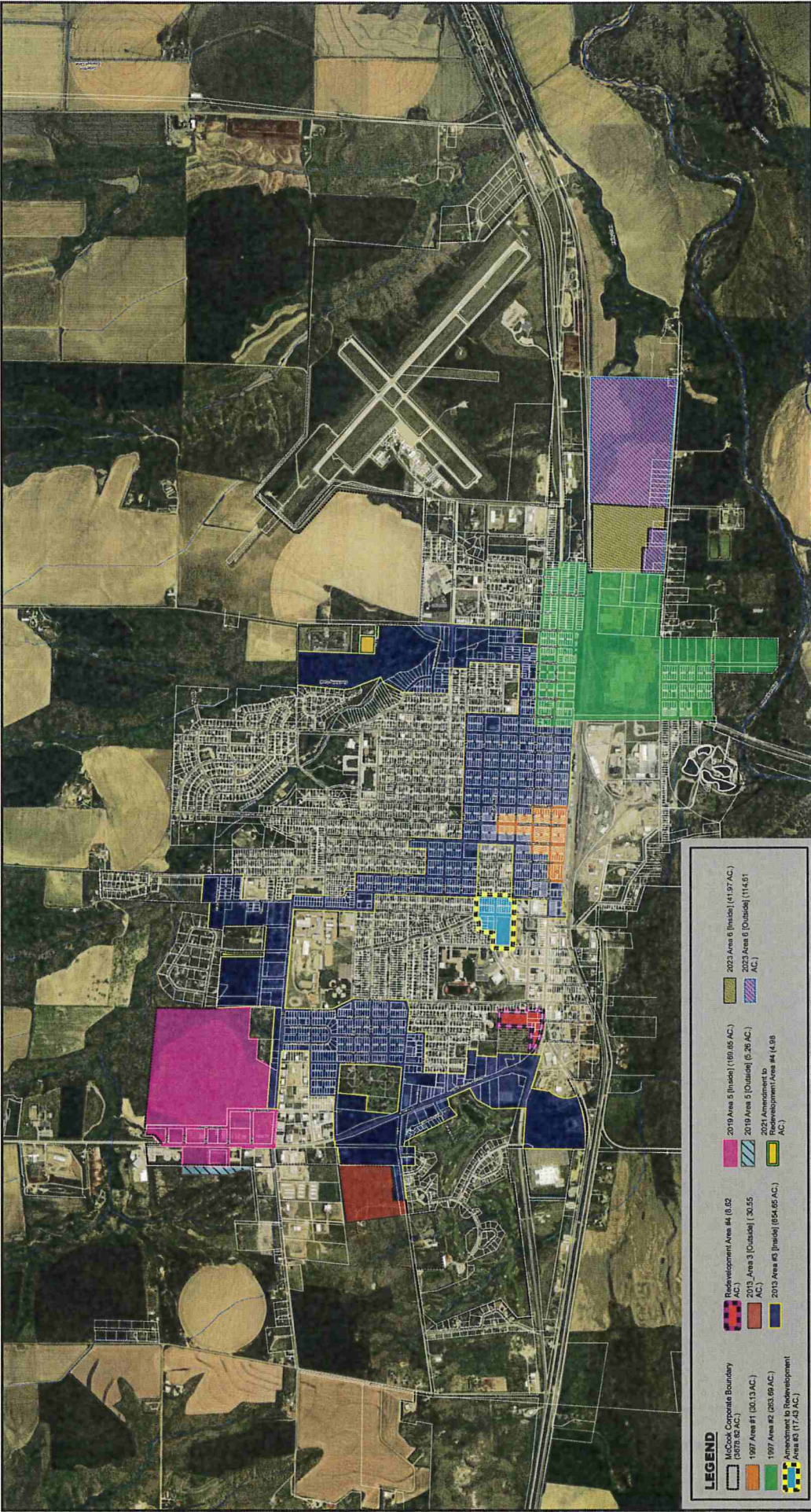


Figure 4.3
Overall Blight Map
 McCook, Nebraska

LEGEND

McCook Corporate Boundary (3079.82 AC.)	2022 Area 6 (Includes) [41.97 AC.]
1997 Area #1 (20.13 AC.)	2019 Area 5 (Includes) [101.06 AC.]
1997 Area #2 (203.69 AC.)	2019 Area 5 (Outside) [6.26 AC.]
Amendment to Redevelopment Area #5 (17.43 AC.)	2024 Amendment to Redevelopment Area #4 (4.98 AC.)
Redevelopment Area #4 (8.62 AC.)	2019 Area #3 (Outside) [30.55 AC.]
2019 Area #3 (Outside) [30.55 AC.]	2019 Area #3 (Includes) [8.84.05 AC.]
2024 Amendment to Redevelopment Area #4 (4.98 AC.)	2022 Area 6 (Outside) [114.51 AC.]

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Annexation Plan

In simple terms annexation is the addition of territory to a unit of government, usually in terms of a city adding adjacent land to accommodate expansion (Pacione 2009). Why do this, why annex additional land? Political reach is a consideration as a community extends control over a larger area as is increasing the tax base (Kaplan *et al.* 2004). Done correctly, an annexation plan should create opportunities for new development and help facilitate future land use plans outlined in this document.

To create opportunities for new development, there needs to be a plan in place to reserve land necessary to accomplish the community's goals. This plan—similar to the future land use plan—is a guide or tool for the city to utilize when discussing future growth and development opportunities. This annexation plan is not law, annexation should follow local regulations and state statutes while at the same time follow McCook's development needs and goals.

Benefits of Annexation

Annexation is beneficial in that it allows a community to consider future growth and development opportunities. Land along the highway corridor, for instance, is prime real estate for commercial and industrial development. Many proposals look for incentives and forward-thinking communities offer packages that often include tax increment financing as an incentive, but the development must be within the community's corporate limits. Another facet of annexation is considering those who live adjacent to the community and utilize public services yet they do not contribute to the tax base that supports the community's parks, streets, public facilities, programs, and utilities. Planning for annexation also eases the potential confusion between the community and county. Establishing an orderly and logical expansion plan is essential and allows community leaders to plan for future public infrastructure needs.

Planning for growth is important for the community as well as the land adjacent to the corporate limits. Finding a balance between development and existing land use requires time and planning. Infill development, where appropriate, should be promoted which addresses "sprawl" concerns and protects surrounding agricultural and vacant land. Through annexation, McCook can extend its zoning jurisdiction and guide development to provide a safe and healthy environment for all residents and businesses throughout the community.

Having a plan in place allows for planning directives to logically work through development which requires infrastructure and benefits both McCook and Red Willow County. Finding a balance between development and existing land use requires both time and planning. Where appropriate, infill development—which takes advantage of existing infrastructure in many cases—should be promoted.

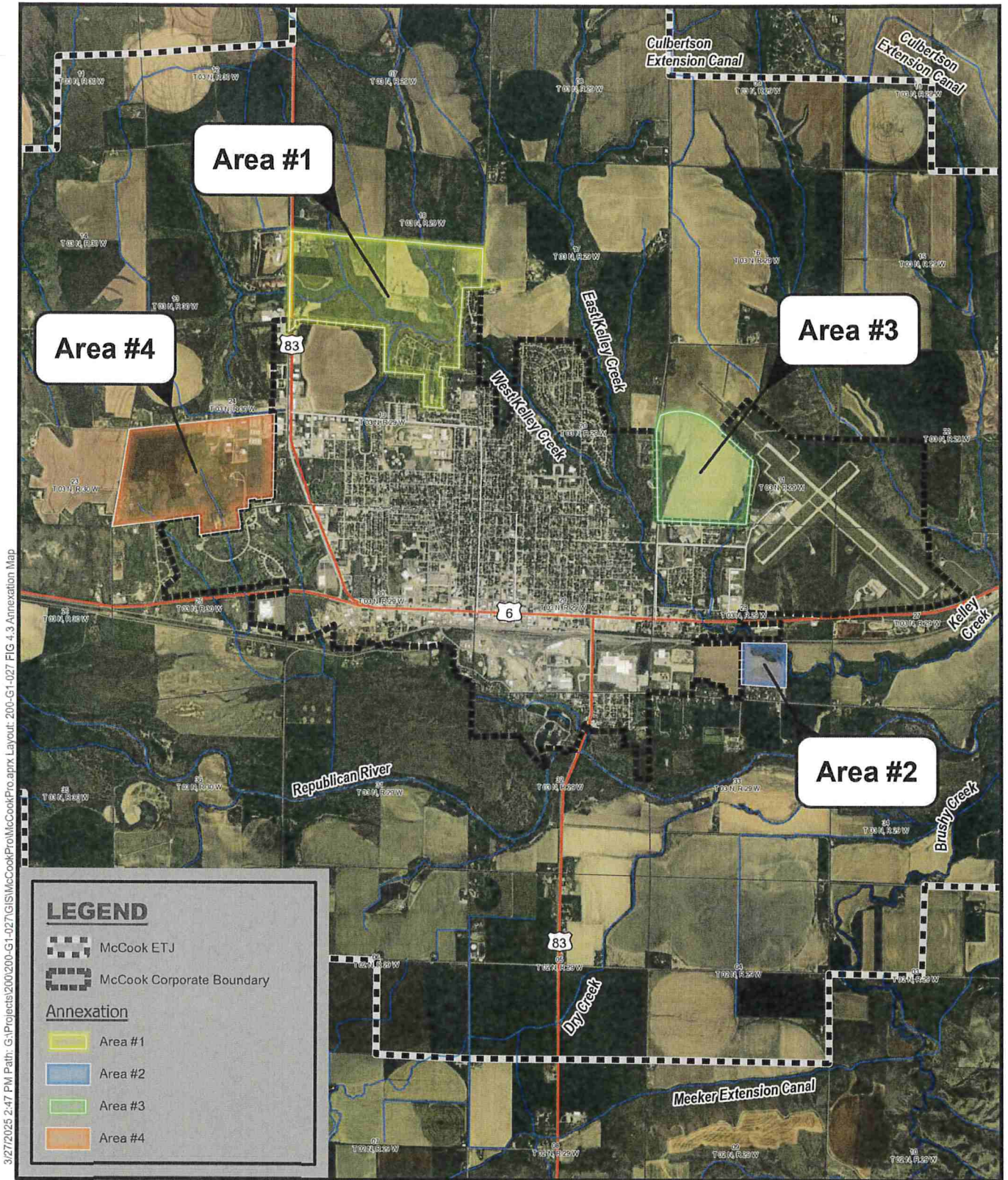
Annexation Phases

Annexation should follow the guidelines set forth by Nebraska State Statutes §19-3052. McCook has a number of options considering proposed annexation, ranging in land use from commercial and recreational to residential. All four areas are north of Highways 6/34—parcels on McCook’s south side pose annexation/development challenges as they sit adjacent to the Republican River floodplain (Figure 4.4). One obvious area (two quarter sections) of interest is north of Q Street, just east of Highway 83. In recent years, McCook has justifiably been growing in that direction. Connections to transportation options are obvious as extending several existing streets to the north (W. 17th Street, W. 10th Street, and Missouri Avenue, for instance), east to west (W. R Street), and having linkages to Highway 83 provides access to these parcels. Utility infrastructure is already developed (sanitary sewer, for example) and efficient gravity flow to the south/southeast is already in place. This expanse presents commercial opportunities, residential opportunities, and recreational opportunities.

The next annexation consideration is just east of McCook’s Business Park and adjacent to the rail line. McCook is currently developing Business Park Phase II along Ravenswood Road and Industrial Park Drive which is adjacent to the Burlington Northern Railroad. Much of the necessary infrastructure is either in place or could be easily extended that makes this area an excellent option for future annexation and industrial development.

The third annexation area to consider is between E. 11th Street and Drive 387 just west of the airport. The area is north of J Street and has access to existing water and sewer lines that could be easily extended to provide basic services. Adjacent to McCook’s Community Hospital, the area would accommodate residential development and/or a mix of residential and commercial growth (medical clinics and facilities, for instance). All three of these areas have development potential that taps into existing or easily extended infrastructure and McCook’s existing street patterns.

The fourth and final area to consider is just north of West J Street, west of Highway 83. Development of the area just north of the Heritage Hills Golf Course is a logical area to develop. Further improvements to J Street and Road 383 to the west, would provide better access to this area.



3/27/2025 2:47 PM Path: G:\Projects\200-0-0-027\GIS\McCook\Pro\McCook\Pro.aprx Layout: 200-G1-027 FIG 4.3 Annexation Map

3/27/2025
 Prepared By:
MA
Miller & Associates
 CONSULTING ENGINEERS, P.C.
 Kearney, NE – (308) 234-6456

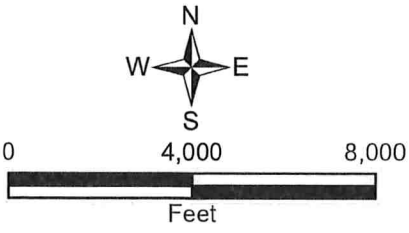


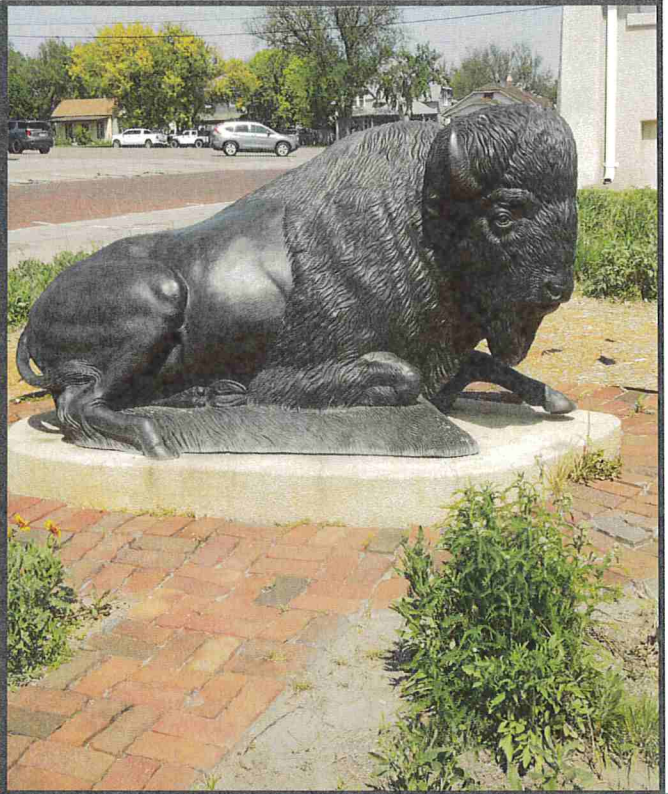
Figure 4.4
Annexation Map
 McCook, Nebraska

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CHAPTER

5

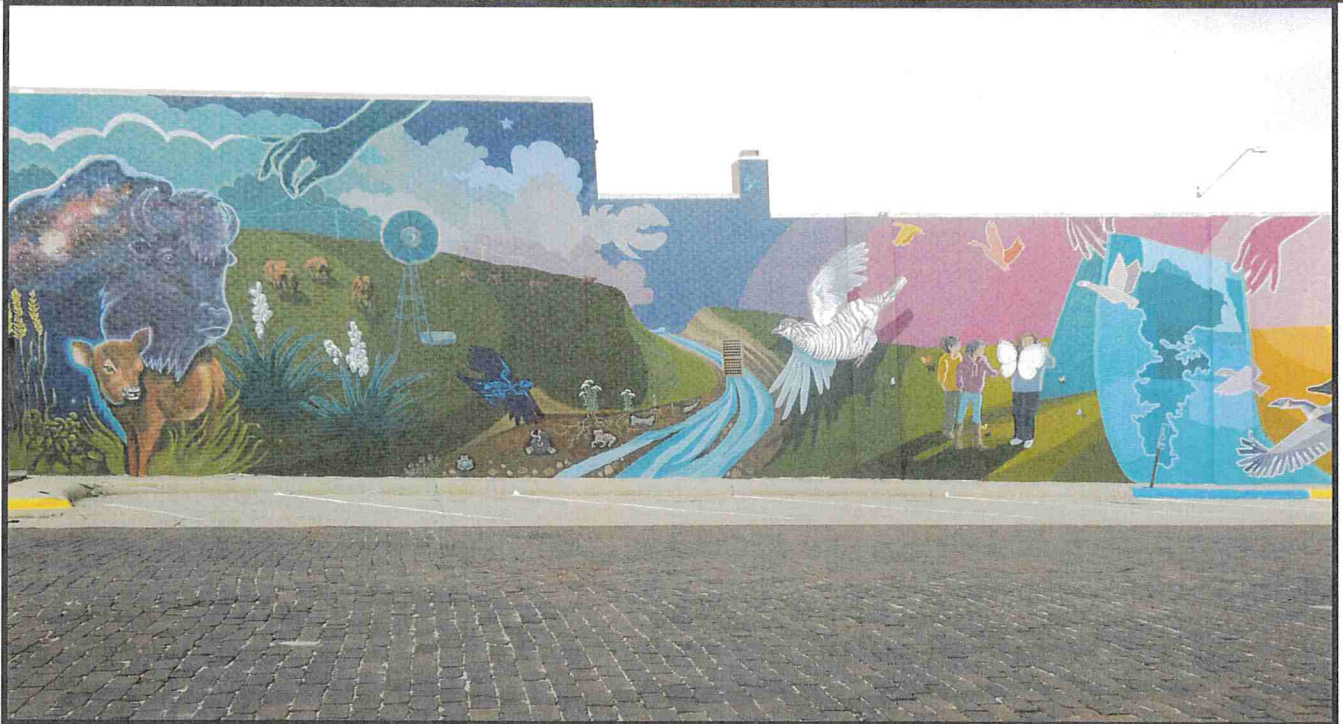
PUBLIC INPUT AND GOALS



This is the “action” section of McCook’s Comprehensive Plan. This section outlines the guidelines, regulations, and future practices with the purpose of helping decision-makers implement the actions and visions presented in this plan that align with the community’s goals.

This section covers the following components:

- Public Input
- Goals



Public Input

Public input is the backbone of any successful comprehensive plan. It provides residents and stakeholders with the opportunity to share their hopes and concerns as they consider what is next. This section is the place to share ideas and possible guidelines for development and growth in McCook. These goals are a combination of information gathered from the public input sessions and data analysis and are realistic but do allow the community to develop new initiatives as they look to the future.

Public Input Sessions

The City of McCook hosted a series of public input sessions. The Kick-Off meeting (June 27, 2023) included a discussion of the overall comprehensive plan project along with the presentation of McCook’s demographic profile. The second meeting held November 7, 2023 examined public survey results and explained the SWOT analysis. The third public input meeting took place on February 20, 2024 and evaluated results from the SWOT analysis in addition to providing a discussion of both existing land use and future land use along with zoning regulations. McCook’s final public input meeting was held on February 27, 2025.



Public Input Survey

Perhaps it is best to start by answering the question, what is a survey? Simply put, a survey is one way to gather data and information to capture the public’s thoughts and goals (Clegg 1983; Secor 2010). Montello and Sutton (2006, 82) contend that “surveys require respondents to answer questions about their opinions, attitudes, or preferences. They can also ask questions about activities or demographics.” Secor (2010, 196) adds that surveys “allow researchers to gather information about a population” and answer “questions about the distribution of characteristics within a population and across particular sites or population subgroups.”

Decades ago face-to-face surveys were more commonplace, now with advancements in technology more options exist. Even though more survey techniques are now available, response rates have declined in recent decades (Tourangeau and Plewes 2013). For many, one primary concern is distrust (other factors that often lead to low response rates are areas with large numbers of “single-parent households, families with young children, workers with long commutes, and high crime rates” (Tourangeau and Plewes 2013, 7).

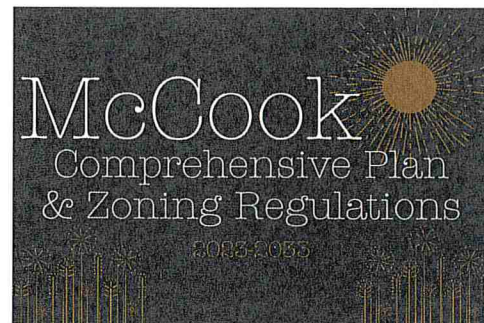
McCook Public Input Survey

To create more trust in the process, the McCook Steering Committee felt it was important that the survey was supported by community leaders. Community leaders were then charged with promoting the survey, both in person and on social media—the Community Hospital in McCook as well as the public schools also promoted the survey. The City of McCook also included a postcard flier advertising the community survey in monthly utility bills. Surveys were then available in traditional paper format (which normally generates different responses in comparison to telephone or face-to-face surveys) at all city locations open to the public as well as an online option (direct mail surveys tend to have extremely low response rates and are expensive to conduct). The on-line option was managed by Miller & Associates as part of the larger comprehensive plan project.

The “McCook” survey may be labeled as a random survey, in that every member of the entire community had an equal chance of completing the survey (it also eliminates the potential bias of cluster area sampling) (Leisher 2014). Most questions allowed participants to “rank or order” choices, others were “open ended” meaning that choices were not provided on the survey which encouraged respondents to provide answers. Confidentiality was, and is, also a survey concern. In this case no personal information (names or addresses) was captured. Finally, survey length was also a consideration. There is an inverse relationship associated with survey length. Surveys with fewer questions tend to have higher response rates and as response rates increase so does accuracy (Tourangeau and Plewes 2013).

The McCook survey was made public from August 21, 2023 to September 30, 2023 and had a total of 529 responses. The survey itself contains thirty questions, divided into eight sections.

WE WANT TO HEAR FROM YOU!



The City of McCook is seeking residents’ feedback about the community and visions for future development. As part of the Comprehensive Plan Update, the information gathered will help decision-makers prioritize improvements in the community for the next ten years.

Your answers are confidential. The survey results will be available only as a community-wide percentage. Hard copies of the survey are also available at the McCook City Hall.

<https://shout.com/s/nhgvqpr2>



Please complete the survey by September 30th, 2023.

McCook Comprehensive Plan 2025-2035

The first section contains six questions that have several secondary questions. These general questions focused on McCook's community facilities, connectivity, the downtown district, economy, housing, and infrastructure. The second section focuses on the economy with four more questions, three of which are more open-ended. Section 3 deals with housing and contains two questions, one of which is open-ended. The fourth section pertains to childcare with three questions. Telecommunications occupies the fifth section with two questions. Section 6 deals with education and has five questions. The penultimate section relates to tourism with four questions and the final section captures basic demographic information about those who provided responses to the survey.

Section 1 contains six questions, which all have sub-questions to provide further insights. Overall responses to Question 1 demonstrated that a majority of respondents were either "Satisfied" (43.8 percent) or "Very Satisfied" (33.5 percent) with McCook's community facilities and services. "City Government" received high ranks as did "Fire Protection" and "Healthcare." Several did express concerns about "City Government" as well as "Parks & Recreation."

For Question 2, the overall majority were "Satisfied" (52.9 percent) and another 16.4 percent selected "Very Satisfied" with McCook's connectivity. "Vehicular Accessibility" and "Wayfinding to Landmarks" both captured several "Very Satisfied" responses for connectivity. Of those who were "Unsatisfied," "Hike/Bike Trails" and "Gateway Entrances" were the two top choices in that category.

Question 3 related to the downtown district, just over 60 percent selected "Satisfied" or "Very Satisfied," with "Aesthetics/Beautification" and "Lighting/Signage" receiving high remarks. It is important to note that just shy of 40 percent were either "Unsatisfied" or "Very Unsatisfied" with McCook's downtown district, pointing to a lack of restaurant, retail store, and entertainment options.

Question 4 regarding McCook's economy revealed a split in the responses—53.5 percent on the satisfied side in contrast to 46.6 percent on the unsatisfied side. For those "Satisfied," many pointed to the overall economy along with "Business Support & Retention." In the "Unsatisfied" camp, a large number indicated concerns related to "Job Opportunities" and "Youth Retention."

McCook's housing market (Question 5) appears to be one of the biggest areas of concern. Just 28.8 percent of respondents selected "Satisfied" or "Very Satisfied" while 71.2 percent selected either "Unsatisfied" or "Very Unsatisfied." Examining the extremes paints a more bleak picture—only 4.4 percent responded "Very Satisfied" to McCook's housing market while 32.0 percent were in the "Very Unsatisfied" column. Many who are not satisfied pointed to a lack of housing to either rent or purchase. The final broad question (Question 6) dealt with McCook's infrastructure and again a nearly even split was found—52.5 percent were either "Satisfied" or "Very Satisfied" with 47.6 percent in the "Unsatisfied" or "Very Unsatisfied" categories. Those who were satisfied pointed to "Stormwater Drainage" and "Sanitary Sewer" as positives, while those unsatisfied expressed concerns about "Water Quality" and "Streets."

Section 2 focused on the economy and had four questions. Question 7 asked respondents what stores they regularly visited in McCook and the responses can be divided into two categories and reflect an interesting mix of retail establishments. For chain stores, Wal-Mart (419) led the way by far, followed by Ace Hardware (140), Dollar General (80), Tractor Supply (50), and Bomgaar's (28). In comparison, consider the local retailers most frequently visited. At the top of the list is Gary Super Foods (160), The Sports Shoppe (45), Farrell Pharmacy (38), Knowlen & Yates (37), and Sehnert's Bakery (24). The next survey question asked what retail stores McCook's residents patronize in other communities (Kearney, Lincoln, North Platte, and Omaha were all common locations listed in the responses). Menards (172) led the way, followed by Target (162), Hy-Vee (102), Hobby Lobby (89), and Scheels (33). Others on the list included Cabela's, Famous Footwear, and Five Below. Question 9 asks how city leaders can address local economic development efforts. A range of choices was provided, with "Housing Development" (21.0 percent) leading the way, followed by "Youth Retention" (15.4 percent), "Incentives for Retail Stores" (14.8 percent), "Incentives for New Industries" (12.0 percent), and "Existing Business Support" (11.3 percent). The final question in this section allowed respondents to provide business types they would like to see in McCook—most responses listed a generic type of business (grocery store), while others were more specific (Hy-Vee). A wide range of responses was tallied, with restaurant leading the way with well over 100 responses that included generic comments such as "café," "Chinese restaurant," "pizzeria," "sit down restaurant," and "sports bar," to specific chains including "Amigos," "Chick-fil-A," "Panda Express," "Perkins," and "Taco Bell." Next on the list was "clothing" (107) including "women's clothing," in addition to "craft store," "home improvement," and "grocery store."

Section 3 has two more housing questions, with the first focused on condition. A slight majority of the respondents (55.9 percent) are in the first two categories—"No Repairs Needed" or "Needs Minor Repairs, Under \$3,000." Important to note, 11.4 percent are in the "Needs Major Repairs, Over \$15,000" category.

Section 4 dealt specifically with childcare. Of those who responded, a vast majority (82.9 percent) do not participate in childcare outside of their home. Of those who do utilize childcare, 9.7 percent have "In-Home Care," 8.4 percent attend a "Childcare Center," and roughly 2.0 percent attend an "After School Program."

Section 5 related to telecommunications. Regarding type of internet connection in McCook, there is a mix of "Cable Internet" (26.2 percent), "Fiber Internet" (39.7 percent), and "Wireless/Cellular Network" (34.1 percent). Questioning satisfaction for price, reliability, and speed of the service, found that most respondents (73.1 percent) were either "Satisfied" or "Very Satisfied" and just 7.6 percent were "Very Unsatisfied."

Six questions comprised the education portion of the survey (Section 6). Safe routes to school were, and are, an extremely important planning issue and 73.7 percent of respondents indicated that McCook does have sufficient and safe routes to school. An even higher percent (86.3) responded that McCook Public School plays an active role in the community as does McCook Community College (78.3 percent).

The seventh survey category involves tourism. Just over 72 percent of respondents indicated that tourism is a key component to McCook's economic future and 81.6 percent indicated that they would support further development of tourism opportunities. For their favorite event in McCook, Heritage Days (126) led the way, followed by the Red Willow County Fair (42), Freedom Fest (24) and Buffalo Commons (12). Other responses included "Parks," "Theater Events," and "High School Sports."

The final section provided a demographic snapshot of those who completed the survey. Of survey participants, most have lived in the community for more than twenty years (55.9 percent) and another 18.9 percent have lived in McCook between eleven and twenty years. In terms of why reside in McCook, 44.6 percent have family connections to the community, 36.0 percent reside in the community because of employment opportunities, and 14.3 percent are attracted to the community due to its "Small Town Atmosphere." Respondents were offered four age selections, with 42.5 percent in the forty to fifty-nine age bracket, followed by 31.5 percent in the twenty to thirty-nine range, and 25.6 percent in the sixty plus category—less than 1 percent of the respondents were nineteen or younger.

Strengths / Weaknesses / Opportunities / Threats

SWOT analysis is conducted by an organization to identify its internal strengths and weaknesses along with its external opportunities and threats (Ghazinoory and Memariani 2007; Helms and Nixon 2010). Developed in the late 1950s and into the 1960s primarily for private companies, the “tool” has expanded to include charitable organizations along with municipalities to consider competitive advantages (Puyt *et al.* 2020; Sarsby 2016). Strengths (advantage over others), weaknesses (disadvantage over others), opportunities (elements to exploit to its advantage), and threats (elements that cause concerns) (SWOT) are characteristics to evaluate competitive positioning and consider both short-term and long-term goals and objectives. One research article summarized SWOT as safeguarding satisfactory operations, opening the door to opportunities, fixing faults, and averting threats (Puyt *et al.* 2020).

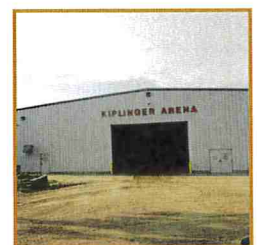
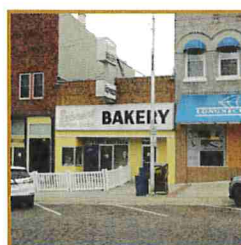
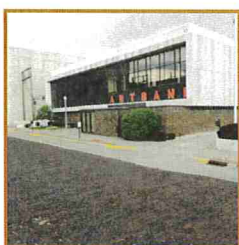
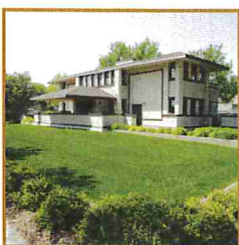
Strengths, for instance, are internal characteristics and for McCook might include customer service or tourism events. Weaknesses are also internal and examples are the lack of parks or hike/bike trails. Opportunities are external factors that provide promise for future successes, examples are greater transportation improvements and technology advancements. Threats are external and typically cannot be controlled—greater market trends or state/federal regulations, for example. SWOT analysis is versatile and has demonstrated meaningful results for numerous Fortune 500 companies (Home Depot and McDonald’s) and non-profit organizations (United Way).

For McCook, the SWOT analysis took place on November 7, 2023. In the discussion several strengths were revealed.

Strengths

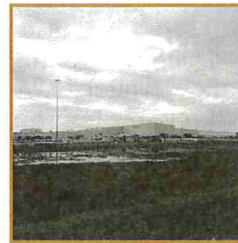
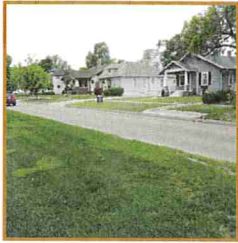
Three “strength” comments were tallied for both culture/tourism and the downtown district. Culture/tourism “strength” comments included the High Plains Museum, the George Norris home, the Frank Lloyd Wright home, and the McCook Art Guild along with community events throughout the year (Sehnert’s Bakery was also listed as a landmark destination). Positive remarks for downtown McCook recognized its aesthetic appeal and “unique feel.” Nine responses were captured for commercial or economic strengths. Respondents pointed to industries in McCook and a supportive business environment. Others highlighted McCook’s role in southwest Nebraska as a regional hub and friendly service. Of all the strengths, education received the highest number—eleven—for both the public school system and the McCook Community College. Seven “healthcare” strengths were recorded, including access and quality care. Public service garnered six “strengths,” including safety or “safe environment” along with progressive leadership and public services. For strengths, recreation received the second highest number—ten—of responses including Heritage Hills golf course, the Kiplinger arena, in addition to community parks and nearby lakes. For the next “strength,” transportation was recognized as a community asset. Responses pointed to commercial and passenger rail service along with the McCook Ben Nelson Regional Airport. Finally, a smattering of “strength” responses pointed to an “inviting atmosphere,” “small town atmosphere and values,” a “welcoming community,” and “community support.”

	HELPFUL to positive development	HARMFUL to positive development
INTERNAL ORIGIN characteristics of the community	Strengths	Weaknesses
EXTERNAL ORIGIN characteristics of the community	Opportunities	Threats



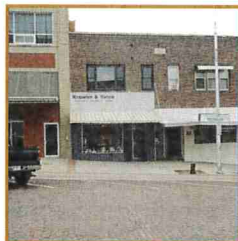
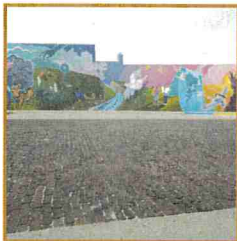
Weaknesses

The second category in the SWOT analysis examined “weakness.” The dominant response was “economy” with twenty-one responses that ranged from lack of entertainment options to a lack of retail options, youth retention, low paying jobs, not enough available employees and workforce shortages along with being too reliant on agriculture. Another common response for “weakness” was “housing” and the responses were direct. “Housing options” and “housing shortage” were noted but several simply replied “housing.” As a weakness, housing often permeates into other areas—employee recruitment, for instance. Another weakness response category can be labeled as “location” as many noted McCook’s isolated location and distance to Denver, Lincoln, or Omaha. Other “weakness” comments included “aging population” and a lack of greenspace.



Opportunities

The third SWOT category—opportunities—solicited several responses as well. Nine responses highlighted opportunities related to art district(s) and additional tourism opportunities, including outdoor recreation and the Kiplinger facility. Nine more opportunities point to small business and retail development, youth organizations and retention, and job opportunities. Six “opportunity” responses indicated that housing is an opportunity, with a number of vacant houses, open lots ready for development, and potential for transitional housing. Even though several (four) see “location” as a weakness, others see it as an opportunity. Many view McCook as a hub for southwest Nebraska, with strategic transportation linkages. Seven more respondents noted “recreation” is an opportunity for McCook—new ballpark, various recreational projects, and trail developments, for instance. Other “opportunity” responses are industrial park, small town atmosphere, and entertainment options. Other opportunities mentioned the promotion of place and simply doing a better job of “selling” what McCook already possesses.



Threats

Threat is the final category in the SWOT analysis. Eight of the “threat” responses relate to McCook’s economy. Many comments noted the lack of economic diversity and the over-reliance on only a handful of major employers, state and federal legislative policies that might negatively impact McCook, as well as inflation and the agricultural economy. The most common threat listed relates to population, specifically “aging population” and a “declining population.” Four listed “workforce” as a threat, citing lack of job opportunities and workforce shortages as concerns. Other threats include “isolation,” “housing,” and “aging infrastructure.”



For City staff and community leaders in McCook, SWOT analysis offers an opportunity to consider the strengths and weaknesses as well as the opportunities and threats. From this analysis, realistic community goals and plans should be implemented to provide direction for community leaders to capitalize on strengths (education, healthcare, and transportation) and opportunities (arts, recreation, tourism), as well as addressing weaknesses (workforce shortages and housing) and threats (declining population and job opportunities).

Priorities, Goals, and Action Steps

This section provides ideas, summaries, and guidelines for development. These goals are a combination of information gathered from public input sessions and data analysis. Realistic in nature, they allow community members to creatively consider future land uses and development needs.



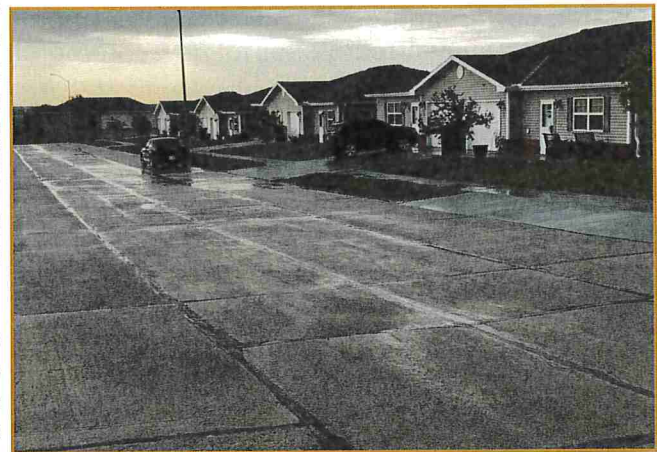
Goals & Action Steps

McCook's goals broadly fall into four categories—housing, commercial development, industrial development, and arts and recreation. Housing shortages are nearly universal across the state. To address this, the obvious answer is to develop more housing. To accomplish this, community leaders, private developers and investors, and the business community must be willing to discuss options and invest.

Housing

Developing new housing has the potential to attract new residents creating a chain reaction of positive events. More families and more jobs are often based on affordable housing, the city plays an instrumental role in facilitating housing stock growth in the future. Part of the housing discussion includes community and city leaders constructing new homes, improving existing homes, and considering a demolition plan for dilapidated properties. Furthermore, considering middle- and lower-income housing as well as rental properties is a priority.

One example of addressing this issue is the McCook Economic Development Corporation's announcement in December 2023 that the community would be adding three duplexes made possible by Rural Workforce Housing Funds. The six new housing units are all zero entry and serve all ages in the community. Another recent announcement addressing housing in McCook is the North Pointe Addition. Approved by the city council in 2022, the twenty-seven new home project is currently under construction. The McCook Economic Development Corporation played a part in this project as well, adding funds toward the down payment on the 16.36 acre property (Sugroue 2022). A more recent update notes that the MEDC collaborated with the City of McCook to annex, rezone, and plat the North Pointe addition. Lots in the development come with access to all utilities along with fiber internet. Local financial institutions are involved and there are incentives that encourage timely development to address McCook's housing shortage (LaBay 2024a).



Beyond larger housing developments, infill development is an option that takes advantage of existing infrastructure. All vacant lots and vacant unhabitable homes are potential sites for infill development. McCook officials should access different approaches for development including grants and TIF funding. Often dilapidated housing creates a “broken window theory” that spills over to adjacent properties, addressing these properties is a priority. One mechanism to do this is nuisance abatement. Whether conducted by the city, legal counsel, or a third-party nuisance abatement is important to encourage property upkeep and provide ways to encourage renovation or demolition. Another way to publicly counter dilapidated properties is to promote “yard of the month” programs to acknowledge residents who invest and take pride in their neighborhood. One consideration is the creation and promotion of an investment group to build housing in McCook. The formation of a group tends to limit individual liability and has proven successful in many communities across the state.

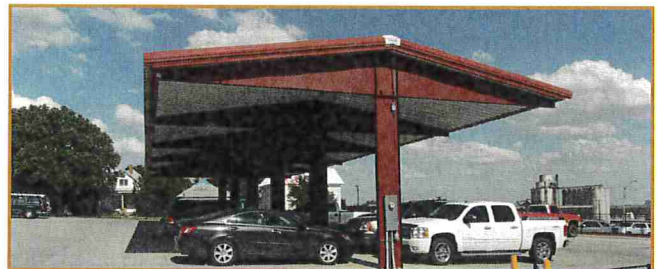
Commercial Development

Along with housing, there is a continued push for commercial development. City and community leaders understand that commercial development requires significant investment. Infrastructure—water, sewer, and paving—is expensive, but essential. Commercial goals include developing and marketing shovel-ready sites for new commercial development, creating incubator spaces to promote local entrepreneurs, and business start-ups whether in downtown or along highway commercial space. As noted previously, the MEDC Micro-Enterprise Program’s goal is to encourage and support business ventures via innovation and technology in McCook and Red Willow County. One such example is the current development of McCook Business Park – Phase II in the southeast portion of McCook. The MEDC played a pivotal role in the project along with city staff and the first tenant—Performance Plus Liquids—is ready to occupy their new facility. In addition to the business park in southeast McCook, properties along Highways 6/34 and Highway 83 provide excellent visibility and provide easy access to primary transportation routes.

Downtown commercial development is also a consideration for community leaders. Vacant spaces are a concern, as are sidewalks and parking areas. Having a mix of retail and entertainment encourages investment and pedestrian activity. Historic preservation serves as a draw and allows the community to take pride in place, preserving the past while preparing for the future at the same time. In that regard, McCook has several properties downtown—Red Willow County Courthouse, the Keystone Building, the former post office, for instance—that are “cornerstone” properties with real opportunities to capitalize on its historic built environment. Based on transportation patterns and the availability of space, it is most likely that the downtown core will continue to focus on retail, service, and entertainment. Along with the local community, McCook is in a position to capture tourism dollars associated with its downtown core—maintaining its historic appearance is key.

Industrial Development

Along with housing and commercial development, there is industrial development—McCook’s third goal. Industrial expansion continues along Ravenswood Road in southeast McCook, in part the result of the city leveraging tax increment financing (TIF) to support development. The possibility of a new viaduct south from Airport Road to the industrial park only adds to the excitement already existing in this area.



Arts & Recreation

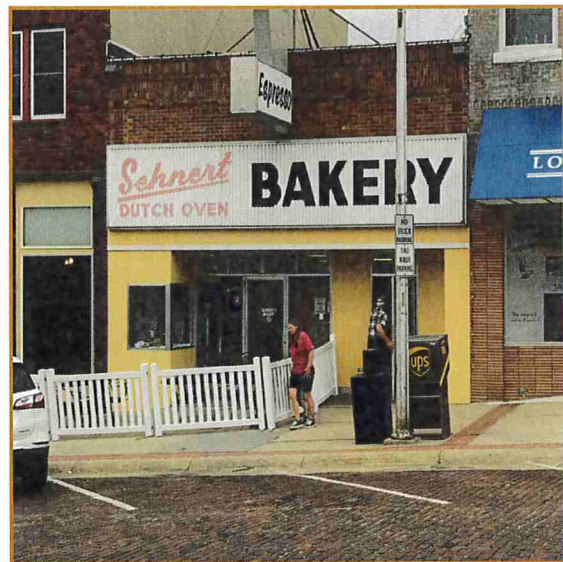
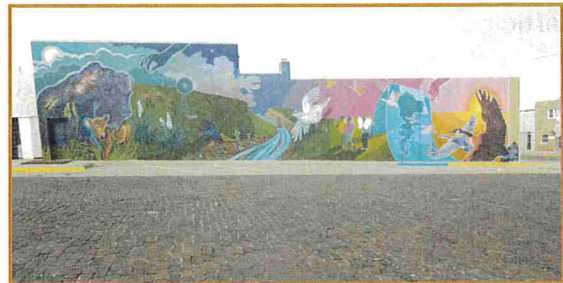
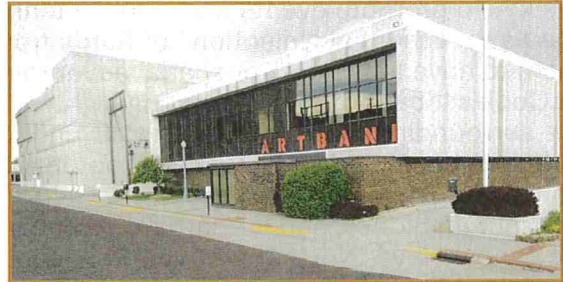
Arts and recreation amenities are essential quality of life concerns for communities and represent the fourth goal for McCook.

One consideration is the “arts” district in downtown McCook. Relying on historic properties and outstanding local artists, McCook has an opportunity to draw people to its downtown core. The State of Nebraska’s Historic Preservation Office provides support for communities to invest in historic properties and tax incentive programs as does the Location One Information System (LOIS) supported by the Nebraska Department of Economic Development (<https://history.nebraska.gov/historic-preservation/>; <https://opportunity.nebraska.gov>).

McCook was recently named as one of America’s Best Small Food + Culture Town by Travel + Leisure. Capturing “runner up” in this category, McCook was noted for its “culinary and cultural scene that far outpunches its weight class.” Along with food is McCook’s Creative Arts District, highlighted by the 6th Floor Project atop the Keystone Business Center along Norris Avenue. In addition to the 6th Floor Project is the ArtBank—also an arts center—located in the former Wells Fargo building. Along with these “inside” art opportunities, is the McCook Mural Project developed by lead artists and supported by nearly 100 community members the mural depicts McCook’s history and future. McCook clearly has a “strength” regarding travel and tourism, one based on art, entertainment, and place.

Beyond the “art” scene, there is the new McCook aquatic center with a “lazy” river and zero entry option. The facility replaces McCook’s 1937 swimming pool and is a symbol of progress in the community. Not just a symbol of progress, investing in the new aquatic center—at 500 East M Street—is a positive sign and highlights the community’s commitment to the future (Graff 2023).

In addition to the new aquatic center, McCook’s Ed Thomas YMCA is also undergoing major renovations as well. Offering indoor and outdoor activities, McCook’s YMCA serves the community throughout the year with programs that have potential to strengthen the entire population.



Beyond existing recreation amenities, the City of McCook is currently developing a sports complex on the “Walters” property in northwest McCook. A complex that has the potential to be a “game changer” for the local economy.

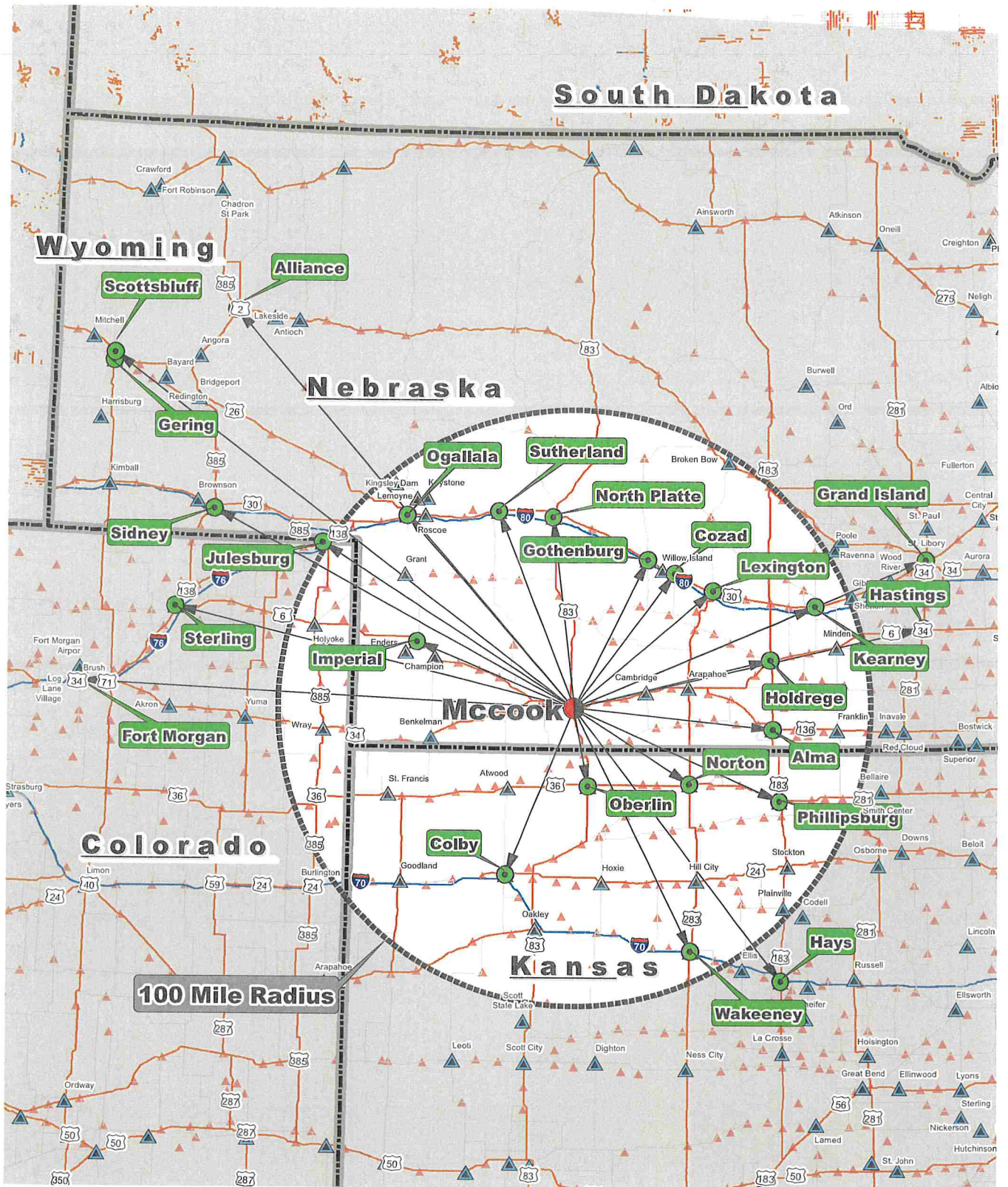
Recent literature found that smaller communities greatly benefit by investing in sports complexes that tap into “sports tourism” that often have a much wider impact on the community (hotel/motel, convenience store, and restaurant sales and taxes, for instance) (Chapin 2004; Davies 2016; Kim 2021; Rosentraub *et al.* 1994; Siegfried and Zimbalist 2000; Silva 2022).

There is a clear opportunity for McCook to develop a complex and capitalize on hosting events, but it is key to promote events that bring in teams from other communities—Walo *et al.* (1996) describe this as an essential “injection” of funds from outside the area. To accomplish this, McCook would seem to have a distinct geospatial advantage regarding the possibility of a multiple sports complex. McCook’s location and the existing highway network would allow communities not only in Nebraska but surrounding states to easily visit and compete in events held in McCook (Figure 5.1). Not all inclusive, but consider the following potential Nebraska communities—Alliance, Alma, Cozad, Gering, Gothenburg, Grand Island, Hastings, Holdrege, Imperial, Kearney, Lexington, North Platte, Ogallala, Scottsbluff, Sidney, and Sutherland. In Kansas, communities that would most likely contribute teams are Colby, Hays, Norton, Oberlin, Phillipsburg, and WaKeeney and to the west potential Colorado communities include Fort Morgan, Julesburg, and Sterling. These communities are within McCook’s “participation realm” and most already possess a number of “travel” teams. In McCook’s case, relying on a facility that caters to multiple sports only enhances opportunities. McCook residents recently approved a recreational sales tax to support a community “ballpark” project (Labay 2024b).

The “Walters” property in northwest McCook along Highway 83 has existing infrastructure (roads, sanitary sewer, sidewalks, and water) that lessens the input costs for a sports complex project (Silva 2022). This site harmonizes with existing sidewalk/street patterns not only linking the community together and providing safe access, but foster health/wellness initiatives via pedestrian activity (Frumkin *et al.* 2004).

The project, however, is not simply an economic development issue. A sports complex provides recreational opportunities for McCook’s existing population and also serves as an amenity to attract new residents. Extending and expanding the Kelley Creek trail system throughout McCook to include the new sports complex provides a benefit to the entire community.

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8/26/2024 1:57:04 PM Path: G:\Projects\200\200-G1-027\GIS\200-G1-027 Service Areas Modified.mxd

8/26/2024
Prepared By:

MA
Miller & Associates
CONSULTING ENGINEERS, P.C.
Kearney, NE – (308) 234-6456



LEGEND

▲ Cities greater than 1,000 pop.

Figure 5.1
Market Area

Project 200-G1-027
McCook, Nebraska

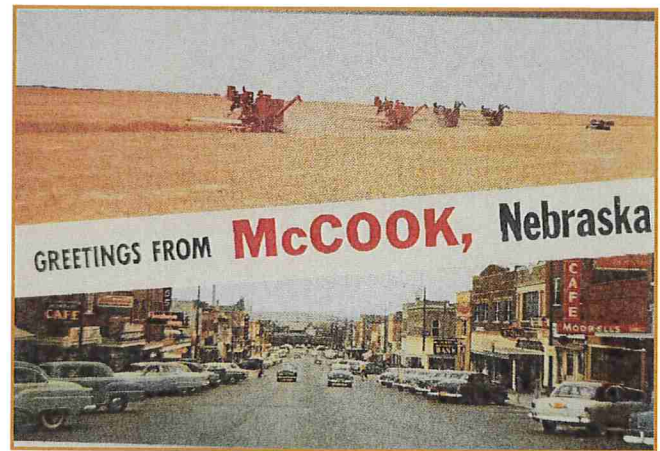
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Further Enhancements, Tourism, and Branding

- Community Aesthetics
- Establish Gateway Entrances
- Install Wayfinding Signage
- Develop a Sports Complex

Not an exhaustive list, but McCook does have several opportunities when considering community enhancements, tourism, and branding. Community aesthetics should not be overlooked, they are essential concerns for the community. McCook's Creative District, for example, serves not only to provide exhibit space for local and regional artists but rehabilitate and bring "life" to historic structures in the downtown core. The creative district contains the historic Fox Theater, the Keystone Business Center, and Norris Alley along with museums and art galleries.

Gateway entrances and attractive signage—or wayfinding signage—throughout town are key in promoting place. Gateway entrances, for instance, allow for a community to make a tremendous first impression—landscaping, lighting, and signage are all components of attractive entrances. Once in the community, wayfinding signs act to direct traffic to local landmarks and key locations—parks, library, or the downtown district, for instance. Consider traffic count data found earlier in this document to determine where sign placement would be most efficient.



Develop Marketing Campaign

Creating and marketing a community brand to existing and potential residents, developers, and business owners are important. By promoting existing businesses and “selling” its quality of life aspects, McCook has great potential to capitalize on its strengths. To develop a new marketing campaign or update an existing strategy, the City should consider the following objectives. Community leaders should identify an easily recognizable image to market and recruit residents and non-residents alike. A brand could include a logo, slogan, color scheme, and/or theme with represents the community. Once determined, a brand can be utilized to promote the community via posters, brochures, and letterhead in addition to an on-line campaign. Social media sources like Facebook and Twitter are free marketing platforms that can easily reach large audiences.

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**CITY MANAGER'S REPORT
FEBRUARY 16, 2026 CITY COUNCIL MEETING**

ITEM: 3.A.

Approve the minutes of the February 2, 2026 regular City Council meeting.

BACKGROUND:

Receive and approve the minutes.

**FISCAL
IMPACT:** None.

APPROVALS:



Lea Ann Doak, City Clerk

February 12, 2026

McCook City Council
February 2, 2026
5:30 P.M.

A MEETING OF THE MAYOR AND COUNCIL OF THE CITY OF MCCOOK, NEBRASKA convened in open, regular, and public session at 5:30 o'clock P.M. in the City Council Chambers.

Present: Mayor Linda Taylor, Councilmembers Jerry Calvin, Gene Weedin, Darcy Rambali.

Absent: Councilmember Jared Muehlenkamp.

Motion to excuse the absence of Councilmember Muehlenkamp. This motion, made by Calvin and seconded by Weedin, passed.

Taylor: YEA, Calvin: YEA, Weedin: YEA, Rambali: YEA
YEA: 4, NAY: 0

City Officials present: City Manager Nate Schneider, City Attorney Nate Mustion, City Clerk Lea Ann Doak, Assistant City Manager Tera Koetter, Library Director Jody Crocker, Utilities Director Pat Fawver, Fire Chief Marc Harpham, Police Chief Kevin Hodgson, Building Inspector Barry Mooney, Public Works Director Kyle Potthoff, and Senior Services Director Beth Siegfried.

Notice of the meeting was given in advance thereof by publication in the McCook Daily Gazette on January 29, 2026, the designated method of giving notice, a copy of the proof of publication being attached to these minutes. Advance notice of the meeting was also given to the Mayor and members of the City Council and a copy of the Acknowledgement of Receipt of such notice is attached to these minutes. Availability of the agenda was communicated in the advance notice to the Mayor and Council. All proceedings hereafter shown were taken while the meeting was open to the attendance of the public.

Mayor Taylor announced that a copy of the Open Meetings Act was posted by the entrance to the Council Chambers and available for public review. Invocation was provided by Councilmember Weeding. Following the Pledge of Allegiance to the flag of the United States of America, Mayor Taylor called the meeting to order.

Mayor Taylor announced that individuals who have appropriate items for City Council consideration should complete the "Topic for Consideration for City Council Agenda" form located at the information table by the entrance to the Council Chambers. If the issue can be handled administratively without Council action, notification will be provided. If the item is scheduled for a meeting, notification of the date will be given.

1. Announcements & Recognitions.

Fire Chief Harpham announced that at their recent awards ceremony the following awards were presented - Newcomer of the Year award - Matthew Nelson; EMT of the Year - Don Lannigan;

Firefighter of the Year - Kyle Newcomb; Raleigh Haas Memorial EMS Leadership Award - Derek Sailors; and the Ray Real Memorial Leadership Award - Greg Pollnow. Chief Harpham noted the entire team has a combined 294 years of experience.

City Manager Schneider announced a Planning Commission is scheduled for 5:15 p.m., February 9 and a Tree Advisory Board meeting at noon on February 12.

2. Public Hearings.

- 2.A. Public Hearing - Regarding a request to modify McCook Zoning Ordinance No. 2016-2929, Article 21 - Supplemental Regulations, Section 2112 - Sign Regulations, Subsection 6.A. (Sign Size Regulations), altering the commercial use, single or double freestanding tenant sign requirements, to (1) increase the total sign area in the Highway Commercial District from 80 square feet to 140 square feet, and to (2) increase the maximum sign height in the Highway Commercial District from 20 feet to 32 feet.

Motion to recess as a City Council and convene a public hearing for the purpose of receiving public comment regarding proposed modifications to McCook Zoning Ordinance No. 2016-2929, Article 21 - Supplemental Regulations, Section 2112 - Sign Regulations, Subsection 6.A. (Sign Size Regulations), altering the commercial use, single or double freestanding tenant sign requirements, to (1) increase the total sign area in the Highway Commercial District from 80 square feet to 140 square feet, and to (2) increase the maximum sign height in the Highway Commercial District from 20 feet to 32 feet, with the City Attorney to act as hearing officer. This motion, made by Calvin and seconded by Rambali, passed.

Muehlenkamp: ABSENT, Taylor: YEA, Calvin: YEA, Weedon: YEA, Rambali: YEA
YEA: 4, NAY: 0, ABSENT: 1

The City Attorney received into evidence Exhibit #1 - City Manager's Report prepared for the February 2, 2026 City Council meeting (1 page), Exhibit #2 - Notice of Hearing published (1 page); Exhibit #3 - Proposed Ordinance No. 2026-3114 (7 pages); and Exhibit #4 - Site Plan indicating location of the proposed signs and their distances from Highway 83 (2 pages).

City Manager Schneider reviewed the information presented in Exhibit #1.

Building Inspector Mooney answered questions from the Council.

Neil Oglesby, Crossland Construction Company, who serves as the lead contractor for the new dealership project was present to address the request and answer questions from the Council.

Chris Wagner, owner of the new dealership, was present to address any questions from the Council.

With no one else present to comment, motion to adjourn the public hearing and to reconvene as a City Council. This motion, made by Weedon and seconded by Calvin, passed.

Muehlenkamp: ABSENT, Taylor: YEA, Calvin: YEA, Weedon: YEA, Rambali: YEA
YEA: 4, NAY: 0, ABSENT: 1

- 2.B. Ordinance No. 2026-3114 amending McCook Zoning Ordinance No. 2016-2929, Article 21, Section 2112, Subsection 6.A., altering the commercial use, single or double freestanding tenant sign requirements, to (1) increase the total sign area in the Highway Commercial district from 80 square feet to 140 square feet, and to (2) increase the maximum sign height in the Highway Commercial District from 20 feet to 32 feet.

Mayor Taylor asked the Clerk to read Ordinance No. 2026-3114 by title.

AN ORDINANCE OF THE CITY OF MCCOOK, NEBRASKA PROVIDING FOR THE AMENDMENT OF MCCOOK ZONING ORDINANCE NO. 2016-2929, AMENDING ARTICLE 21 - SUPPLEMENTAL DISTRICT REGULATIONS, SECTION 2112 - SIGN REGULATIONS, SUBSECTION 6.A. (SIGN SIZE REGULATIONS) - ALTERING COMMERCIAL USE, SINGLE OR DOUBLE FREESTANDING TENANT SIGN REQUIREMENTS, (1) INCREASE THE TOTAL SIGN AREA IN THE HIGHWAY COMMERCIAL DISTRICT FROM 80 SQUARE FEET TO 140 SQUARE FEET, AND (2) INCREASE THE MAXIMUM SIGN HEIGHT IN THE HIGHWAY COMMERCIAL DISTRICT FROM 20 TO 32 FEET; PROVIDE FOR THE REPEAL OF ANY OTHER CONFLICTING ORDINANCES; AND PROVIDING A TIME AND DATE FROM AND AFTER WHICH THIS ORDINANCE SHALL TAKE EFFECT AND BE ENFORCED.

Ordinance No. 2026-3114 has been introduced, read by title, and I move that the statutory rule requiring reading on three different days be suspended. This motion, made by Weedon and seconded by Rambali, passed.

Muehlenkamp: ABSENT, Taylor: YEA, Calvin: YEA, Weedon: YEA, Rambali: YEA
YEA: 4, NAY: 0, ABSENT: 1

Motion for final passage of Ordinance No. 2026-3114. This motion, made by Calvin and seconded by Weedon, passed.

Muehlenkamp: ABSENT, Taylor: YEA, Calvin: YEA, Weedon: YEA, Rambali: YEA
YEA: 4, NAY: 0, ABSENT: 1

Mayor Taylor stated for the record that Ordinance No. 2026-3114 is declared lawfully passed and adopted upon publication as required by law.

- 2.C. Public Hearing - A report from the Economic Development Plan Citizen's Advisory Review Committee regarding a meeting held January 26, 2026..

Motion to recess as a City Council and convene a public hearing for the purpose of receiving public comment on a report from the Economic Development Plan Citizen's Advisory Review Committee regarding meeting held January 26, 2026 with the City Attorney to act as hearing officer. This motion, made by Rambali and seconded by Taylor, passed.

Muehlenkamp: ABSENT, Taylor: YEA, Calvin: YEA, Weedon: YEA, Rambali: YEA
YEA: 4, NAY: 0, ABSENT: 1

The City Attorney offered and received into evidence Exhibit #1 - the City Manager's Report dated

February 2, 2026 (1 page); Exhibit #2 - Notice of Hearing published (1 page); Exhibit #3 - Agenda for the January 26, 2026 meeting of the Economic Development Plan Citizen's Advisory Review Committee and attachments (7 pages); and Exhibit #4 - the minutes of the October 27, 2025 Economic Development Plan Citizen's Advisory Review Committee (3 pages).

Charlie McPherson, McCook Economic Development Director, and Sean Wolfe, president of the Economic Development Plan Citizen's Advisory Review Committee, reviewed the information presented in Exhibit #3 and answered questions from the Council.

Charlie McPherson, MEDC Director and Sean Wolfe, president of the Economic Development Plan Citizen's Advisory Review Committee, reviewed the information presented in Exhibit #3 and answered questions from the Council.

With no one else present to comment, motion to adjourn the public hearing and reconvene as a City Council. This motion, made by Weedin and seconded by Rambali, passed.

Muehlenkamp: ABSENT, Taylor: YEA, Calvin: YEA, Weedin: YEA, Rambali: YEA
YEA: 4, NAY: 0, ABSENT: 1

2.D. Accept the minutes of the October 27, 2025 Economic Development Plan Citizen's Advisory Review Committee meeting.

Motion to accept the minutes of the October 27, 2025 Economic Development Plan Citizen's Advisory Review Committee meeting. This motion, made by Calvin and seconded by Weedin, passed.

Muehlenkamp: ABSENT, Taylor: YEA, Calvin: YEA, Weedin: YEA, Rambali: YEA
YEA: 4, NAY: 0, ABSENT: 1

3. Consent Agenda.

Motion to approve the consent agenda. This motion, made by Weedin and seconded by Rambali, passed.

Muehlenkamp: ABSENT, Taylor: YEA, Calvin: YEA, Weedin: YEA, Rambali: YEA
YEA: 4, NAY: 0, ABSENT: 1

3.A. Approve the minutes of the January 19, 2026 regular City Council meeting.

3.B. Approve and authorize the Mayor to sign a Professional Engineering Agreement with Miller & Associates, Consulting Engineers, P.C. for the design, construction, and site observation for South 3rd Street Looping Water Main and Armory Place Looping Main Connection Project.

3.C. Accept the minutes of the November 12, 2025 Library Advisory Board meeting.

3.D. Receive and file Change Orders Numbers 1, 2, and 3 for the P.F.C. Gerald L. Walters Youth Sports Complex.

- 3.E. Approve and enter into a Nuisance Abatement Agreement with West Central Nebraska Development District, Inc. (WCNDD).
- 3.F. Approve Resolution No. 2026-03 approving the appointment of West Central Nebraska Development District, Inc. (WCNDD) to act as Nuisance Officer for the City of McCook.

4. Regular Agenda.

- 4.A. Update regarding the youth sports complex project.

City Manager Schneider gave an update on the youth sports complex project. A meeting was held regarding the development of the surrounding area and sale of the lots; an update meeting is scheduled for February 10 with Mammoth Construction; a construction meeting regarding the complex infrastructure is scheduled with Paulsen Construction on February 12; and three change orders with Mammoth Construction were reviewed.

- 4.B. Accept the Financial Statements and Supplemental Information for Fiscal Year ending September 30, 2025 prepared by AMGL CPAs and Advisors.

Via Zoom, Marcy Luth of AMGL presented the Financial Statements to the Council for the Fiscal Year ending September 30, 2025 and answered questions from the Council. Ms. Luth noted that it is an unqualified report in their opinion, the financial statements of the City present fairly in all material aspects, the respective financial position of the City.

Motion to accept the Financial Statements and Supplemental Information for Fiscal Year ending September 30, 2025 prepared by AMGL CPAs and Advisors. This motion, made by Calvin and seconded by Weedin, passed.

Muehlenkamp: ABSENT, Taylor: YEA, Calvin: YEA, Weedin: YEA, Rambali: YEA
YEA: 4, NAY: 0, ABSENT: 1

- 4.C. Approve the recommendation of the Parks Advisory Board to allow Tasha Blomstedt and Delight Moser to plan for and paint a mural on the west interior wall of the McCook Aquatic Park bathhouse between the restroom entrances and to furnish a battery operated digital clock to be placed on the north exterior wall of the bathhouse.

Delight Moser and Tasha Blomstedt reviewed the proposal for painting of a mural at the McCook Aquatic Park and to furnish a clock for the exterior of the bathhouse.

Motion to approve the recommendation of the Parks Advisory Board to allow Tasha Blomstedt and Delight Moser to plan for and paint a mural on the west interior wall of the McCook Aquatic Park bathhouse between the restroom entrances and to furnish a battery operated digital clock to be placed on the north exterior wall of the bathhouse. This motion, made by Calvin and seconded by Weedin, passed.

Muehlenkamp: ABSENT, Taylor: YEA, Calvin: YEA, Weedin: YEA, Rambali: YEA
YEA: 4, NAY: 0, ABSENT: 1

4.D. Ordinance No. 2025-3113 vacating East "A" Street, between the South Half (S1/2) of Lot Five (5), and all of Lot Six (6), Block Five (5), and Lot One (1), Block Twelve (12), Willow Grove Addition to the City of McCook, Red Willow County, Nebraska.

Mayor Taylor asked the Clerk to read Ordinance No. 2026-3113 by title.

AN ORDINANCE TO VACATE A STREET LOCATED IN THE CITY OF MCCOOK, RED WILLOW COUNTY, NEBRASKA; SAID STREET BEING LOCATED AND DESCRIBED AS "A" STREET EAST AS PLATTED BETWEEN THE SOUTH HALF (S1/2) OF LOT FIVE (5), AND ALL OF LOT SIX (6), BLOCK FIVE (5), AND LOT ONE (1), BLOCK TWELVE (12), WILLOW GROVE ADDITION TO THE CITY OF MCCOOK, RED WILLOW COUNTY, NEBRASKA; TO PROVIDE FOR REVERSION OF SAID STREET TO TITLE HOLDERS OF RECORD; TO PROVIDE FOR FILING OF THIS ORDINANCE IN THE OFFICE OF THE REGISTER OF DEEDS OF RED WILLOW COUNTY, NEBRASKA; AND TO PROVIDE FOR A TIME AND DATE FROM AND AFTER WHICH THIS ORDINANCE SHALL TAKE EFFECT AND BE IN FORCE.

Ordinance No. 2026-3113 has been introduced, read by title, approved on its first reading, and I move that the statutory rule requiring reading on three different days be suspended. This motion, made by Weedon and seconded by Rambali, passed.

Muehlenkamp: ABSENT, Taylor: YEA, Calvin: YEA, Weedon: YEA, Rambali: YEA
YEA: 4, NAY: 0, ABSENT: 1

Motion for final passage of Ordinance No. 2026-3113. This motion, made by Calvin and seconded by Rambali, passed.

Muehlenkamp: ABSENT, Taylor: YEA, Calvin: YEA, Weedon: YEA, Rambali: YEA
YEA: 4, NAY: 0, ABSENT: 1

Mayor Taylor stated for the record that Ordinance No. 2026-3113 is declared lawfully passed and adopted upon publication as required by law.

4.E. Approve the use of the McCook City Auditorium for pickleball use while the YMCA gymnasium is remodeled at a fee of \$50 per month and that adequate insurance be provided to alleviate liability concerns.

Christy Stevens and Cathy Kenny presented their request for use of the auditorium for pickleball purposes while the YMCA gymnasium is being remodeled.

Motion to approve the use of the McCook City Auditorium for pickleball use while the YMCA gymnasium is remodeled at a fee of \$50 per month and that adequate insurance be provided to alleviate liability concerns. This motion, made by Weedon and seconded by Rambali, passed.

Muehlenkamp: ABSENT, Taylor: YEA, Calvin: YEA, Weedon: YEA, Rambali: YEA
YEA: 4, NAY: 0, ABSENT: 1

4.F. Council Comments.

Councilmember Weedon noted that the Choice Gas period will run from April 2 through April 22.

Councilmember Calvin thanked the staff for all that they do throughout the year to help the city have a successful audit, it is greatly appreciated.

- 4.G. An Executive Session may be held upon a majority vote of the Council for the protection of public interest for a strategy session with respect to pending litigation - property located at 1111 East "H" Street, Cindy and Ron Sabin.

Motion to go into executive session for the protection of public interest for a strategy session with respect to potential litigation - property located at 1111 East "H" Street, Cindy and Ron Sabin at 6:50 P.M. This motion, made by Calvin and seconded by Taylor, passed.

Muehlenkamp: ABSENT, Taylor: YEA, Calvin: YEA, Weedon: YEA, Rambali: YEA
YEA: 4, NAY: 0, ABSENT: 1

Mayor Taylor stated for the record that at this time, pursuant to the Nebraska Open Meetings Act, a closed session will be held for the purpose of the protection of public interest for a strategy session with respect to potential litigation - property located 1111 East "H" Street, Cindy and Ron Sabin. The Council will reconvene in public session following this closed session.

Motion to come out of executive session at 6:59 P.M. This motion, made by Calvin and seconded by Weedon, passed.

Muehlenkamp: ABSENT, Taylor: YEA, Calvin: YEA, Weedon: YEA, Rambali: YEA
YEA: 4, NAY: 0, ABSENT: 1

Adjournment.

There being no further business to come before the Council, Mayor Taylor declared the meeting adjourned at 7:00 P.M.

Linda Taylor, Ex-officio Mayor
and Council President

ATTEST:

Lea Ann Doak, City Clerk-Treasurer

CITY MANAGER'S REPORT
February 16, 2026 CITY COUNCIL MEETING

ITEM 3.B.

RECOMMENDATION:

Adopt Resolution No. 2026-04 certifying that the City of McCook Public Transportation provides transportation within the city limits of McCook and as a condition of receiving Federal financial assistance to operate these services, the city must ensure that its programs, policies and activities comply with the Title VI of the Civil Rights Act.

BACKGROUND:

City of McCook Public Transit last approved their Title VI policies on 4-3-2023. The state would like all transit agencies to get on a 3-year schedule of looking at our Title VI Policies.

FISCAL IMPACT:

None

RECOMMENDATION:

Adopt Resolution No. 2026-04, certifying that the City of McCook does hereby adopt and bind itself to comply with all of the rules and regulations of the Title VI Non-Discrimination plan.

APPROVALS:

Beth Siegfried
Beth Siegfried, Senior Services Director

2/11/26
Date

Nate Schneider
Nate Schneider

2-11-26
Date

RESOLUTION NO. 2026-04

A RESOLUTION ADOPTING TITLE VI - NON-DISCRIMINATION PLAN 2026 FOR THE CITY OF MCCOOK PUBLIC TRANSIT.

WHEREAS, the City of McCook Public Transit operates a public transit program serving the residents of McCook; and

WHEREAS, as a condition of receiving Federal financial assistance to operate these services, the City must ensure that its programs, policies, and activities comply with Title VI of the Civil Rights Act.

NOW THEREFORE, BE IT RESOLVED; that the Mayor and City Council of the City of McCook, Nebraska, do hereby adopt and bind itself to comply with all of the rules and regulations of the Title VI Non-Discrimination Plan, a copy of which is attached hereto and incorporated herein by reference, and authorizes the Mayor to execute said Plan on behalf of the City.

PASSED AND APPROVED this 2nd day of March, 2026.

Linda Taylor, Ex-Officio Mayor
and President of the Council

ATTEST:

Lea Ann Doak, City Clerk-Treasurer

Federal Transit Administration

Title VI Program

City of McCook Transit

2026

Reviewed and Approved by _____
McCook City Council
City of McCook Transit

Date



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Appendices

- A. City of McCook Transit Title VI Notice
- B. City of McCook Transit Title VI Discrimination Complaint Form
- C. City of McCook Transit Four Factor Analysis and Language Assistance Plan
- D. City of McCook Transit Title VI Complaint Investigation Log

Non-Discrimination Statement of Policy

Under Title VI of the Civil Rights Act of 1964 and related statutes, the City of McCook Transit is committed to ensuring that no person shall, on the grounds of race, color, or national origin, be excluded from participation in, denied the benefits or services of, or be otherwise subjected to discrimination in all programs, services, or activities administered by the City of McCook Transit.

Linda Taylor
Mayor
City of McCook

Date

All entities who receive Federal Transit Administration (FTA) grant dollars either directly from the FTA or through the Nebraska Department of Transportation (NDOT) are subject to the Title VI of the Civil Rights Act of 1964 (42 U.S.C. 2000d) and the U.S. Department of Transportation’s implementing regulations. This manual provides technical assistance on Title VI compliance requirements.

1 Introduction and Overview

1.1 Plan Statement

The City of McCook Transit operates a demand response public transit program serving the residents of McCook, Nebraska. As a condition of receiving federal financial assistance to operate these services, the agency ensures that its programs, policies, and activities comply with Title VI of the Civil Rights Act of 1964. The following program details how the City of McCook Transit meets the Title VI requirements set forth in the Federal Transit Administration (FTA) Circular 4702.1B.

The City of McCook Transit receives federal FTA funding through the Nebraska Department of Transportation (NDOT) Transit Section. NDOT administers the City of McCook Transit FTA transit service funding and provides all Title VI program oversight for the City of McCook Transit.

1.2 Policy

Section 601 under Title VI of the Civil Rights Act of 1964 states the following:

"No person in the United States shall, on the grounds of race, color, or national origin, be excluded from participation in, be denied the benefit of, or be subjected to discrimination under any program or activity receiving Federal financial assistance."

The City of McCook Transit is committed to ensuring that no person, on the basis of race, color, or national origin, shall be excluded from participation in or subjected to discrimination under its programs or services, or be denied the benefits of the level and quality of transit services provided by the agency's employees, affiliates, and contractors.

1.3 Authorizing Legislation

Most federal transit laws are codified at Title 49 U.S.C. Chapter 53. Authorizing legislation is substantive legislation enacted by Congress that establishes or continues the operation of a federal program or agency. FTA's most recent authorizing legislation is entitled the *Bipartisan Infrastructure Law*, signed into law on November 15, 2021.

1.4 How to Contact FTA and the City of McCook Transit

For more information regarding the City of McCook Transit's Title VI Program, please contact the agency at:

City of McCook Transit
Attn: Beth Siegfried, Transit Director
505 W C Street
McCook, NE 69001
308-345-6098
bsiegfried@cityofmccook.com

FTA may be contacted at:

Federal Transit Administration
Region 7
901 Locust Street, Suite 404
Kansas City, MO 64106
Phone: 816-329-3920

or

Federal Transit Administration
Office of Civil Rights
Attention: Title VI coordinator
East Building, 5th Floor-TCR
1200 New Jersey Ave., SE,
Washington, D.C. 20590

NDOT may be contacted at:

Nebraska Department of Transportation
Kimberly Baker, Civil Rights Compliance Manager
1500 Nebraska Parkway
P.O. Box 94759
Lincoln, NE 68509-4759
402-479-4544
ndot.civilrights@nebraska.gov

1.5 Governing Body

The governing body of the City of McCook Transit is the McCook City Council, comprising five elected members representing the service area.

1.6 FTA Circular 4702.1B

The City of McCook Transit's Title VI Program has been developed to address FTA's Title VI requirements and oversight responsibilities. The plan follows the guidelines set forth in FTA Circular 4702.1B.

2 General Reporting Requirements

2.1 Assurances

The City of McCook Transit annually submits its Certifications and Assurances to NDOT. NDOT collects the City of McCook Transit's Title VI Assurances prior to passing through FTA funds.

2.2 Prepare and Submit a Title VI Program

The City of McCook Transit submitted its previous Title VI Program to the NDOT Civil Rights Office in April 2023. The current Title VI Program is intended to fulfill submission requirements for the 2026–2029 reporting period.

The McCook City Council will review and approve the current Title VI Program prior to its submission to NDOT. This approval is documented via the signature line on the cover of this Title VI Program, and

subsequent documentation will be submitted with the City of McCook Transit's Title VI Program. The effective date of the Program will be the date of the resolution.

The City of McCook Transit will submit its Title VI Program to the NDOT Civil Rights Office for review and approval.

2.3 Title VI Notice

The City of McCook Transit complies with Title VI and notifies the public of the protections against discrimination afforded to them by Title VI. The notice is posted in the following public locations: (a) on the City of McCook Transit website (<https://www.cityofmccook.com/307/McCook-Public-Transit-Title-VI>); and (b) at a visible public location at the City of McCook Transit's main offices. This notice has been translated in accordance with NDOT's LEP plan.¹ See **Appendix A** for a copy of the City of McCook Transit's Title VI notice to the public.

2.4 Title VI Complaint Procedure and Complaint Form

The City of McCook Transit has adopted the NDOT procedures and forms for investigating and tracking Title VI complaints of discrimination. The following complaint procedures are patterned after the FTA's requirements and guidance.

All FTA-related Title VI complaints filed against the City of McCook Transit are forwarded to both the NDOT Civil Rights Compliance Manager and the NDOT Transit Program Manager in the Local Assistance Division for processing, in coordination with the NDOT Civil Rights Office. The City of McCook Transit will maintain a log of all complaints received (see **Appendix D**), including the following:

- The date the complaint was filed
- A description of the complaint
- Dates of all significant actions taken
- All correspondence with the complainant or respondent

NDOT will review all complaints for programs and activities receiving FTA financial assistance.

The City of McCook Transit's Title VI complaint procedures and forms are available to members of the public at <https://www.cityofmccook.com/307/McCook-Public-Transit-Title-VI> or by request. The Title VI Complaint Form has been translated in accordance with NDOT's LEP plan and is provided in **Appendix B**.

The following section describes the City of McCook Transit's Title VI complaint procedures.

2.4.1 Filing a Transit-Related Complaint with City of McCook Transit

Persons Eligible to File

Any person who believes they, or any program beneficiary, has been subjected to unequal treatment or discrimination in their receipt of transit benefits and/or services on the basis of race, color, or national origin may file a Title VI complaint with the City of McCook Transit. Complaints may be filed directly by the affected individual(s) or by a representative on their behalf.

¹ <https://dot.nebraska.gov/media/rngflsav/ndot-limited-english-proficiency-plan.pdf>

Complaint Substance and Format

To file a complaint with the City of McCook Transit, complainants should complete and submit the agency's Title VI Complaint Form or submit a written letter containing the following information:

- The name(s) of the persons(s) filing the complaint (the complainant)
- Mailing address and phone number of the complainant(s)
- Name of the person(s) or entity alleged to have engaged in discrimination
- Date of the incident
- A detailed description of the incident
- An explanation of how the incident involved discrimination based on race, color, or national origin
- The names, mailing addresses, and phone numbers of witnesses or third parties to the incident
- Any additional information relevant to the complaint

A complaint may be filed on behalf of another person with their expressed written consent. The Title VI Complaint Form or letter of complaint must be signed by the complainant or by their authorized representative.

Time Frame for Filing Complaints

Complaints must be received no more than 180 calendar days after the alleged incident and must involve allegations of discrimination on the basis of race, color, or national origin to be investigated as an unlawful discriminatory practice under Title VI. FTA may grant an extension.

If the City of McCook Transit receives a complaint, the City of McCook Transit will submit the complaint to the NDOT Civil Rights Office for review.

After a complaint is received, an NDOT investigator will determine whether it meets the criteria and whether NDOT has jurisdiction. The complainant will receive an acknowledgement letter by mail about whether the investigation will proceed.

Processing and Investigating Complaints

NDOT strives to complete investigations within 90 days. At any time during the investigation, the investigator may request additional information to assist in the investigation of the incident. The complainant will be given 15 business days to respond to the request for additional information. If NDOT is not contacted by the complainant or does not receive the additional information within 15 business days, NDOT can administratively close the case. The case can be administratively closed if the complainant no longer wants to pursue the case.

Closing a Complaint

After NDOT reviews the complaint, one of two letters will be issued to the complainant: a closure letter or a letter of finding. A closure letter summarizes the allegations and states that there was not a Title VI violation and that the case will be closed. A letter of findings summarizes the allegations and the interviews regarding the alleged incident and explains whether any disciplinary action, additional training of the staff member, or other action will occur. Complainants have 30 days to appeal the findings of the investigation.

Contact Information

Complaint forms are available on the City of McCook Transit website at <https://www.cityofmccook.com/307/McCook-Public-Transit-Title-VI>. For additional questions regarding the City of McCook Transit's Title VI complaint procedures or Title VI Program, individuals may contact the City of McCook Transit at the contact information provided in **Section 1.4**. For more information on NDOT's Title VI complaints procedure or Title VI Program, or for assistance placing a complaint in writing or for language assistance, contact the NDOT Civil Rights Office at the contact information provided in **Section 1.4**.

2.4.2 City of McCook Transit Title VI Complaint Form

See **Appendix B** for a copy of the City of McCook Transit's Title VI Discrimination Complaint Form.

2.5 List of Title VI Investigations, Complaints, and Lawsuits

As of the current Title VI Program submission, no transit-related complaints specific to Title VI were filed; therefore, there are no incidents to track or report. The City of McCook Transit would use the Complaint and Lawsuit Tracking Form in **Appendix D** to conduct an investigation, receive a complaint, or file a lawsuit alleging discrimination on the basis of race, color, or national origin. The City of McCook Transit will report all Title VI complaints to the NDOT Civil Rights Office and FTA.

2.6 Inclusive Public Participation

The City of McCook Transit's public involvement strategy is intended to promote awareness and provide ample opportunity for the public to participate in the City of McCook Transit's transportation decision-making surrounding projects, fares and/or service charges, and application for federal operating assistance. Examples include the following:

- Ensuring the timely dissemination of information to the public
- Considering the input and encouraging the participation of underserved groups in the City of McCook Transit's transportation decision-making process
- Granting timely public notice and an adequate review period through this process
- Facilitating adequate public review of major project revisions
- Granting the opportunity for the review of proposed and final plans
- Encouraging and documenting public comment

For these purposes, the City of McCook Transit will announce and hold a public hearing in the event of a fare increase, major change in service, or capital construction project. Additionally, the City of McCook Transit will provide adequate public notice in the event of a vehicle purchase or when submitting an application for state or federal operating assistance funds with no major service changes or fare increases.

For the purpose of definition, a major change or reduction service will include a reduction in total system vehicle-hours of 10 percent or more, the elimination of service in an area with a population of 2,000 or more, the elimination of service on one or more days of the week, or a change in the type of transit service in an area with a population of 2,000 or more. A fare increase will include an increase in single ride fare for any transit service including other fare categories or a decrease in the discount(s) offered for fare categories.

Public hearings will be advertised in a newspaper of general circulation in the geographic area the project will serve at least 15 calendar days in advance of the public hearing, and the comment period will be extended 15 days following the public hearing. Notice of hearings will include a concise description of the proposed project and will advertise the availability of translated copies of said hearing notice and/or other publicly released meeting documents in accordance with the City of McCook Transit's LAP. Hearings will be held in accessible locations and at times convenient for public attendance.

Written or verbal comments from the public will be accepted during and for at least 15 days following the public hearing. These comments will be reviewed as part of the agency's decision-making process surrounding transportation projects.

An agency staff member will record and prepare formal minutes of the public hearing. These minutes will be available to the public on request. Translations of these minutes, as well as other publicly released meeting documents (e.g., announcements, surveys, comment cards), will be made available to members of the public on request. The availability of translated minutes and other public documents will be advertised on the agency's public hearing notice.

Summary of Past Outreach Efforts

The City of McCook Transit routinely performs outreach to the public through a number of outlets, including brochures, radio advertising, and local community partnerships.

The City of McCook Transit personnel report daily interaction with persons of limited English proficiency – an estimate supported by the LAP four-factor analysis accompanying the current Title VI Program submission. As such, the agency's current public participation strategy has been revised as described above to enhance opportunities for participation by persons of limited English proficiency.

2.7 Providing Meaningful Access to LEP Persons

City of McCook Transit provides transportation to the general public located within the City of McCook. City of McCook Transit personnel report that contact with clients of Limited English Proficiency (LEP) is common, with almost daily interaction with LEP clients by the agency. The following analysis was completed to inform a Language Assistance Plan that considers the needs of LEP persons who could potentially be encountered by the agency as it administers its programs in the service area.

To facilitate this analysis, 2019-2023 America Community Survey data was analyzed for the agency's service area to inform the Four-Factor Analysis. The data show that the number and proportion of LEP persons in the service area is low, with approximately 94 percent of the population estimated to speak only English. However, City of McCook Transit personnel report providing transit service to LEP persons on a daily basis. These results and the City of McCook Transit four-factor analysis can be found in **Appendix C**.

Service Area Profile Conclusions

Based on the four-factor analysis, the number and proportion of non-English speaking LEP persons in the vicinity of City of McCook Transit is low, with no non-English language groups exceeding the Safe Harbor Threshold of 1,000 or more LEP persons or greater than 5 percent of the service area population. However, the agency personnel report contract with LEP persons on a daily basis. As a result, City of McCook Transit provides additional language assistance measures. When staff encounter individuals with limited English proficiency, employees are trained to respond appropriately and to provide meaningful access to services, as detailed in the Language Assistance Plan, using language assistance resources available through NDOT.

Language Assistance Plan

City of McCook Transit has access to language assistance resources through the Nebraska Department of Transportation, including document translation and verbal interpretation services. Using this resource, City of McCook Transit's Title VI Notice to the Public, Discrimination Complaint Form, and Discrimination Complaint Procedures Form have been translated into Spanish for public distribution and for posting on the agency's website. In the event of a public hearing by City of McCook Transit, publicly distributed meeting documents, including meeting minutes, can be translated upon request using these resources.

City of McCook Transit has access to verbal interpretation services through the Nebraska Department of Transportation and the City of McCook. These resources will be used whenever in-person or over-the-phone interpretation is required to assist riders. The agency will also take reasonable steps to support LEP individuals who may choose to access its programs and services in the future.

Additionally, "I Speak" cards will be available at the agency's main office. These cards allow LEP individuals to quickly identify their spoken language when it cannot be easily determined by staff. This tool will help City of McCook Transit identify language assistance needs as they arise and ensure appropriate support is provided.

2.7.1 Monitoring and Updating the City of McCook Transit LAP

The City of McCook Transit understands that language needs will change as the service area population changes. The City of McCook Transit will revisit the LAP every 3 years and make appropriate changes. Updates may include the following:

- The number of documented LEP person contacts encountered since the last update
- Description of how the needs of LEP persons have been addressed
- Determination of the current LEP population in the agency service area
- Determination of whether the need for language assistance has changed
- Determination of whether local language assistance has been effective and sufficient at meeting needs
- Determination of whether the agency's available outreach resources are sufficient to supply necessary language assistance
- Determination of whether complaints have been received concerning the agency's failure to meet the needs of LEP persons

2.7.2 Employee Training

The City of McCook Transit's transit personnel are required to review the current Title VI Program document and sign a written statement declaring their understanding of their obligation to provide service regardless of race, color, or national origin.

Necessary personnel will be familiar with the agency's procedures for handling a potential Title VI complaint.

Beth Siegfried, the City of McCook Transit Director, has taken part in the Title VI planning and training sessions through NDOT.

Additional resources for employee training include a Title VI training course hosted by NDOT and ongoing Title VI assistance and oversight provided by the NDOT Civil Rights Office.

2.8 Planning and Advisory Bodies

The City of McCook Transit does not have a transit-related, non-elected planning board, advisory council, or other committee. In the event such a committee were established prior to the City of McCook Transit's next Title VI program submission, the demographic makeup of the planning board or committee would be summarized, as required.

2.9 Equity Analysis to Determine Site or Location of Facilities

The City of McCook Transit will complete a Title VI equity analysis during the planning stage for construction projects using FTA funds with regard to where a project is located or sited and to compare the impact of siting alternatives. The purpose of the equity analysis will be to ensure that the determination of the site or location of facilities was made without denying anyone the benefits of a federally funded program or subjecting anyone to discrimination on the basis of race, color, or national origin. Copies of subsequent equity analyses will be included in NDOT's 2029 Title VI Program submission. The City of McCook Transit will complete an equity analysis for projects related to facilities, including but not limited to storage facilities, maintenance facilities, operations centers, etc. NDOT follows the Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970.

As of the publication of this Title VI Program Plan, no new location or existing facility upgrade is programmed for the time period of this plan. If one is programmed after approval, it will be amended into this document as an appendix.

3 Requests for Additional Information

The City of McCook Transit will fully cooperate with any FTA investigation of discrimination complaints to the extent required by Title VI regulations of FTA Circular 4702.1B.

Appendix A

City of McCook Transit Title VI Notice

Title VI Notice to the Public

City of McCook Transit operates its programs and services without regard to race, color, or national origin in accordance with Title VI of the Civil Rights Act. Any person who believes they have been aggrieved by an unlawful discriminatory practice under Title VI may file a complaint of discrimination by completing and submitting the agency's Title VI Discrimination Complaint Form. This form can be downloaded on the subrecipient's website at <https://www.cityofmccook.com/117/McCook-Public-Transit> requested by contacting Beth Siegfried, Transit Director, at the address provided below.

To request more information on the agency's Title VI obligations or to obtain a detailed description of the agency's Title VI discrimination complaint procedures, please visit the agency website or contact the agency using the information provided. A telephone interpreter can be provided to assist persons of limited English proficiency.

Questions about Title VI? Please contact:

¿Preguntas sobre el Título VI? Por favor comuníquese con:



Subrecipient Organization: City of McCook Transit

Attn: Beth Siegfried, Transit Director

Mailing Address: 505 W C Street
City, State ZIP: McCook, NE 69001



Phone: 308-345-6098



Email: bsiegfried@cityofmccook.com



Website:
<https://www.cityofmccook.com/117/McCook-Public-Transit>

Notificación al Público sobre el Título VI

City of McCook Transit opera sus programas y servicios sin tomar en cuenta raza, color, u origen nacionalidad de conformidad con el Título VI del Acta de Derechos Civiles. Cualquier persona que crea que ha sido agraviada por cualquier práctica discriminatoria ilegal bajo el Título VI puede presentar una queja de discriminación al completar y enviar el Formulario de Queja de Discriminación de Título VI de la agencia. Este formulario se puede descargar del sitio web del subreceptor en <https://www.cityofmccook.com/117/McCook-Public-Transit> solicitarse comunicándose con Beth Siegfried, Transit Director, a la dirección proporcionada arriba.

Para solicitar mas información sobre las obligaciones de Título VI de la agencia o para obtener una descripción detallada del procedimiento de Quejas de Discriminación del Título VI, favor de visitar la pagina de la agencia o contactar la agencia a la dirección proporcionada arriba. Un interprete telefónico está disponible para asistir personas de dominio de Inglés limitado.



NEBRASKA
Good Life. Great Journey.
DEPARTMENT OF TRANSPORTATION

Appendix B

City of McCook Transit Title VI Discrimination Complaint Form

Title VI Discrimination Complaint Form

Please complete, sign, and return this form to the address listed at the bottom of the page.

NEBRASKA

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DEPARTMENT OF TRANSPORTATION

Complainant name				
Address		City	State	Zip code
Phone		Email		

Person discriminated against, if different from complainant				
Address		City	State	Zip code
Phone		Email		

Type of discrimination:	<input type="checkbox"/> Race/Color	<input type="checkbox"/> Age	<input type="checkbox"/> Sex	<input type="checkbox"/> National origin	<input type="checkbox"/> Disability	<input type="checkbox"/> Other
-------------------------	-------------------------------------	------------------------------	------------------------------	--	-------------------------------------	--------------------------------

Date of incident	
------------------	--

Please provide the date and location of the alleged discriminatory actions, including both the earliest and most recent incidents.

Please provide a brief and clear account of the discriminatory incident, including details of what happened, who was involved and any differential treatment compared to others. You may also include supporting materials for your complaint. Please attach any additional written or supporting information that you believe is relevant to this complaint.

Please provide the names and contact information of persons, including witnesses or others, whom we may contact for additional information to investigate your complaint.

To process your complaint, please ensure it is signed and dated below.	
Signature	
Date	



<p>City of McCook Transit 505 W C Street McCook, NE 69001</p>
<p>bsiegfried@cityofmccook.com</p>

OFFICE USE ONLY	
Received by	Date received

Título VI Formulario de queja por discriminación **NEBRASKA**

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DEPARTMENT OF TRANSPORTATION

Complete, firme y envíe este formulario a la dirección que aparece en la parte inferior de la página.

Nombre del denunciante										
Dirección				Ciudad			Estado		Código postal	
Teléfono				Correo electrónico						

Víctima de la discriminación, si es diferente del denunciante										
Dirección				Ciudad			Estado		Código postal	
Teléfono				Correo electrónico						

Tipo de discriminación:	<input type="checkbox"/> Raza/Color	<input type="checkbox"/> Edad	<input type="checkbox"/> Sexo	<input type="checkbox"/> Nación de origen	<input type="checkbox"/> Discapacidad	<input type="checkbox"/> Otra opción
Fecha del incidente						

Proporcione la fecha y el lugar de las supuestas acciones discriminatorias, incluidos tanto los incidentes más tempranos como los más recientes.

Proporcione un informe breve y claro del incidente discriminatorio, incluidos los detalles de lo que sucedió, quién estuvo involucrado y cualquier tratamiento diferencial en comparación con otros. También puede incluir materiales de respaldo para su queja. Adjunte cualquier información adicional por escrito o de apoyo que considere relevante para esta queja.

Proporcione los nombres y la información de contacto de las personas, incluidos los testigos u otras personas, con quienes podamos comunicarnos para obtener información adicional para investigar su queja.

Para procesar su queja, asegúrese de que esté firmada y fechada a continuación.	
Firma	
Fecha	

DIRECCIÓN POSTAL 

CORREO ELECTRÓNICO 

<p>City of McCook Transit 505 W C Street McCook, NE 69001</p>
<p>bsiegfried@cityofmccook.com</p>

SOLO PARA USO DEL OFICINA		
Recibido por		Fecha de recepción

Appendix C

City of McCook Transit Four-Factor Analysis

City of McCook Transit Four Factor Analysis

City of McCook Transit provides transportation to the general public located within the City of McCook. City of McCook Transit personnel report that contact with clients of Limited English Proficiency (LEP) is common, with almost daily reported contacts with LEP clients by the agency. The following analysis was completed to inform a Language Assistance Plan that considers the needs of LEP persons who could potentially be encountered by the agency as it administers its programs in the service area.

To facilitate this analysis, 2019-2023 American Community Survey data was analyzed for the agency's service area to inform the Four-Factor Analysis. The data show that the number and proportion of LEP persons in the service area is low, with approximately 95 percent of the population estimated to speak only English.

Based on the four-factor analysis, the number and proportion of non-English speaking LEP persons in the vicinity of City of McCook Transit is low, with no non-English language groups exceeding the Safe Harbor Threshold of 1,000 or more LEP persons or greater than 5 percent of the service area population. However, the agency personnel report that contact with LEP persons is common. As a result, City of McCook Transit has not identified a current need to develop additional language assistance measures. However, should staff encounter individuals with limited English proficiency, employees are trained to respond appropriately and to provide meaningful access to services, as detailed in the Language Assistance Plan, using language assistance resources available through NDOT.

Factor 1: The number or proportion of LEP persons eligible to be served or likely to encountered by the program or recipient

City of McCook Transit provides transportation service for the residents of McCook. To estimate the number and proportion of individuals with LEP in the service area, data from the 2019-2023 American Community Survey was reviewed. For this analysis, LEP is defined as individuals who speak English less than "very well". LEP may also refer to individuals with limited ability to read, write, or understand English.

City of McCook Transit service area LEP profile

- The total number of persons over the age of five within the City of McCook is 6,902.
- Approximately 95 percent of this total population speak English only.
- Spanish is the largest non-English language group in the City of McCook Transit service area. This language group is estimated to be 155 LEP persons, or approximately 2.2 percent of the area's total population.
- Other language groups in the City of McCook Transit service area contained a low number or proportion of LEP persons that did not surpass the Safe Harbor Threshold of 1,000 LEP persons or greater than 5 percent proportion of LEP persons in the service area.

Factor 1a: How LEP persons interact with the agency

Agency staff report that contact with LEP individuals is common, with almost daily interaction with LEP clients by the agency. It is estimated that such contact would most likely occur while scheduling or providing transportation.

Factor 1b: Literacy skills of LEP persons in their native language to determine whether the translation of written documents will be an effective practice

No complete data on native language literacy was available. If additional data becomes available, it will be incorporated into future analyses. Based on current resources and practices, the agency does not anticipate significant barriers to service due to literacy limitations.

Factor 1c: Whether LEP persons are underserved due to language barriers

City of McCook Transit personnel report that interaction with LEP persons is common. It is not anticipated that barriers to service due to language exist at this time.

Factor 2: Frequency of Contact with LEP persons

City of McCook Transit personnel report that contact with LEP individuals while administering programs and services is common, with almost daily occurrences.

Factor 3: Nature and importance of the Program, Activity, or Service

City of McCook Transit operates a public transportation agency, which is available to all residents. These services provide essential mobility services and access to critical destinations. These destinations include but are not limited to, medical appointments, employment, education, shopping, and social activities. The agency considers its services to be of high value to the residents of McCook.

Factor 4: Resources Available and Associated Costs

City of McCook Transit has access to Title VI LEP outreach resources through NDOT, including document translations assistance and verbal translation over the phone using Nebraska Language Line, Title VI template documents (e.g., Title VI Notice to the Public, Title VI Complaint Form, etc.), and general Title VI assistance and oversight.

Language Assistance Plan

City of McCook Transit has access to language assistance resources through the Nebraska Department of Transportation, including document translation and verbal interpretation services. Using this resource, City of McCook Transit's Title VI Notice to the Public, Discrimination Complaint Form, and Discrimination Complaint Procedures Form have been translated into Spanish for public distribution and for posting on the agency's website. In the event of a public hearing by City of McCook Transit, publicly distributed meeting documents, including meeting minutes, can be translated upon request using these resources.

City of McCook Transit has access to verbal interpretation services through the Nebraska Department of Transportation and City of McCook. These resources will be used whenever in-person or over-the-phone interpretation is required to assist riders. The agency will also take reasonable steps to support LEP individuals who may choose to access its programs and services in the future.

Additionally, U.S. Census "I Speak" cards will be available at the agency's main office. These cards allow LEP individuals to quickly identify their spoken language when it cannot be easily determined by staff. This tool will help City of McCook Transit identify language assistance needs as they arise and ensure appropriate support is provided.

Appendix D

City of McCook Transit Title VI Complaint Investigation Log

Title VI Complaint and Lawsuit Tracking Form

Title VI Complaints

Complainant Name	Date of Incident	Date Filed	Summary of Complaint (include basis of complaint: race, color, or national origin)	Complaint resulted in investigation? (Y/N)	Status of complaint: active or closed?	Summary of Findings OR Reason Complaint was not Investigated (N/A if active)	Notes

Title VI Lawsuits

Name of Plaintiff	Date of Incident	Date Filed	Allegation(s)	Status: Active or Closed?	Result (N/A if active)	Notes

Submitted by:

Subrecipient Organization: City of McCook Transit
 Attn: Beth Siegfried, Transit Director
 Address: 505 W C Street
 City, State ZIP: McCook, NE 69001
 Phone: 308-345-6098
 Email: bsiegfried@cityofmccook.com



**CITY MANAGER'S REPORT
FEBRUARY 16, 2026 CITY COUNCIL MEETING**

ITEM: **3.C.**

RECOMMENDATION:

AWARD THE BID FOR ONE NEW REFUSE TRANSPORT TRAILER TO BE USED AT THE TRANSFER STATION TO KNL HOLDINGS, LLC. IN THE AMOUNT OF \$106,513.00.

BACKGROUND:

On February 3, 2026 sealed bids were opened for the purchase of one new refuse transport trailer for use at the transfer station. An amount of \$110,000 was included in the FY 2025-2026 budget for one trailer. We received a total of 4 bids for the trailers. The bid from KNL Holdings, LLC. in the amount of \$106,513.00 was the lowest responsible bid.

The other bids that were received are as follows:

IMCO Trailers(IMCO Trailer): \$102,611.00 - This trailer did not meet specifications as it only included 2 axles(8 tires) and included a double ridge floor. The specification required a third lift axle(12 tires) and a triple ridge floor.

IMCO Trailers(MAC Trailer): \$136,076.00

MAC Trailer Manufacturing: \$136,419.00

Delivery is estimated to be 98 days from the date of award of bid.

FISCAL

IMPACT: None

APPROVALS:



Kyle Potthoff, Public Works Director

February 10, 2026



Nate Schneider, City Manager

February 10, 2026

FEBRUARY 3, 2026
2:30 P.M.

ONE (1) NEW REFUSE TRANSPORT TRAILER
SOLID WASTE

<p>BIDDER: <u>IMCO Trailers</u></p> <p>ONE (1) NEW REFUSE TRANSPORT TRAILER</p> <p>Trailer Manufacturer: <u>MAC Trailer</u></p> <p>Model Number: <u>SPRefuse 53</u></p> <p>COST (1) TRAILER: <u>\$ 136,076</u></p> <p>Delivery: <u>180 Days</u></p> <p>BIDDER:</p> <p><u>MAC Trailer MFG.</u></p> <p>ONE (1) NEW REFUSE TRANSPORT TRAILER</p> <p>Trailer Manufacturer: <u>MAC Trailer</u></p> <p>Model Number: <u>Walking Floor</u></p> <p>COST (1) TRAILER: <u>\$ 136,419.00</u></p> <p>Delivery: <u>180 days</u></p>	<p>BIDDER: <u>Imco Trailers</u></p> <p>ONE (1) NEW REFUSE TRANSPORT TRAILER</p> <p>Trailer Manufacturer: <u>Imco Trailers</u></p> <p>Model Number: <u>53LF</u></p> <p>COST (1) TRAILER: <u>\$ 102,611</u></p> <p>Delivery: <u>Not Specified</u> <u>Did not meet Spec</u></p> <p>BIDDER:</p> <p>ONE (1) NEW REFUSE TRANSPORT TRAILER</p> <p>Trailer Manufacturer: _____</p> <p>Model Number: _____</p> <p>COST (1) TRAILER: _____</p> <p>Delivery: _____</p>	<p>BIDDER: <u>KNL Holdings LLC</u></p> <p>ONE (1) NEW REFUSE TRANSPORT TRAILER</p> <p>Trailer Manufacturer: <u>KNL Holdings</u></p> <p>Model Number: <u>53' RTSSF</u></p> <p>COST (1) TRAILER: <u>\$ 106,513.00</u></p> <p>Delivery: <u>98 days</u></p> <p>BIDDER:</p> <p>ONE (1) NEW REFUSE TRANSPORT TRAILER</p> <p>Trailer Manufacturer: _____</p> <p>Model Number: _____</p> <p>COST (1) TRAILER: _____</p> <p>Delivery: _____</p>
--	---	--

Lea Ann Doak
Lea Ann Doak, City Clerk

[Signature]
Witness

**CITY MANAGER'S REPORT
FEBRUARY 16, 2026 CITY COUNCIL MEETING**

ITEM: 3.D.

RECOMMENDATION:

APPROVE THE REQUEST FOR PROPOSALS FOR FIXED BASE OPERATOR SERVICES AT McCook Ben Nelson Regional Airport AND SET THE DEADLINE TO RECEIVE THEM AS 4:30 P.M. CDT ON APRIL 1, 2026.

BACKGROUND:

In late 2024, the Fixed Base Operator that was servicing McCook Ben Nelson Regional Airport filed for bankruptcy. This left the airport without fueling, hangar and mechanical services. Knowing that these services were extremely important to the viability of the airport, the City Council made the decision to utilize Council contingency funds to contract with 3 of the former FBO's employees to provide fueling service at the airport. Fortunately the bankruptcy trustee worked with the City to utilize the FBO's assets, that were located on airport property, so that these services could once again be operational. The City continues to use contingency funds to keep the fueling and hangaring services available.

After a long process of working thru the bankruptcy, the City of McCook worked directly with the McCook Economic Development Corporation to gain ownership of the FBO's assets that are located on the airport. With a generous private donation, the MEDC was able to purchase these assets, so that they would be owned and controlled locally.

The first step in identifying a new FBO was to hire a dedicated Airport Manager. With the help of a private donation and after conducting interviews, Chance Evans was selected to fill this role. Chance has extensive knowledge of the airport and aviation in general. He began employment with the MEDC on January 19, 2025.

The second step was to formulate a Request for Proposals to advertise and send out to prospective FBO's. The City of McCook and McCook Economic Development Corporation have been working together over the past couple of weeks to formulate this document in hopes of attracting a new FBO. As stated in the RFP, the deadline for the submission of proposals is no later than 4:30 p.m. CDT on April 1, 2026.

Once proposals are submitted, a committee will review all proposals, schedule interviews and ultimately make a recommendation as to who our next Fixed Base Operator will be. We are hopeful that we will garner a lot of interest for this service.

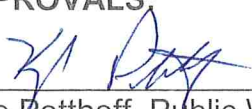
Additionally, the MEDC Executive Board approved an FBO hiring committee, minutes of said action item is included with this report.

This will be a huge step in helping the airport heal and grow moving into the future.

**FISCAL
IMPACT:**

Once a FBO is selected and becomes operational at the airport, the City Council's contingency dollars will no longer be utilized.

APPROVALS:



Kyle Potthoff, Public Works Director

February 11, 2026



Nate Schneider, City Manager

February 11, 2026

REQUEST FOR PROPOSALS (RFP)

Fixed Base Operator (FBO) Services & Lease Agreement

McCook Ben Nelson Regional Airport (KMCK)
McCook, Nebraska

Issued by:
City of McCook, Nebraska
McCook Economic Development Corporation (MEDC)

Issue Date: February 16, 2026
Proposal Due Date: April 20, 2026

1. INTRODUCTION & PURPOSE

The City of McCook, Nebraska ("City"), in coordination with the McCook Economic Development Corporation ("MEDC") (collectively, the "Sponsor"), invites proposals from qualified aviation service providers to serve as the Fixed Base Operator ("FBO") at McCook Ben Nelson Regional Airport ("Airport" or "KMCK").

The Airport is a publicly owned, federally obligated, FAA Part 139 certificated facility serving commercial, general aviation, business aviation, agricultural aviation, and regional economic development needs in southwest Nebraska. Commercial air service is currently provided by Denver Air Connection utilizing Fairchild SA227-DC Metro 23 aircraft with nine passenger seats.

In 2025, the Airport completed an updated Airport Master Plan and Airport Layout Plan (ALP). In January 2026, the Airport hired its first dedicated Airport Manager, signaling a strategic transition toward enhanced operational oversight, service quality, and long-term sustainability. The Sponsor seeks an experienced FBO partner capable of delivering safe, reliable, compliant services while investing in the long-term success of the Airport and region.

The selected proposer will enter into a long-term lease and operating agreement with the City and MEDC to provide aeronautical and non-aeronautical services in compliance with all applicable federal, state, and local regulations.

2. AIRPORT OVERVIEW & ASSETS

General Airport Information

- **Airport Name:** McCook Ben Nelson Regional Airport
- **FAA Identifier:** KMCK
- **Location:** McCook, Nebraska

- **FAA Part 139 Classification:** Class IV
- **Primary Use:** Commercial and General Aviation
- **Based Aircraft:** Approximately 20

MEDC-Owned FBO Assets (Acquired 2025)

- Office / Warehouse Building – 2,885 sq. ft. (built 1940)
- Office / Hangar Building – 5,230 sq. ft. (built 1970; expanded 2000)
- Shop / Warehouse Building – 5,436 sq. ft. (built 2000; expanded 2015)
- Aircraft Hangar – 12,000 sq. ft. (built 2005)
- Fuel Farm – Two (2) 12,000-gallon underground tanks (100LL and Jet A)
- Fuel Trucks – Two (2) fuel trucks for 100LL and Jet A

City-Owned Airport Infrastructure

- Runway 12/30 – 6,448' x 100' (concrete) with a 750' permanently displaced threshold on RWY 30
- Runway 4/22 – 4,000' x 75' (concrete)
- Taxiways Alpha, Bravo, Charlie, and Delta
- Airfield lighting, signage, and navigational aids
- Terminal apron – approximately 800' x 250'
- City-owned self-fueling facility (two 10,000-gallon above-ground tanks), self-service pumps scheduled for construction beginning Spring 2026

3. OBJECTIVES OF THE RFP

The objectives of this RFP are to:

- Select a qualified FBO operator capable of providing safe, reliable, and compliant aeronautical services
- Establish a long-term lease and operating framework that supports sustainable Airport operations
- Ensure fair, reasonable, and nondiscriminatory access to services for all Airport users
- Promote general aviation, business aviation, transient traffic, and regional economic development
- Maintain compliance with FAA grant assurances, federal regulations, and City policies

4. SCOPE OF SERVICES

The selected FBO shall provide, at a minimum, the following core aeronautical services, either directly or through approved subcontracting arrangements consistent with Airport Minimum Standards.

Required Services

- Aircraft fueling and lubricant sales (Jet A and 100LL)
- Aircraft parking and storage (ramp and hangar)
- Ground handling services, including ramp use, hangar management, towing and tie-downs
- Airframe and Powerplant (A&P) maintenance and repair services (routine and/or MRO), with the capability to perform annual inspections through an Inspection Authorization (IA)
- Flight training
- UNICOM operations
- Flight planning support and access to current weather information and briefing services.
- Pilot, passenger, and crew amenities (lounge, Wi-Fi, refreshments, ground transportation coordination)
- Courtesy vehicles and ground transportation services

Optional / Value-Added Services

Proposers are encouraged to identify additional services, including but not limited to:

- Part 135 charter operations or support
- Aircraft sales, brokerage, and rental
- Aerial application services
- Avionics or instrument services
- Concierge and catering coordination
- Aircraft de-icing services

All services must be provided in a fair, reasonable, and nondiscriminatory manner consistent with FAA requirements.

5. FACILITIES & DEVELOPMENT

Proposers shall describe:

- Facilities and leasehold areas to be utilized
- Planned improvements, renovations, or new construction
- Phasing plans and implementation timelines
- Compliance with the Airport Layout Plan (ALP) and FAA design standards
- Responsibility for utilities, maintenance, snow removal, and capital investment

All development must comply with FAA grant assurances, Airport Minimum Standards, environmental regulations, and applicable local building codes.

6. REGULATORY & SAFETY COMPLIANCE

The selected FBO must comply with all applicable requirements, including but not limited to:

- FAA 14 CFR Part 139
 - FAA Grant Assurances
 - TSA security requirements (as applicable)
 - Airport Minimum Standards and Rules & Regulations
 - Environmental regulations (including SPCC and SWPPP)
 - Federal, state, and local nondiscrimination requirements
 - All applicable federal, state, and local laws and ordinances
-

7. LEASE TERMS (SUMMARY – SUBJECT TO NEGOTIATION)

The final lease and operating agreement will be negotiated with the selected proposer and is anticipated to include:

- **Lease Term:** Long-term lease options with the ability to renew or extend overtime.
 - **Leasehold Areas:** Hangars, apron, terminal space, fuel facilities, and related premises may be available.
 - **Rent Structure:** Base rent, fuel flowage fees, percentage fees, or a combination thereof
 - **Utilities & Taxes:** FBO responsible for all utilities, taxes, and assessments on leased premises.
 - **Maintenance & Snow Removal:** FBO responsible for leased areas.
 - **Insurance & Indemnification:** Coverage limits to be defined in final agreement.
 - **Assignment/Sublease:** Prohibited without City approval.
 - **Performance Standards & Default Remedies:** As defined by the Sponsor.
-

8. PROPOSAL SUBMISSION REQUIREMENTS

Each proposal shall include, at a minimum:

A. Executive Summary

B. Company Qualifications & Experience

- Ownership structure, years in business, comparable FBO operations, and references

C. Operational Plan

- Services provided, staffing and management structure, hours of operation, fueling and maintenance plans, safety and compliance program

D. Facilities & Development Plan

- Use of existing facilities, proposed improvements, equipment inventory

E. Financial Proposal

- Proposed rent and escalation, fuel flowage fee, capital investment commitments, financial capacity

F. Safety Management System (SMS) Overview

G. Disadvantaged Business Enterprise (DBE) Participation (if applicable)

H. Transition Plan

- Timeline, staffing, training, and continuity of service

I. Exceptions or Requested Modifications

9. EVALUATION CRITERIA

Proposals will be evaluated using a best-value approach based on, but not limited to:

- Demonstrated experience and qualifications in operating Fixed Base Operator (FBO) services; preference and/or additional evaluation points will be awarded to proposers with prior FAA Part 139 airport experience
- Quality and completeness of services and operational plan
- Financial strength and long-term viability
- Capital investment and development commitment
- Customer service philosophy and safety record
- Regulatory compliance and SMS implementation
- Proposed lease and financial terms
- Transition readiness

The Sponsor reserves the right to request interviews, clarifications, or additional documentation.

10. PROCUREMENT SCHEDULE

- RFP Issued: February 16, 2026
 - Questions Due: March 13, 2026
 - Responses Issued: March 20, 2026
 - Proposals Due: April 1, 2026 by 4:30 p.m. CDT
 - Individual Presentations/Interviews: April 7 – 17, 2026
 - Anticipated Award Date: April 20, 2026
-

11. CONDITIONS & RESERVATIONS

The Sponsor reserves the right to:

- Reject any or all proposals
 - Waive informalities or minor irregularities
 - Negotiate with one or more proposers
 - Modify, suspend, or cancel this RFP at any time
 - Accept a proposal that is in the best interest of the Airport and community
-

12. POINT OF CONTACT

Kyle Potthoff

Public Works Director

City of McCook

Email: potthoff@cityofmccook.com

Phone: (308) 345-2022

13. SUBMISSION INSTRUCTIONS

Charlie McPherson

Executive Director

McCook Economic Development Corporation

Email: Charlie@mccookne.org

Phone: (308) 345-1200

Mail to :

McCook Economic Development Corporation
c/o Charlie McPherson
402 Norris Ave. | Suite 301
McCook, NE 69001


**McCOOK ECONOMIC DEVELOPMENT CORPORATION
FEBRUARY 10, 2026 7:00 A.M.
KBC TRAINING ROOM**

Approval of FBO Hiring Committee

Jerry Calvin made the motion to approve the FBO hiring committee which includes Greg Wolford, Cody Dewester, Nate Schneider, Kyle Potthoff, Mike Kugler, Chance Evans, Charlie McPherson, and Jerry Gohl. Kent Craw seconded the motion. The motion passed.

CERTIFICATE AS TO MINUTES OF MEETING OF DIRECTORS:

I, Troy Bruntz, President of McCook Economic Development, certify that the above is a true and correct excerpt from the minutes of the regular board meeting of McCook Economic Development Corporation held at 402 Norris Avenue, Suite 302 on Tuesday, February 10, 2026 and that the meeting was duly called and held in all respects in accordance with the laws of the State of Nebraska and bylaws of the company and that a quorum was present.



Troy Bruntz, President

**CITY MANAGER'S REPORT
FEBRUARY 16, 2026 CITY COUNCIL MEETING**

ITEM: 3.E.

RECOMMENDATION:

**APPROVE THE SPECIFICATIONS FOR THE NORTH POINTE PHASE III
PAVING AND UTILITIES PROJECT AND SET THE TIME AND DATE TO
RECEIVE BIDS AS 2:30 P.M. MARCH 10, 2026**

BACKGROUND

This project is the paving, water and sanitary sewer for Phase III of the North Pointe Housing Development. The streets involved on North Pointe are West 9th from S to T Street and T Street from West 9th to West 7th Street. The street paving will be done with concrete.

Included with the Plans and Specifications is the Drainage Report which was prepared for both Phases II and III. The report shows that the detention pond included in Phase III will reduce the peak runoff from the fully developed site to less than the peak runoff when the site was a farm field.

The cost for the North Pointe Phase III improvements is being paid for with TIF financing through MEDC, so this project does not impact the city-wide street financing on the One and Six Year Plan.

FISCAL IMPACT: None.

APPROVALS:



Greg Wolford, W Design Associates

Date: 11 Feb 26



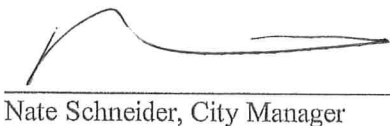
Kyle Potthoff, Public Works Director

Date: 2/11/26



Pat Fawver, Utilities Director

Date: 2/11/2026



Nate Schneider, City Manager

Date: 2-11-26

**BID PROPOSAL, CONTRACT DOCUMENTS
AND SPECIFICATIONS
FOR
THE CITY OF McCOOK, NE
NORTH POINTE PAVING & UTILITES PHASE III
McCOOK, NEBRASKA**

FEBRUARY, 2026



CERTIFICATE OF AUTHORIZATION: CA0011

**PREPARED BY
W DESIGN ASSOCIATES
CONSULTING ENGINEERS AND ARCHITECTS
MCCOOK/HASTINGS, NEBRASKA**

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<u>GENERAL INSTRUCTIONS</u>	<u>SECTION</u>
Advertisement for Bids	00020
Instructions to Bidders	00100
Proposal form	00310

GENERAL CONDITIONS AND CONSTRUCTION CONTRACT

Contract	00500
General Conditions* AIA A201, 2017 Edition	
Supplementary Conditions	00800
Notice of Award	NA - 1
Notice to Proceed	NP - 1

*These AIA Documents shall be considered a part of these written Contract Documents as if attached hereto and herein written.

DETAILED SPECIFICATIONS

SUMMARY OF WORK	01010
ALTERNATE MATERIALS OR METHODS	01100
EXISTING FACILITIES	01800
CONSTRUCTION SPECIFICATIONS	02000
SPECIAL PROVISIONS FOR CONSTRUCTION SPECIFICATIONS	02001
TRENCH EXCAVATION AND BACKFILLING	02220
WATER DISTRIBUTION SYSTEM	02510
SANITARY SEWER	02560

ADVERTISEMENT FOR BIDS

505 West C Street

The City of McCook, Nebraska will receive bids for the North Pointe Phase III Paving and Utilities Project. Sealed bids prepared in accordance with the Plans and Specifications will be accepted at the Office of the Clerk, ~~P.O. Box 1059 or City Office~~, McCook, Nebraska 69001-3618 until 2:30 P.M. CDST on March 10, 2026 and then will be immediately publicly opened and read aloud in the City Council Chambers, ~~City Office~~, McCook, Nebraska.
McCook Municipal Center

All bids must be made on the Proposal Form provided with the Plans and Specifications as prepared by W DESIGN ASSOCIATES, Consulting Engineers and Architects. Bids received after the closing will be returned unopened and shall not be considered.

Contractors may obtain paper Plans and Specifications from W Design Associates, 214 East 1st Street, McCook, Nebraska 69001 upon payment of \$75.00 for each set requested. One half of the deposit shall be refunded if a bid is submitted and the Plans and Specifications are returned in good condition within ten days after the bid opening. Electronic copies of the plans and specifications may be obtained at NO COST by calling Breanna Spitz at 402-463-2377 or by email to Breanna@wdesignea.com.

Each bid shall be accompanied by a certified check, cashiers check or bid bond in an amount of not less than five percent (5%) of the total bid amount, and shall be made payable to The City of McCook as security that the bidder to whom the contract may be awarded will enter into contract to construct the project and give bond in the sum of the total contract amount for the construction of the project. Checks accompanying bids not accepted shall be returned to the bidders. Performance and Payment Bonds will be required for this project.

No bid shall be withdrawn after opening the bids without the consent of the Owner for a period of 45 days.

The Owner reserves the right to accept, reject or negotiate any or all bids and to waive any irregularity in the bidding.

Date: February 16, 2026

Lea Ann Doak, Clerk
City of McCook, NE

Publish: February 19, 26 and March 5, 2026

00100 - INSTRUCTIONS TO BIDDERS

A. PROJECT DESCRIPTION

The City of McCook will receive sealed bids for the North Pointe Phase III Paving and Utilities Project and associated work as described in the Plans and Specifications.

B. PROPOSALS

1. Proposals will be received for the work as described in the Summary of the Work at the date, time and location stated in the Advertisement for Bids or as modified by addendum.
2. Bids received after closing time will not be considered.

C. METHOD OF BIDDING

1. A Contractor shall bid the work shown on the Proposal Form and as described in the Summary of the Work, Section 01010. A Contractor may bid either or both of the contracts.

D. EXAMINATION OF PREMISES AND CONTRACT DOCUMENTS

1. Before submitting his bid, each bidder must (a) examine the contract documents thoroughly, (b) visit the premises to familiarize himself with local conditions that may in any manner affect performance of the work, (c) familiarize himself with Federal, State and local laws, ordinances, rules and regulations affecting performance of the work, and (d) carefully correlate his observations with the requirements of the contract documents.

2. The submission of a bid will constitute an incontrovertible representation by the bidder that he has complied with every requirement of this Paragraph D.

E. PREPARATION OF PROPOSAL

1. Each bidder must obtain a blank form of proposal from the office of the engineer or as attached herewith and prepare and submit his proposal thereon.
2. Each proposal must be submitted in a sealed envelope bearing on the outside the name of the bidder, his address, and the name of the project for which the bid is submitted.
3. If forwarded by mail, the sealed envelope containing the bid must be enclosed in another envelope addressed as indicated in the Proposal Form.

F. BONDS

1. Bid security shall be made payable to The City of McCook in the amount of five percent (5%) of the Proposal sum. Security shall be either certified check, cashiers check or bid bond issued by surety licensed to conduct business in the State of Nebraska. The successful bidder's security will be retained until he has signed the contract and furnished the required payment and performance bonds. The Owner reserves the right to retain the security of the next two

lowest bidders until the lower bidder enters into contract or until ten days after bid opening whichever is the shorter. All other bid security will be returned as soon as practicable. If a bidder refuses to enter into a Contract, the Owner will retain his Bid Security as liquidated damages, but not as a penalty.

2. The Contractor who is awarded the construction contract will be required to provide Performance and Payment Bonds in the amount of 100% of the contract amount.

G. BIDDING DOCUMENTS

1. Bidding documents may be examined at the following locations.

1.1. Offices of the Engineer,
W Design Assoc.
214 East First St., P. O. Box 99
McCook, NE 69001

W Design Assoc.
2626 West 2nd St.
Hastings, NE 68901

1.2. Office of the Clerk,
City of McCook
West 5th and C St.
McCook, NE 69001

H. DEPOSIT ON BIDDING DOCUMENTS

1. Registered paper plan holders may obtain a refund of one half of the deposit by returning usable sets of Plans and Specifications to the Engineer in good condition no later than ten (10) days after Proposals have been opened.

I. RIGHT OF OWNER

1. The Owner reserves the right to reject any or all bids or to waive irregularities in the bidding.

2. No bid may be withdrawn for a period of forty-five (45) days subsequent to the opening of the bids without the consent of the Owner.

J. NEBRASKA SALES AND USE TAX

1. The Contractor shall not include Sales and Use taxes in his or her bid, except on all items pertaining to the water main extensions and water service lines. This project is sales tax exempt for the street and sanitary sewer portions of the project, but not the water portion. The City will furnish the Contractor the required forms to act as its purchasing agent where applicable.

K. AWARD OR REJECTION OF BIDS

1. The Contract, if awarded, will be awarded to the responsible bidder who has proposed the lowest Bid, subject to the Owner's right to reject any or all bids and to waive informality and irregularity in the bids and in the bidding. Time of completion as well as price will be a consideration in the award of the bid.

L. DEFINED TERMS

1. Terms used in these Instructions to Bidders which are defined in the General Conditions of the Contract for Construction, Document A201, 2017 edition, shall have the meanings assigned to them in the General Conditions.

2. All questions about the meaning or intent of the Contract Documents shall be submitted to the Engineer in writing. Replies will be issued by Addenda mailed or delivered to all parties recorded by the Engineer as having received the bidding documents. Questions received less than seven calendar days prior to the date for opening of bids will not be answered. Only questions answered by formal written addenda will be binding. Oral and other interpretations or clarifications will be without legal effect.

3. Substitution of materials or quality from that which is specified herein shall not be allowed unless approved by the Engineer prior to bid date. Proposals shall be based on the materials and/or quality as specified herein.

4. Requests for substitutions shall be accompanied by complete manufacturer's catalog information with the specific item clearly indicated. Proposals NOT DONE in this manner will be rejected.

M. COMPLETION DATES & LIQUIDATED DAMAGES

The contractor shall complete this project no later than November 1, 2026. Contractors not completing their work by the completion date proposed on the bid form shall agree to pay as liquidated damages of the amount shown on the bid form.

L. SPECIAL INSTRUCTIONS TO BIDDERS

During the performance of this contract, the Contractor agrees as follows:

1. The Contractor will not discriminate against any employee or applicant for employment because of race, creed, sex, color, or national origin. The Contractor will take affirmative action to ensure that applicants are employed, and that employees are treated during employment, without regard to their race, creed, sex, color or national origin. Such action shall include, but not be limited to, the following: employment, upgrading, demotion or transfer; recruitment or recruitment advertising; layoff or termination; rates of pay or other forms of compensation; and selection for training, including apprenticeship. The Contractor agrees to post in conspicuous places, available to employees and applicants for employment notices to be provided by the contracting officer setting forth the provisions of this nondiscrimination clause.
2. The Contractor will, in all solicitations or advertisements for employees placed by or on behalf of the Contractor, state that all qualified applicants will receive consideration for employment without regard to race, creed, sex, color or national origin.
3. The Contractor agrees to abide by the provisions of the Nebraska Fair Employment Practices Act, as provided by Neb. Rev. Stat. §48-1101 through 48-1126 (Reissue 1998). The Contractor shall include this requirement in all subcontracts entered into pursuant to this agreement.

PROPOSAL FORM

Mayor and Council Members
McCook, NE

_____, 2026

The undersigned, having inspected the site for the proposed construction and being familiar with all conditions of the work, including Drawings and Specifications thereof entitled "North Pointe Phase III Paving and Utilities Project", McCook, Nebraska dated February, 2026, and including Addenda or Instructions issued during the estimate period, all as prepared by W DESIGN ASSOCIATES, hereby offers to furnish all plant, labor, equipment, materials and operations required for the complete and prompt execution of all work described in, or shown in, or reasonably implied by the above mentioned documents for such sums as detailed hereinafter:

ITEM DESCRIPTION	EST. QTY	UNITS	PRICE EA. \$	TOTALS \$
1. Mobilization	1	Lump Sum	_____	_____
2. Clearing & Grubbing	1	Lump Sum	_____	_____
3. 6" Strippings	2,333	Cu. Yds.	_____	_____
4. Excavation	5,609	Cu. Yds.	_____	_____
5. Embankment	6,845	Cu. Yds.	_____	_____
6. Borrow	1,641	Cu. Yds.	_____	_____
7. Remove Concrete	9	Sq. Yds.	_____	_____
8. Build 36" Curb and Gutter – 6" Thick	2,120	Lin. Ft.	_____	_____
9. Build 6" Concrete Pavement	3,416	Sq. Yds.	_____	_____
10. Adjust Manhole to Grade	1	Each	_____	_____
11. Bituminous Foundation Course 2" – Sand/Gravel	4,122	Sq. Yds.	_____	_____
12. Subgrade Preparation	4,122	Sq. Yds.	_____	_____
13. Build 6" Rock Drive	192	Sq. Yds.	_____	_____
14. Adjust Water Valve to Grade	1	Each	_____	_____
15. Install 6" D.I. 90 Degree Elbow	1	Each	_____	_____
16. Install 6" x 6" x 6" DI Tee	3	Each	_____	_____
17. Install 6" D.I. Plug	1	Each	_____	_____
18. Fire Hydrant – 5'-0" Bury	3	Each	_____	_____
19. 6" Gate Valve with Riser	5	Each	_____	_____
20. 6" PVC Main with Tracer Wire	1,080	Lin. Ft.	_____	_____
21. 8" PVC Sewer Main	455	Lin. Ft.	_____	_____
22. Install 30" Corrugated HDPE Pipe	237	Lin. Ft.	_____	_____
23. Install 12" Corrugated HDPE Pipe	54	Lin. Ft.	_____	_____
24. Install 48" Precast Manhole	3	Each	_____	_____
25. Signs and Barricades	1	Lump Sum	_____	_____
26. Seeding Type A	2	Acres	_____	_____
27. Build NDOT Standard Inlet Y=6'	1	Each	_____	_____
28. Build NDOT Standard Inlet Y=10'	1	Each	_____	_____
29. Build NDOT Standard Concrete Collar	2	Each	_____	_____
30. Build Concrete Headwall	2	Each	_____	_____

31.	Build Concrete Outlet Structure	1	Lump Sum	_____	_____
32.	Install Rip Rap & Geo Fabric	33	Sq. Yds.	_____	_____
33.	Silt Fence	485	Lin. Ft.	_____	_____

TOTAL BASE BID _____
 _____ (\$ _____)

ALTERNATE BID

16.	Install 6" x 6" x 6" D.I. Tee	2	Each	_____	_____
17.	Re-Use & Install 6" D.I. Plug	2	Each	_____	_____
19.	6" Gate Valve with Riser	2	Each	_____	_____
20.	6" PVC Main with Tracer Wire	288	Lin. Ft.	_____	_____

TOTAL ALTERNATE BID _____
 _____ (\$ _____)

Receipt of Addenda is hereby acknowledged:

No. ____ Date ____ No. ____ Date ____ No. ____ Date ____

I (we) acknowledge that the Owner reserves the right to reject any or all bids, to waive any informalities or technical defects or negotiate with any of the Contractors who have submitted Proposals if the Owner deems it to be for his best interests.

If written notice of the acceptance of this bid is mailed or delivered to the undersigned within thirty days after the date set for the opening of this bid, or at any other time thereafter before it is withdrawn, the undersigned will execute and deliver the contract Documents and Bonds to the Owner in accordance with this bid as accepted, and will also furnish and deliver to the Owner proof of insurance coverage, all within ten days after personal delivery or after deposit in the mails of the notification of acceptance of this bid.

The Contractor agrees to begin by _____, 20__ and complete the work no later than _____, 20__.

The Contractor further agrees that if work is not complete on accepted date the Contractor will pay to the Owner liquidated damages in the amount of Two Hundred Fifty Dollars (\$250.00) per calendar day until the day the work is complete and approved.

This Proposal shall remain in effect for a period of forty-five (45) days after the closing time for the receipt of bids.

By _____

Address _____

Seal (If Corporation)

**SAMPLE CONTRACT
CITY OF MCCOOK, NEBRASKA
NORTH POINTE AND W C ST. PAVING AND UTILITIES PROJECT**

This Agreement is made this _____ day of _____, 2026, by and between the City of McCook, PO Box 1059, 505 West “C” Street, McCook, Nebraska, 69001 (hereinafter referred to as “City”) and _____ of _____, Nebraska, (hereinafter referred to as “Contractor”).

The City and Contractor, in consideration of the mutual covenants hereinafter set forth, agree as follows:

Article 1. WORK.

Contractor shall complete all work as specified or indicated in the Contract Documents. The work is generally described as North Pointe Phase III Paving and Utilities Project.

Article 2. ENGINEER - CITY REPRESENTATIVE

This project has been designed by W Design Associates, Consulting Engineers and Architects, who is hereinafter called “Engineer” and who is to act as the City’s representative, assume all duties and responsibilities and have the rights and authority assigned to the Engineer in the Contract Documents in connection with completion of the Work in accordance with the Contract Documents.

Article 3. CONTRACT TIME.

3.1 The work involved will be completed and ready for final payment on or before _____ and within the time allowance described on the proposal form.

3.2 Liquidated Damages. The City and Contractor recognize that time is of the essence of this Agreement and that City will suffer financial loss if the work is not completed within time specified in paragraph 3.1 above, plus any extensions thereof allowed in accordance with Article 12 of the General Conditions. They also recognize the delays, expense and difficulties involved in proving the actual loss suffered by the City if the work is not completed on time. Accordingly, instead of requiring any such proof, the City and Contractor agree that as liquidated damages for delay (but not as a penalty) Contractor shall pay City Two Hundred Fifty Dollars (\$250.00) for each day that expires after the time specified in paragraph 3.1 for Final Completion until the work is finally complete.

Article 4. CONTRACT PRICE

The City shall pay the Contractor for completion of the work in accordance with the Contract Documents at the unit prices set forth herein:

ITEM DESCRIPTION	EST. QTY	UNITS	PRICE EA.	TOTALS
			\$	\$
1. Mobilization	1	Lump Sum	_____	_____
2. Clearing & Grubbing	1	Lump Sum	_____	_____
3. 6" Strippings	2,333	Cu. Yds.	_____	_____
4. Excavation	5,609	Cu. Yds.	_____	_____
5. Embankment	6,845	Cu. Yds.	_____	_____
6. Borrow	1,641	Cu. Yds.	_____	_____
7. Remove Concrete	9	Sq. Yds.	_____	_____
8. Build 36" Curb and Gutter – 6" Thick	2,120	Lin. Ft.	_____	_____
9. Build 6" Concrete Pavement	3,416	Sq. Yds.	_____	_____
10. Adjust Manhole to Grade	1	Each	_____	_____
11. Bituminous Foundation Course 2" – Sand/Gravel	4,122	Sq. Yds.	_____	_____
12. Subgrade Preparation	4,122	Sq. Yds.	_____	_____
13. Build 6" Rock Drive	192	Sq. Yds.	_____	_____
14. Adjust Water Valve to Grade	1	Each	_____	_____
15. Install 6" D.I. 90 Degree Elbow	1	Each	_____	_____
16. Install 6" x 6" x 6" DI Tee	3	Each	_____	_____
17. Install 6" D.I. Plug	1	Each	_____	_____
18. Fire Hydrant – 5'-0" Bury	3	Each	_____	_____
19. 6" Gate Valve with Riser	5	Each	_____	_____
20. 6" PVC Main with Tracer Wire	1,080	Lin. Ft.	_____	_____
21. 8" PVC Sewer Main	455	Lin. Ft.	_____	_____
22. Install 30" Corrugated HDPE Pipe	237	Lin. Ft.	_____	_____
23. Install 12" Corrugated HDPE Pipe	54	Lin. Ft.	_____	_____
24. Install 48" Precast Manhole	3	Each	_____	_____
25. Signs and Barricades	1	Lump Sum	_____	_____
26. Seeding Type A	2	Acres	_____	_____
27. Build NDOT Standard Inlet Y=6'	1	Each	_____	_____
28. Build NDOT Standard Inlet Y=10'	1	Each	_____	_____
29. Build NDOT Standard Concrete Collar	2	Each	_____	_____
30. Build Concrete Headwall	2	Each	_____	_____
31. Build Concrete Outlet Structure	1	Lump Sum	_____	_____
32. Install Rip Rap & Geo Fabric	33	Sq. Yds.	_____	_____
33. Silt Fence	485	Lin. Ft.	_____	_____

TOTAL BASE BID: _____

ALTERNATE BID

16.	Install 6" x 6" x 6" D.I. Tee	2	Each	_____	_____
17.	Re-Use & Install 6" D.I. Plug	2	Each	_____	_____
19.	6" Gate Valve with Riser	2	Each	_____	_____
20.	6" PVC Main with Tracer Wire	288	Lin. Ft.	_____	_____

TOTAL ALTERNATE BID _____

Article 5. PAYMENT PROCEDURES

Contractor shall be paid in full within thirty (30) days of final acceptance of the work by the Engineer or City Representative.

Article 6. CONTRACTOR REPRESENTATIONS

In order to induce the City to enter into this Agreement, Contractor makes the following representations:

6.1 Contractor has examined and carefully studied the Contract Documents and the other related data identified in the Bidding Documents including "technical data."

6.2 Contractor has visited the site and become familiar with and is satisfied as to the general, local and site conditions that may affect cost, progress, performance of furnishing of the Work.

6.3 Contractor is familiar with and is satisfied as to all federal, state and local laws and regulations that may affect cost, progress, performance and furnishing of the Work.

6.4 Contractor is aware of the general nature of the work to be performed by the City and others at the site that relates to the work as indicated in the Contract Documents.

6.5 Contractor has correlated the information known to Contractor, information and observations obtained from visits to the site, reports and drawings identified in the Contract Documents and all additional examinations, investigations, explorations, tests, studies and data with the Contract Documents.

6.6 Contractor has given Engineer written notice of all conflicts, errors, ambiguities or discrepancies that Contractor has discovered in the Contract Documents and the written resolution thereof by Engineer is acceptable to Contractor, and the Contract Documents are generally sufficient to indicate and convey understanding of all terms and conditions for performance and furnishings of the work.

Article 7. CONTRACT DOCUMENTS

The Contract Documents which comprise the entire agreement between the City and contractor concerning the work consist of the following:

7.1 This Agreement.

7.2 Exhibits to this Agreement (Certificate of Insurance, inclusive).

7.3 Performance, Payment and other Bonds.

7.4 Notice of Award.

7.5 General Conditions AIA A201, 2017 Edition (*These AIA Documents shall be considered a part of these written Contract Documents as if attached hereto and herein written.*)

There are no contract documents other than those listed above in this Article 7. The Contract Documents may only be amended, modified or supplemented as provided in paragraphs 3.4 and 3.5 of the General Conditions.

Article 8. Miscellaneous

8.1 Terms and conditions in this Agreement which are defined in Article I of the General Conditions will have the meanings indicated in the General Conditions.

8.2 No assignment by a party hereto of any rights under or interests in the Contract Documents will be binding on another party hereto without the written consent of the party sought to be bound; and specifically but without limitation, moneys that may become due and moneys that are due may not be assigned without such consent (except to the extent that the effect of this restriction may be limited by law, and unless specifically stated to the contrary in any written consent to an assignment no assignment will release or discharge the assignor from any duty or responsibility under the Contract Documents.

8.3 City and Contractor each bind itself, its partners, successors, assigns and legal representatives to the other party hereto, its partners, successors, assigns and legal representatives in respect of all covenants, agreements and obligations contained in the Contract Documents.

8.4 Any provisions or part of the Contract Documents held to be void or unenforceable under any law or regulations shall be deemed stricken, and all remaining provisions shall continue to be valid and binding upon the City and Contractor, who agree that the Contract Documents shall be reformed to replace such stricken provision or part thereof with a valid and enforceable provision that comes as close as possible to expressing the intention of the stricken provision.

8.5 The Contractor shall comply with Fair Labor Standards as required by Neb. Rev. Stat. Sections 73-101 through 73-104 in the pursuit of his business and in the execution of this Agreement.

This Agreement will be effective on _____, 2026, (which is the Effective Date of the Agreement).

THE CITY OF McCOOK, NEBRASKA

Linda Taylor, Mayor

(SEAL)

ATTEST

Lea Ann Doak, City Clerk

PO Box 1059
McCook NE 69001

By: _____

(CORPORATE SEAL)

ATTEST

Address for giving notices

SECTION 00800 - SUPPLEMENTARY CONDITIONS

INTRODUCTION

The following supplements modify, change, delete from or add to the "General Conditions of the Contract for construction", AIA Document A201, 2017 Edition. Where any Article of the General Conditions is modified or any Paragraph, Subparagraph or Clause thereof is modified or deleted by these Supplementary Conditions, the unaltered provisions of that Article, Paragraph, Subparagraph or Clause shall remain in effect.

1. After Subparagraph 3.10.1. add:

3.10.1. In planning his construction schedule within the agreed Contract time, it shall be assumed that the Contractor has anticipated the amount of adverse weather conditions normal to the site of the Work for the season or seasons of the year involved.

Only those weather delays attributable to other than normal weather conditions will be considered by the Architect/Engineer.

2. Reference is made to subparagraph 3.11.1. of the 'General Conditions'.

1.1. As the work proceeds, the contractor shall keep a careful record of mechanical, electrical, underground and other concealed work whose final in-place locations vary from those shown on the contract drawings, whether because of Change Orders or actual job conditions.

1.2. All such variations shall be shown on the field documents which shall be delivered to the Architect/Engineer before final payment is made.

3. In addition to the clean-up during construction required by Sub-paragraph 3.15.1. of the 'General Conditions', the Contractor shall, after the work has been completed, complete the following cleanup:

1.1. Comply with all special cleaning instructions contained in the Specifications.

1.2. Leave the entire construction and site clean and ready for occupancy.

4. At the end of subparagraph 4.6.1., add:

4.6.1. After appointment of the arbitrator or arbitrators, the parties to the arbitration shall have the right to take depositions and to obtain discovery regarding the subject matter of the arbitration and, to that end, to use and exercise all of the same rights, remedies, and procedures, and be subject to all of the same duties, liabilities, and obligations in the arbitration with respect to the subject matter thereof, as if the matter of the arbitration were pending in a civil action before a Superior Court of the State.

5. Add the following under this Paragraph 8.3.:

8.3.4. When the Contract time has been extended, as provided under this Paragraph 8.3., such extension of time shall not be considered as justifying extra compensation to the Contractor for administrative costs or other such reasons.

6. At the end of Subparagraph 9.3.1. add:

The form of Application for Payment shall be AIA Document G702, "Application and Certificate for Payment", supported by continuation sheet or sheets approved by the Architect/Engineer.

The Contractor shall submit his "Application for Payment" on or before the first day of each month. The "Application for Payment" shall be based on the value of materials properly stored at the site and/or work in place on that day and in accordance with the approved "Schedule of Values".

A retainage of ten percent (10%) of the first fifty percent (50%) of each Contractor's contract amount, shall be withheld until the final completion of the contract and final acceptance by the Owner, unless adjusted as shown below.

At the end of subparagraph 9.4.1. add:

The Certificates of Payment shall be issued at the rate of ninety percent (90%), up to the first fifty percent (50%) of the contract amount, and shall then increase to one hundred percent (100%) for the remainder of the contract amount, and shall be based on the value of material properly stored at the site and work in place if in full compliance with the contract during the preceding calendar month. However, if the Architect/Engineer does not feel that the progress made is such to indicate the compliance with all work done under that contract, the Certificate of Payment shall revert back to ninety percent (90%) of the completed value of work in place until such progress is satisfactory to the Architect.

Add the following clause 9.6.1.1. to 9.6.1.:

9.6.1.1. The Owner shall make progress payments on account of the Contract to the Contractor for the period ending the last day of the month not later than forty-five days following the end of the period covered by the Application for Payment.

7. The insurance referred to in Subparagraph 11.1.1. of the 'General Conditions' shall be of the following types and in amounts not less than the following:

A. Worker's Compensation:

(a) State:	Statutory
(b) Applicable Federal:	Statutory
(c) Employer's Liability	\$1,000,000.00

B. Comprehensive General Liability (including Premises-Operations; Independent Contractors' Protective; Products and Completed Operations; Broad Form Property

Damage):

- (a) Bodily Injury:
 - \$1,000,000.00 Each Occurrence
 - \$2,000,000.00/\$2,000,000 Annual Aggregate
- (b) Property Damage:
 - \$1,000,000.00 Each Occurrence
 - \$2,000,000.00 Annual Aggregate
- (c) Products and Completed Operations to be maintained for one year after final payment.
- (d) Property Damage Liability Insurance will provide X, C or U coverage, as applicable.

C. Contractual Liability:

- (a) Bodily Injury:
 - \$1,000,000.00/\$1,000,000 Each Occurrence
- (b) Property Damage:
 - \$1,000,000.00 Each Occurrence
 - \$2,000,000.00 Annual Aggregate

D. Personal Injury, with Employment Exclusion deleted:

\$1,000,000.00 Annual Aggregate

E. Comprehensive Automobile Liability:

- (a) Bodily Injury:
 - \$1,000,000.00 Each Person
 - \$1,000,000.00/\$1,000,000 Each Occurrence
- (b) Property Damage:
 - \$1,000,000.00 Each Occurrence

F. Umbrella Liability Coverage

- (a) \$2,000,000.00

This umbrella coverage shall be over and above the stated coverages and amounts.

G. Additional insurance required. Contractor shall carry in addition to that specifically named by the 'General Conditions', as follows:

- (a) Completed Operations and Products Liability. Maintained for one (1) year, commencing with issuance of Final Certificate for Payment.

H. Property Insurance. Builder's Risk Insurance will be provided by the Owner, as required in AIA Document A201.

I. Furnish one copy of certificates herein required for each copy of the Agreement, specifically setting forth evidence of all coverage required by Article 11.1.1. of the 'General Conditions'. The form of the Certificate shall be the American

Institute of Architects Document G705 or equivalent.

8. Revise Subparagraph 13.4.1. as follows:

If the Contract Documents, laws, ordinances, rules, regulations or orders of any public authority having jurisdiction require any portion of the Work to be inspected, tested or approved, the Contractor shall give the Architect/Engineer timely notice of its readiness so the Architect/Engineer may observe such inspection, testing or approval. The Contractor shall bear all costs of such inspections, tests or approvals.

FORM OF AGREEMENT

9. The form of agreement to be used for this project is included in these specifications.

WATER AND ELECTRICITY

10. The Contractor shall furnish such amounts of water and electricity as may be needed for the prosecution of his work and that of all other contractors and subcontractors. The contractor will be responsible for arranging for delivery of all of the service whether they be temporary services or the permanent service called for in the plan.

SANITARY CONVENIENCES

11. Sanitary conveniences for use of all persons employed on the work shall be provided by the contractor.

TEMPORARY HEAT

12. In order to maintain normal progress of the work, the contractor shall erect temporary enclosures and provide temporary heat as required for wall, floor, roof or other construction.
- 1.1. Required temperatures of the enclosures shall be as specified in the various technical sections of the specifications.

OWNER-FURNISHED ITEMS

13. Certain items as shown and/or scheduled on the Drawings will be either existing or furnished by the Owner and shall be installed by the contractor. If not existing, the Owner will deliver these items to the site, unload same and stack materials where directed by the contractor and approved by the Architect/Engineer. The contractor will be responsible for unwrapping, uncrating, counting, verifying sizes and lengths and providing all labor, equipment and services necessary for the erection of all materials detailed or specified herein.
- A. The Owner will provide the contractor with adequate shop drawings to cover the complete installation of all owner-furnished items, except when items are existing, relocated or reused.

- B. This contractor shall be required to perform all field cuttings, fitting and adjustments as might be required to complete the work. He shall carefully coordinate his work with the Owner to preclude omission or double supply. The contractor shall submit a delivery date request to the Architect/Engineer for all Owner-supplied materials to insure the availability of these materials as they become needed.

SHOP DRAWINGS, PRODUCT DATA AND SAMPLE SUBMITTALS

- 14. The contractor shall furnish the following: One (1) electronic copy of product data, and two (2) samples of materials, unless otherwise directed or specified.
 - A. The contractor shall reproduce as many copies of the shop drawings as required for distribution for proper execution of the work.
 - B. Shop drawings are not required and will not be reviewed on stock manufactured items.
 - C. All shop drawings will be submitted to the Architect/Engineer within thirty (30) days of the Notice to Proceed.

DRAWINGS

- 15. The Drawings are made a part of this Manual.

SCHEDULING OF WORK

- 16. Insofar as is practicable, the contractor shall confine his operations to those parts of the site in which the construction work is located.

NOTICE OF AWARD

Dated _____, 2026

TO:

ADDRESS:

CONTRACT FOR: **North Pointe Phase III Paving and Utilities Project
McCook, Nebraska**

You are notified that your Bid dated _____, for the above Contract has been considered. You are the apparent successful bidder and have been awarded a contract for the base bid.

The Contract Price of your contract is

Three copies of each of the proposed Agreement accompany this Notice of Award.

You must comply with the following conditions precedent within fifteen days of the date of this Notice of Award, that is by _____.

1. You must deliver to the OWNER three (3) fully executed counterparts of the Agreement including all the Contract Documents.
2. You must deliver with executed Agreement the Contract Security (Bonds) as specified in the Instructions to Bidders (paragraph F.2) and General Conditions (paragraph 5.1).
3. (List other conditions precedent).

Failure to comply with these conditions within the time specified will entitle OWNER to consider your bid abandoned, to annul this Notice of Award and to declare your Bid Security forfeited.

Within ten days after you comply with those conditions, OWNER will return to you one fully signed counterpart of the Agreement with the Contract Documents attached.

CITY OF McCOOK

ACCEPTANCE OF AWARD

(CONTRACTOR)

BY _____
(AUTHORIZED SIGNATURE)

(TITLE)

(DATE)

NOTICE TO PROCEED

Dated _____, 2026

TO:

ADDRESS:

CONTRACT FOR: **North Pointe Phase III Paving and Utilities Project
McCook, Nebraska**

You are notified that the Contract Time under the above contract will commence to run on _____, 2026. By that date, you are to start performing your obligations under the Contract Documents. In accordance with Article 3 of the Agreement the date of Substantial Final Completion is _____.

Before you may start any Work at the site, paragraph 2.7 of the General Conditions provides that you must each deliver to the OWNER (with copies to ENGINEER) certificates of insurance which each is required to purchase and maintain in accordance with the Contract Documents.

Also, before you may start any Work at the site, you must
(add other requirements)

CITY OF McCOOK

ACCEPTANCE OF NOTICE

(CONTRACTOR)

(AUTHORIZED SIGNATURE)

(TITLE)

SECTION 01010 - SUMMARY OF THE WORK

1. GENERAL

North Pointe Phase III Paving and Utilities:

This project involves paving one block of W 9th Street from S to T Street and two blocks of T Street from W 9th to W 7th Street with concrete pavement. Also included are water main extensions and sewer main extensions. These streets are part of the new subdivision so the contractor should not have to deal with traffic. However, lots in the subdivision have been sold and it is likely builders will be working in the area.

2. ALTERNATE BID

Bid as an alternate will be a 6" water main between S and T Streets along West 7th Street. The City reserves the right to accept or reject this bid without affecting the base bid.

3. TRAFFIC CONTROL

The Contractors will be responsible for traffic control during construction.

4. PROJECT TIMING

The Contractor shall bid a completion date for this project on the proposal form. The City would prefer to have the work completed no later than November 1, 2026.

The City reserves the right to consider both time of completion and price in the award of the bid.

SECTION 01100 - ALTERNATE MATERIALS OR METHODS

1. ALTERNATE MATERIALS

A. Standard Manufacturer

Wherever the terms "Standard", "Recognized" or "Reputable" manufacturer are used, they shall be construed as meaning manufacturers who have been engaged in the business of fabricating materials, equipment or supplies for a period of over twelve months prior to the date fixed for opening bids.

B. "Or Equal" Clause

Whenever, in any section of the contract documents, plans or specifications, any article, material, or equipment is defined by describing a proprietary product, or by using the name of a manufacturer or vendor, the term "or approved equal", if not inserted, shall be implied. The specific article, material or equipment mentioned shall be understood as indicating the type, function, minimum standard of design, efficiency and quality desired and shall not be construed in such a manner as to exclude manufacturers of comparable quality, design and efficiency.

A bidder wishing to substitute a material or product in lieu of an item specified shall submit all appropriate information as called out in the Instructions to Bidders. No changes shall be accepted after submission of proposals unless they result in an improvement to the project and are accepted in writing by the Architect/Engineer or result in an acceptable credit to the owner without prejudice to the project and then only if accepted in writing by the Architect/Engineer.

SECTION 01800 - EXISTING FACILITIES

1. GENERAL

Attention is called to the existence of buried water lines, gas lines, sewer lines and telephone lines within the project limits. The Contractor assumes full responsibility for the location and protection of all utilities, buried or overhead, during the construction operations.

SECTION 02000 – CONSTRUCTION SPECIFICATIONS

The Construction Specifications for all aspects of concrete paving, subgrade preparation and subbase for this project shall be the Nebraska Department of Transportation's Standard Specifications for Highway Construction, latest edition, unless modified in the following section.

All aspects of the water main and sewer main construction shall be in accordance with the specifications included herein, including trench excavation and backfill.

SECTION 02001 – SPECIAL PROVISIONS FOR CONSTRUCTION SPECIFICATIONS

A. GENERAL

The following are modifications and/or additions to the Nebraska Department of Transportation Standard Specifications for Highway Construction.

B. SECTION 302 – SUBGRADE PREPARATION

Subgrade preparation shall include excavation, reshaping and compacting of the subgrade as well as the disposal of all excess material at the location shown on the plans. Subgrade Preparation shall be measured and paid for by the square yard.

C. SECTION 304 – EARTH SHOULDER CONSTRUCTION

Measurement and payment for this item will be by the cubic yards of fill noted on the plans to complete this work. The cubic yard quantity is an “Established Quantity” and no adjustment from plan quantity will be made.

D. SECTION 422 – TEMPORARY TRAFFIC CONTROL DEVICES

Signs and Barricades will not be paid for on a per each basis but all signs and barricades required for the job shall be paid for by the lump sum under “Signs and Barricades.”

E. SECTION 600 – PORTLAND CEMENT CONCRETE PAVEMENTS

The Engineer shall complete daily air and slump tests on fresh concrete at no cost to the Contractor. In addition, the Engineer shall make compressive strength test cylinders in accordance with the Standard Specifications. However, it will be the responsibility of the Contractor to transport all cylinders to a certified testing laboratory and to pay for the compressive strength testing.

F. SECTION 803 – SEEDING

The following seed mixtures shall be used for this project:

Seed Mix Type A

Species	Minimum Purity (percent)	Lbs. of PLS/acre
Perennial ryegrass – Linn	85	7
Slender wheatgrass	85	5
Western wheatgrass – Barton, Flintlock	85	6
Kentucky fescue	85	3
Buffalograss – Cody, Bison, Sharp’s Improved, Texoka	80	5
Sideoats grama – Butte, Trailway	75	4
Sand dropseed (<i>Sporobolus cryptandrus</i>)	85	0.2
Oats/Wheat (wheat in the fall)	90	14

Seed Mix Type B

Species	Minimum Purity (percent)	Lbs. of PLS/1000 s.f.
Tall Fescue	85	6
Kentucky Bluegrass	85	2

SECTION 02220 – TRENCH EXCAVATION AND BACKFILLING

1. GENERAL

- a. The Contractor shall perform all trench excavation of every description and of whatever substances encountered to the depths shown on the drawings. All excavated materials not required for fill or backfill shall be removed and wasted as indicated on the drawings or as directed by the Engineer.
- b. The Contractor shall preserve intact any underground pipes or other utilities encountered during construction. In case any such utilities or other structures are accidentally broken, they shall be immediately replaced in a condition at least equal to that in which they were found, all at the Contractor's expense.
- c. Unless specified otherwise, all concrete sidewalk, concrete curb and gutter, asphaltic surfacing material, culverts or other materials requiring removal during excavation operations, shall be replaced by the Contractor to the satisfaction of the Engineer. Other specifications located herein may be applicable.

2. CONSTRUCTION METHODS

- a. All trench excavation shall be by open cut except that tunneling under pavement and sidewalks may be permitted at the discretion of the Engineer or as directed in these plans. During excavation, material suitable for backfilling shall be piled in an orderly manner a sufficient distance from the banks of the trench to avoid overloading and to prevent slides or cave-ins. All material not required or not suitable for backfill shall be removed and wasted as indicated on the Drawings or as directed by the Engineer. Banks of trenches shall be kept as nearly vertical as possible and shall be properly sheeted and braced as may be necessary to prevent caving, except that in sand excavation in open areas, where traffic conditions and the proximity of existing structures will permit, sloping banks of trenches will generally be allowed. Trenches below the top of the pipe shall be not less than ten (10) inches nor more than sixteen (16) inches wider than the outside diameter of the pipe to be laid therein. The width of trench above top of pipe may be as wide as necessary for sheeting and bracing and the proper performance of the work. It shall be the contractor's responsibility to meet OSHA, local, State and Federal requirements in performing this work.

The bottom of the trenches shall be accurately graded to line and grade and shall provide uniform bearing and support for each section of the pipe on undisturbed soil at every point along its entire length. Bell holes and depressions for points shall be dug after the trench bottom has been graded, and shall be only of such length, depth, and width as is required for properly making the particular type joint. Care shall be taken not to excavate below the depths indicated. Unauthorized overdepths shall be backfilled with loose, granular, moist earth and thoroughly tamped to grade. Where soft, spongy or otherwise unsuitable material is encountered which will not provide a firm foundation for pipe, the Engineer will direct the extent to which removal and replacement with suitable material shall be made. Where rock excavation is encountered, the rock shall be

excavated to a minimum overdepth of four inches below the trench depths specified. The overdepth rock excavation and all excessive trench excavation shall be backfilled with loose, moist earth or sand and tamped to at least the density of surrounding undisturbed soil.

- b. Where construction of utilities requires cutting and replacing of rigid pavement, the cutting shall be accomplished by use of a concrete saw. The minimum depth of vertical saw cut shall be two inches. The remaining depth of the pavement section may be removed as the Contractor elects, subject to the approval of the Engineer.
- c. Excavation of manholes and similar structures shall be sufficient to leave at least 12 inches between the outer surfaces of the structure and the embankment or timber which may be used to hold and protect the banks.
- d. Trenches shall be carefully backfilled with excavated materials free from clods of earth or stones or frozen material. The backfill material shall be deposited in six (6) inch layers and thoroughly and carefully compacted until the pipe has a cover of not less than one foot for water mains and storm sewers and two feet for sanitary sewer mains. The pipe installation specifications may require additional steps in compaction around the pipe. The remainder of the backfill material shall then be placed in accordance with standard backfilling procedures.

Wherever the trenches have not been properly filled, or if settlement occurs, they shall be reopened to the depth required for proper compaction, refilled, compacted, and smoothed off or mounded as directed by the Engineer. All trench backfill shall be compacted to 90% of Standard Proctor Density except under driveways, sidewalks and streets where 95% compaction will be required. The Engineer will direct compaction tests at random locations and depths as backfilling is performed. The contractor will be required to assist in making excavation for the test as backfilling is performed. The average rate of tests will be approximately two tests per 300 to 500 linear feet depending on results of previous tests. The cost of compaction testing is not part of this contract but the assistance is part of it.

- e. Sewer mains will be checked by the Engineer to determine whether any displacement of the pipe has occurred after the trench has been backfilled to a depth of 2 feet above the pipe and tamped as specified. The test will be by flashing a light between manholes. If by such test, the pipeline shows poor alignment, displaced pipe or any other defects, the defects shall be corrected by the Contractor. The Contractor may wish to demonstrate with the deflection test as described in the Sanitary Sewer Specifications that no deflection in the pipe has occurred during backfilling. In addition, the Contractor shall perform additional deflection testing as described in the Sanitary Sewer Specifications 30 days 30 days after backfill and tamping is complete.
- f. Where trenches are to be excavated in graveled or oiled roadways and when the surfacing material is of such extent and quality that, in the opinion of the Engineer, it can be reused, it shall be piled or windrowed separately from other excavated material and replaced on the roadway surface over the backfilled trench. As an alternate to this procedure the

Contractor, at his option, may disregard the separate handling of existing surface material, and, after backfilling is complete, apply new material sufficient to equal the adjacent existing roadway surface.

- g. In addition to the trenching and backfilling requirements contained in this section, any trenching and backfilling adjacent to or under State Highways or County Roads shall conform to the requirements of that organization and any pipeline permit issued by the State Highway Department or County Road Department as the case may be.

The Contractor will provide all such permits at no expense to the City and any additional construction cost attributable to the permit requirements shall be borne by the Contractor.

- h. The Contractor shall preserve intact any underground pipes or other utilities encountered during construction. In case any such utilities or other structures are accidentally broken, they shall be immediately replaced in a condition at least equal to that in which they were found, all at the Contractor's expense.
- i. All concrete sidewalk, concrete curb and gutter, asphaltic surfacing material or other materials requiring removal during excavation operations, shall be replaced by the Contractor to the satisfaction of the Engineer.

3. WARRANTIES

The Contractor shall, for a period of one year after completion and final acceptance of the work, maintain and repair any trench settlement which may occur and shall make suitable repairs to any pavement, sidewalks or other structures which may become damaged as a result of backfill settlement.

SECTION 02510 - WATER DISTRIBUTION SYSTEM

I. GENERAL

The work covered by this section consists of furnishing all labor, materials and equipment and performing all operations necessary to construct and complete water mains and appurtenances in strict accordance with these specifications, the applicable drawings, and subject to the terms and conditions of the contract.

All pipe and fittings shall be laid in trenches with a minimum cover of 5'-0" over the top of the pipe as shown on the Drawings and/or as directed by the Engineer. Unless otherwise specifically called for in the plans and/or specifications, all pipe and appurtenances thereto shall be new material meeting the requirements of these specifications. The installation of service taps and service lines as required will require a variety of miscellaneous small fittings. These fittings will not be paid for separately but are considered part of the related items on the bid form.

The interior of all pipe and fittings shall be thoroughly cleaned of all foreign material before being lowered into the trench and shall be kept clean during construction operations by means of suitable plugs or otherwise.

No pipe shall be laid in or under water and no pipe shall be laid when the trench or weather conditions are unfavorable for satisfactory work unless specifically approved or directed by the Engineer. In all cases water, regardless of source, shall be kept out of the trench until jointing materials have set.

Excavation, trenching and backfilling shall conform to the applicable requirements set forth in these specifications under the section entitled, "Trench Excavation and Backfilling".

II. MATERIALS

A. PVC Class Water Pipe

PVC water pipe and PVC fittings supplied for this Project shall be a minimum of Class 150 designed and manufactured for a working pressure of 150 pounds per square inch and the same shall conform to the American Water Works Association AWWA C900.

All pipe shall be manufactured from 12454B compounds per ASTM D1784. It shall carry the National Sanitation Foundation (NSF) seal of approval. Except where pipe is installed by a boring method, all pipe shall be joined by a gasketed bell socket which conforms to the requirements of ASTM D3139 with a gasket that conforms to ASTM F477. Pipe installed by a boring or directional drilling method shall be CertainTeed C900/RJ or RJIB restrained joint pipe system or approved equal. The pipe shall be capable of withstanding a pressure test as specified below. The pipe manufacturer shall supply a certification statement advising that the pipe material meets or exceeds the requirements of AWWA's requirements for PVC pipe.

B. Ductile Iron Fittings

All fittings supplied for this project shall be of ductile iron compact fittings conforming to ANSI A21.53, AWWA C153, with mechanical joints conforming to ANSI A21.11, AWWA C111, and cement mortar lining conforming to ANSI A21.4, AWWA C104, or the latest revisions thereof. They should be rated at 350 psi and tested in accordance with ANSI A21.10, AWWA C110, or the latest revision thereof. Any length of pipe or any fitting found to be defective in materials or workmanship shall be rejected. All pipe and fittings shall be installed as hereinafter specified.

C. Valves

Unless otherwise specifically called for in these specifications or in the Drawings, all shut off valves 2" size and larger indicated on the Drawings, shall be ductile iron body resilient seated gate valves. They shall be Clow valves with type of ends to fit the pipe to which they are to be connected. All valves shall be shall meet the requirements of the latest standard specifications of AWWA C509. All gate valves shall have a clear waterway equal to the full nominal diameter of the valve.

Unless otherwise indicated, all gate valves shall be of the nonrising stem type and shall be opened by turning to the counterclockwise. The operating nut or wheel shall have an arrow cast thereon indicating the direction of opening. All gate valves 2" size and larger shall have a 2" square operating nut.

Each valve shall have the manufacturer's name or trademark, pressure rating and year in which it was made cast on the body. Each valve shall be designed for a working pressure equal to or greater than that of the class of pipe to which it is connected.

All gate valves located below ground shall be provided with a cast iron valve box and lid extending to finished ground surface. The box shall be designed for the size of valve on which it is to be used and of such diameter and so installed that the valve operating rod may be engaged on the operating nut with ease. The cast iron lid shall have the word "Water" cast thereon. All valve boxes not located in concrete pavement shall be provided a concrete cap as detailed on the drawings.

D. Fire Hydrants

All fire hydrants shall be Clow MVO Medallion with Restrained Joint or approved equal and shall conform to AWWA C-502. They shall have a 5-1/4" valve opening, two hose connections, one pumper connection, mechanical joint inlet, suitable for 5 foot bury unless noted otherwise and painted red in color.

The hydrant valve shall close with the pressure of the water in the mains. There shall be no obstruction whatsoever in the hydrant which interferes with a free flow of water and creates undue friction loss.

All hydrants shall have a positive drain mechanism which will permit the water to escape readily from the hydrant barrel when the hydrant valve is closed. This drain mechanism must be closed when the hydrant valve is partially or fully open. The hydrant valve and valve stem shall be removable from the upper barrel or bonnet without the necessity of digging up the hydrant. The direction of opening hydrant shall be cast on the weather cap.

E. New Service Taps

1. At all locations requiring a new service tap into the main the Contractor shall install a saddle, corporation stop, curb stop, curb box, service line and all necessary accessories. Use a brass Ford corporation stop with a Ford FS202 double stainless banded service saddle with tapered threads. Curb stops shall be Ford B44 Series and shall be of the same nominal size as the service line to which they are connected. Curb stops shall be heavy cast bronze construction and shall be Minneapolis pattern type. Curb boxes shall be extension type, cast iron, adjustable for length, and have Minneapolis pattern base. Lids shall have the word "WATER" cast in them and shall have a provision for being securely held in place. Include a 3/6" stationary rod in all boxes.
2. All new service line piping shall be Eagle Pure-Core or Centennial Plastics CenCore copper tube size polyethylene pipe rated at 150psi or greater.

F. Water Meters and Pits

Meters are supplied by the City and will be installed inside the new buildings. Therefore meters and pits are not a part of this project.

III. CONSTRUCTION METHODS

A. Separation of Water Mains and Sewers

1. General – Separation of water and sewer mains must meet 10 State Standards.

CONTRACTOR PLEASE NOTE: Any deviations from normal conditions listed below that are not clearly indicated on the plans and specifications require the Engineer to justify and the Department of Health to approve the unusual or special condition.

The following factors shall be considered in providing adequate separation:

- a. Materials and type of joints for water and sewer pipes;
- b. Soil conditions;
- c. Service and branch connections into the water main and sewer line;
- d. Compensating variations in the horizontal and vertical separations;
- e. Space for repair and alterations of water and sewer pipes;
- f. Off-setting of pipes around manholes.

2. Parallel Installation -

- a. Normal Conditions - Water mains shall be laid at least ten (10) feet horizontally from any sanitary sewer, storm sewer or sewer manhole, whenever possible; the distance shall be measured edge-to-edge.
- b. Unusual Conditions - When local conditions prevent a horizontal separation of ten (10) feet, a water main may be laid closer to a storm or sanitary sewer provided that:
 1. The bottom of the water main is at least 18 inches above the top of the sewer;
 2. Where this vertical separation cannot be obtained, the sewer shall be constructed of materials and with joints that are equivalent to water main standards of construction and shall be pressure tested to assure water-tightness prior to backfilling.

3. Crossings -

- a. Normal Conditions –
 1. Water mains crossing house sewers, storm sewers or sanitary sewers shall be laid to provide a separation of at least 18 inches between the bottom of the water main and the top of the sewer, whenever possible.
 2. At crossings, one full length of water pipe shall be located so both joints will be as far from the sewer as possible. Special structural support for the water and sewer pipes may be requires.
- b. Unusual Conditions - When local conditions prevent a vertical separation as described above, the following construction shall be used:
 1. Sewers passing over or underwater mains should be constructed of materials and with joints that are equivalent to water main standards of construction and shall be pressure tested to assure water-tightness prior to backfilling.
 2. Water mains passing under sewers shall, in addition, be protected by providing:
 - i. A vertical separation of at least 18 inches between the bottom of the sewer and the top of the water main;
 - ii. Adequate structural support for the sewers to prevent excessive deflection of joints and settling on and breaking the water mains;
 - iii. That the length of water pipe be centered at the point of crossing so that the joints will be equidistant and as far as possible from the sewer.

4. Sewer Manholes - No water pipe shall pass through or come into contact with any part of a sewer or sewer manhole.
5. Hydrant Drains - Hydrant drains shall not be located within 10 feet of sanitary sewers or storm drains.

B. Handling of Pipe

Unloading of pipe from railroad cars, trucks or trailers and the placing of pipe in their final locations of the work shall be carefully performed in an approved manner recommended by its manufacturer in order to avoid damage to the pipe or its coating.

C. Installing PVC Pipe

The PVC class water pipe shall be installed in accordance with the AWWA Standard C605, latest revision and Uni-Bell Plastic Pipe Association Guide for installation of polyvinyl chloride plastic pressure pipe for municipal water main distribution systems. All PVC pipe shall be laid in trenches meeting the requirements hereinbefore specified. Each section of pipe shall be supported by undisturbed earth along the full length of the pipe barrel, with recesses dug to receive bells and other joints.

Before assembly, the inside of the bell, the gasket, and the outside of the pipe, from the plain end to the stripe, must be free of all foreign material. Insert gasket into groove in bell, checking its position by pulling the gasket toward the bell face in all 360 degrees of perimeter.

Before starting joint assembly, apply a liberal coating of joint lubricant to the outside of the pipe from the plain end to the depth reference mark. With the plain end centered in the bell, the plain end is pushed home. The joint is assembled when the reference mark is no longer visible.

Deflections of joints from a straight line or grade made necessary by curves or offsets shall not exceed an angle of 2 degrees between the centerlines extended of any two connecting pipes. If the required alignment or grade cannot be obtained with pipe deflections that are within the limitations set forth above, then the contractor shall install at his expense either special bonds or a sufficient number of short pipe lengths to provide angular deflections within the limits set forth above.

All PVC pipe shall be buried with a 12 gauge THWM copper tracer wire which shall be connected to all fire hydrants and iron piping and a 3" wide, 4 mil blue plastic warning tape with the message "Caution Buried Water Line" or equivalent printed on it. The contractor shall include these items in his linear foot price for Water Main.

D. Installing Ductile Iron Pipe

The installation of ductile iron water main shall be in accordance with the latest edition of AWWA C600. Additionally, the main shall be buried with a 3" wide, 4 mil blue plastic warning tape with the message "Caution Buried Water Line" or equivalent printed on it. No tracer wire is required for ductile iron pipe.

E. Installing Fire Hydrants

Fire hydrants shall be set at the locations indicated on the drawings or as directed by the Engineer. Setting details shall be as indicated on the detail drawings.

Each hydrant shall be set to the same depth of cover as specified for the water mains and no hydrant shall be set more than 3" above or below the ground line mark cast on the hydrant. If the hydrant has no ground line mark cast thereon, then the hydrant shall be set so that the 2-1/2" nozzles will be at least 18" and not more than 24" above the finished ground line.

F. Service Interruptions

The contractor shall schedule work such that there should be little or no service interruptions for the customers adjacent to this project. If there is a need to interrupt any services the Engineer, the City Utility Superintendent, City Clerk and the water customer are to be notified at least 2 days prior to the interruption.

IV. TESTING AND STERILIZATION

A. Pressure Tests

All pipe shall be pressure and leakage tested in accordance with AWWA C605, latest edition. The pipe shall be subjected to a pressure of 120 psi for two (2) hours and shall not vary more than 5 psi. When all joints and pipes are found to be tight during this test, to the satisfaction of the Engineer, the test may be stopped and the backfill may be completed. The Contractor shall furnish all necessary equipment, labor and water for conducting the tests.

B. Sterilization of Pipelines

The Contractor shall flush and sterilize all pipelines as soon as practical after construction of each section in accordance with the latest revision of AWWA C651-2014. Sterilization shall be verified by sampling and the pipeline shall not be placed into service until this is complete. One sample set shall be collected for every 1200 linear feet of water main (or part thereof) and at least one sample set from each branch.

Once each section of pipeline is installed, flush pipelines at the highest velocity possible at each fire hydrant as soon as practical. On large projects, do not let pipelines sit until the entire project is complete. After flushing, disinfect the test section with a chlorine solution of 50 p.p.m. free chlorine for a contact period of 24 hours or AWWA specified equivalent. At the expiration of the contact period, the Contractor shall flush the pipelines with clean potable water until a residual chlorine content of 0.4 p.p.m. is obtained. The Contractor shall direct the water from the flushing to prevent flooding to the owner and adjacent neighbor's properties and to an acceptable drainage area in accordance with all local, state and federal regulations. After flushing, two water samples taken at least 24 hours apart, shall indicate zero coliform bacteria for the pipeline to be considered disinfected and suitable for use. The engineer is to be notified and

allowed adequate time to be present during these operations. All results shall be provided to the Engineer for review.

V. MEASUREMENTS FOR PAYMENTS

Measurements for payment for all water lines shall be made on the surface of the ground from center to center of junctions in the pipe lines, or from center of junction to end of pipe line for dead end lines or service lines. No deductions for length of line will be made for fittings and valves installed in the line. Payment will be made on this basis at the bid price per foot of water pipe of the various sizes, including excavation and backfill, complete in place.

Measurements for payment for all new fire hydrants shall be made on a per each basis, installed. The water line between the main and the hydrant shall be paid for by the lineal foot as described above for water lines.

Measurement for payment for all valves, fittings and service taps shall be made on a per each basis as shown on the bid schedule. Measurement and payments for miscellaneous small fittings associated with service installations shall not be made separately but rather included in the associated bid item.

SECTION 02560 - SANITARY SEWER

1. GENERAL

This work shall consist of constructing sanitary pipe sewer in accordance with these specifications and to the dimensions shown on the plans, laid in trenches and backfilled, in conformity with the lines and grades as shown on the plans.

2. MATERIAL REQUIREMENTS

Pipe for sanitary sewer shall be PVC SDR-35 gasketed joint pipe in accordance with ASTM D-3034. Gaskets shall meet ASTM F-477 requirements, and the pipe shall carry the UPC seal and IAPMO listing.

Pipe for forced mains shall be ASTM D2241, PR100, DR41 PVC pressure rated pipe.

3. CONSTRUCTION METHODS

A. All excavation and backfill shall be performed in accordance with the requirements of Section 02220.

B. All pipe shall be laid to the exact line and grade as shown on the plans and no deviation from either will be allowed without the permission of the project Engineer.

C. Before being lowered into the trench, all pipe shall be carefully inspected and sounded for crack or other defects, and matched so that when joined in the ditch, a smooth tube will be formed.

D. When pipe laying is temporarily suspended for any cause, the ends must be sealed with a watertight plug.

E. All sewer pipe shall be laid with a Class I or II bedding, as shown on the Plans, and with a Standard Proctor density of 90% as determined by ASTM D-698.

The granular bedding shall have the following gradation:

Sieve Size	Minimum % Retained on Sieve	Range
1.0 Inch	-0-	
No. 4	34%	± 5%
No. 10	63%	±10%
No. 30	88%	± 5%
No. 200	98.5%	± 1.5%

Note: Granular bedding is similar to NDOT Type ABX sand and gravel aggregate which is acceptable.

F. The Contractor shall assume responsibility for any dewatering required for the sewer line installation. No pipe shall be installed until the trench has been completely dewatered.

G. Force Main Installation

The 4" PVC force main shall be installed as shown on the plans. Level forced mains do not require air release and vacuum valves. If the pipe is not level the contractor shall field locate the high point in the force main and install an air & vacuum relief valve at that point. At all locations where the contractor installs a bend in the force main, a concrete thrust block with 1.5 sq. ft. of bearing area for a 22.5 or 45 degree bend and 5 sq. ft. of bearing area for a 90 degree bend shall be installed.

4. SERVICE CONNECTIONS

All service connections shall be made with a tee fitting or by tying directly into a manhole. Direct tapping of the mains will not be allowed. A maximum of two service lines will be allowed into any manhole.

5. METHOD OF MEASUREMENT

Pipe shall be measured in place by the linear foot along the longitudinal axis of the pipe and the measurement shall be taken between centers of new manholes or to the end of a plug in the case of a cleanout.

6. PROTECTION OF WATER SUPPLIES

A. Water Supply interconnections

There shall be no physical connection between a public or private potable water supply system and a sewer, or appurtenance thereto which would permit the passage of any sewage or polluted water into the potable supply.

B. Relation to Water Works Structures

While no general statement can be made to cover all conditions, it is generally recognized that sewers shall meet the requirements of the approving agency with respect to minimum distances from public water supply wells or other water supply sources and structures.

C. Relation to Water Mains -

CONTRACTOR PLEASE NOTE: Any deviations from normal conditions stated below that are not clearly indicated on the plans and specifications require the Engineer to justify and the Department of Health to approve the unusual or special condition.

(1) Horizontal Separation

Whenever possible, sewers should be laid at least 10 feet, horizontally, from any existing or proposed water main. Should local conditions prevent a lateral separation of 10 feet, a sewer may be laid closer than 10 feet to a water main if approved and:

- a. It is laid in a separate trench.

- b. It is laid in the same trench with the water mains located at one side on a bench of undisturbed earth.
- c. In either case the elevation of the crown of the sewer is at least 18 inches below the invert of the water main.

(2) Vertical Separation

Whenever sewers must cross under water mains, the sewer shall be laid at such an elevation that the top of the sewer is at least 18 inches below the bottom of the water main. When the elevation of the sewer cannot be buried to meet the above requirement, the water main shall be relocated to provide this separation or reconstructed with the joints a distance of 10 feet on each side of the sewer. One full length of water main should be centered over the sewer so that both joints will be as far from the sewer as possible.

(3) Special Conditions

All special conditions encountered must be approved. When it is impossible to obtain proper horizontal and vertical separation as stipulated above, the sewer shall be pressure tested to assure watertightness.

7. TESTS

All lines shall be checked for proper slope, observed and monitored for infiltration, tested for air tightness and for deflection as specified in the following sections. In all cases if incorrectly laid, leakage above the specified amount or deflection, the sewer line or manhole shall be repaired and retested at the expense of the Contractor.

Before final acceptance, all sewers shall be clean, shall comply with the specifications and all contract documents and shall be acceptable to the Engineer and municipal authorities. The Engineer or representative is to be present to witness all testing.

8. SLOPE CHECK

The contractor is responsible for hiring a qualified individual to check the pipe slope from manhole to manhole. Any pipe laid to incorrect slopes shall be repaired by the Contractor at no cost to the Owner.

9. INFILTRATION TEST

If groundwater is encountered, the allowable leakage shall not exceed 100 gallons per inch diameter per mile of pipe per 24 hours.

10. AIR TEST

A. Gravity Sewer

This test will be performed according to ASTM F1417, stated procedures and under the supervision of the Engineer for gasket type joint pipe. If leakage is above the specified amount, the sewer shall be repaired, replaced and retested at the expense of the Contractor.

Equipment used shall meet the following minimum requirements: a) Pneumatic plugs shall have

a sealing length equal to or greater than the diameter of the pipe to be tested. b) Pneumatic plugs shall resist internal testing pressure without requiring external bracing or blocking. c) All air used shall pass through a single control unit. d) These individual hoses shall be used for the following connections: (1) From control unit to pneumatic plugs for inflation (2) From control unit to sealed line for introducing low pressure air (3) From sealed line to control unit for continually monitoring the air pressure inside the pipe being tested.

Procedures: All pneumatic plugs shall be seal tested before being used in the actual test installation. One length of pipe shall be laid on the ground and sealed at both ends with the pneumatic plugs to be checked. Air shall be pressurized to 25 psig. The sealed pipe shall be pressurized to 5 psig. The plugs shall hold against this pressure without movement of the plugs out of the pipe.

After a manhole to manhole reach of the pipe has been backfilled and cleaned and the pneumatic plugs are checked by the above procedures, the plugs shall be placed in the line and inflated to 25 psig. Low pressure air shall be introduced into this sealed line until the internal air pressure reaches 4 psig greater than the average back pressure of any ground water that may be over the pipe.

At least two minutes shall be allowed for the air pressure to stabilize.

After the stabilization period (3.5 psig minimum pressure in the pipe), the air hose from the control unit to the air supply shall be disconnected. The portion of the line being tested shall be termed "acceptable" if the time required in minutes for the pressure to decrease from 3.5 psig to 2.5 psig (greater than average back pressure of any groundwater that may be over the pipe) shall not be less than the time shown for the given diameters in the following table:

<u>Pipe Diameter in Inches</u>	<u>Time (Minutes)</u>
4	4.0
6	4.0
8	4.0
10	5.0
12	5.5
15	7.5
18	8.5
21	10.0
24	11.5
27	13.5
30	15.0
<u>Pipe Diameter in Inches (cont.)</u>	<u>Time (Minutes)</u>
36	18.0
42	21.0

In areas where groundwater is known to exist, the Contractor shall determine the water elevation prior to running the test.

The height of water over the invert of the pipe shall be divided by 2.3 to establish the pounds of pressure that will be added to all readings. (For example, if the height of the water is 11.2 foot, then the added pressure will be 5 psig. This increases the 3.5 psig to 8.5 psig, and the 2.5 psig to 7.5 psig. The allowable drop of one pound and the timing will remain the same.)

If the pressure drops more than 1.0 psi during the test time, line is presumed to have failed. The Contractor shall, at his own expense, determine the source of leakage. He shall then repair or replace all defective materials and/or workmanship. Air testing shall then be performed on the repaired line to meet the above specifications.

B. Force Main – The force main shall be hydrostatically tested to 1.5 times its rated pressure for 1 hour with the engineer or his representative present.

11. DEFLECTION TESTING

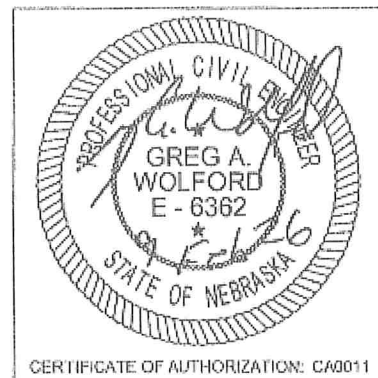
The Contractor shall note the deflection testing required during backfilling as specified in Section 02220 of these Specifications.

Thirty days after completion of the backfill and tamping, and in the presence of the Engineer or his representative, this sewer pipe shall be tested for deflection by rolling a rigid ball or manually pulling a go, no go mandrel through the pipe. The ball or mandrel used for the test shall be 5% smaller in diameter than the inside diameter of the pipe. If the pipe has deflected such that the mandrel cannot be pulled through (without mechanical pulling devices) or the ball does not roll through, the deflected section shall be removed and replaced. The pipe shall be measured in compliance with ASTM D2122.

END OF

**BID PROPOSAL, CONTRACT DOCUMENTS
AND SPECIFICATIONS
FOR
THE CITY OF McCOOK, NE
NORTH POINTE PAVING & UTILITES PHASE III
McCOOK, NEBRASKA**

FEBRUARY, 2026



**PREPARED BY
W DESIGN ASSOCIATES
CONSULTING ENGINEERS AND ARCHITECTS
MCCOOK/HASTINGS, NEBRASKA**

NORTH POINTE PAVING & UTILITIES PHASE III CITY OF McCOOK McCOOK, NEBRASKA

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- 11 PAVING DETAILS
- 12 CROSS SECTIONS
- 13 NDOT STANDARD INLET PLANS
- 14 NDOT STANDARD CONCRETE COLLAR PLAN
- 15 NDOT STANDARD TRAFFIC PLANS

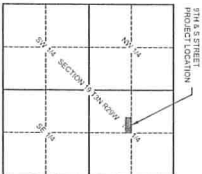
Estimated Quantities

Mobilization	1	Lump Sum
Cleaning & Grubbing	1	Lump Sum
6" Stripplings	2,333	Cu. Yds.
Excavation	5,609	Cu. Yds.
Embankment	6,945	Cu. Yds.
Borrow	1,641	Cu. Yds.
Remove Concrete	9	Sq. Yds.
Build 3/8" Concrete Pavement	2,720	Ln. Ft.
Build 6" Concrete Pavement	3,416	Sq. Yds.
Adjust Manhole To Grade	1	Each
Blowdown Foundation Course 2" - Sand/Gravel	4,122	Sq. Yds.
Sludge Preparation	4,122	Sq. Yds.
Build 6" Rock Drive	192	Sq. Yds.
Adjust Water Valve To Grade	1	Each
Fire Hydrant - 5-1/2" Bury	3	Each
6" Gate Valve with Riser	3	Each
6" Fire Hydrant with Riser	1,069	Ln. Ft.
Install 6" x 6" 6" D.I. Tee	1	Each
Install 6" D.I. Plug	1	Each
6" PVC Sewer Man	465	Ln. Ft.
Install 48" Precast Manhole	3	Each
Install 30" Corrugated HDPE Pipe	227	Ln. Ft.
Build NDOT Standard Inlet Y = 6'-0"	54	Ln. Ft.
Build NDOT Standard Inlet Y = 10'-0"	1	Each
Build NDOT Standard Concrete Cular	2	Each
Build Concrete Headwall	2	Each
Build Concrete Outlet Structure	1	Lump Sum
Install Rip Rap & Geo Fabric	33	Sq. Yds.
Signs & Barricades	1	Lump Sum
Seeding Type A	2	Acres
Silt Fence	495	Ln. Ft.

Alternate

- Install 6" x 6" 4" D.I. Tee
- Realse & Install 6" D.I. Plug
- 6" PVC Man with Riser Wire
- 6" Gate Valve with Riser

- 2 Each
- 2 Each
- 296 Ln. Ft.
- 2 Each



DATE: FEB. 2005

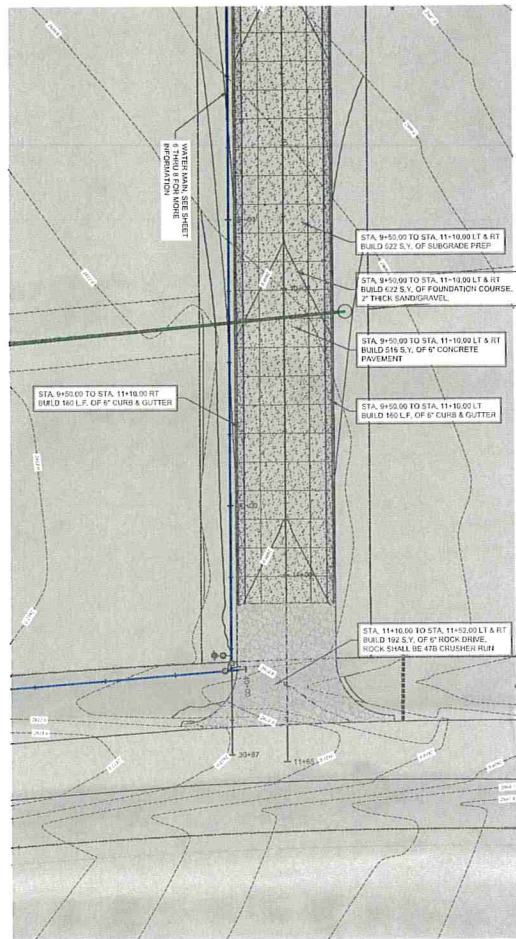
CVR

DWG:	854T-26 C-01
DRAWN:	MAP
CHECKED:	
REVISIONS:	



DESIGN ASSOCIATES
INC.
1000 S. 10TH STREET, SUITE 100
LINCOLN, NEBRASKA 68502
TEL: 402.426.1111 FAX: 402.426.1112
WWW.DJMASSOCIATES.COM

NORTH POINTE PAVING & UTILITIES PHASE III
CITY OF McCOOK
505 WEST C STREET, McCOOK, NEBRASKA

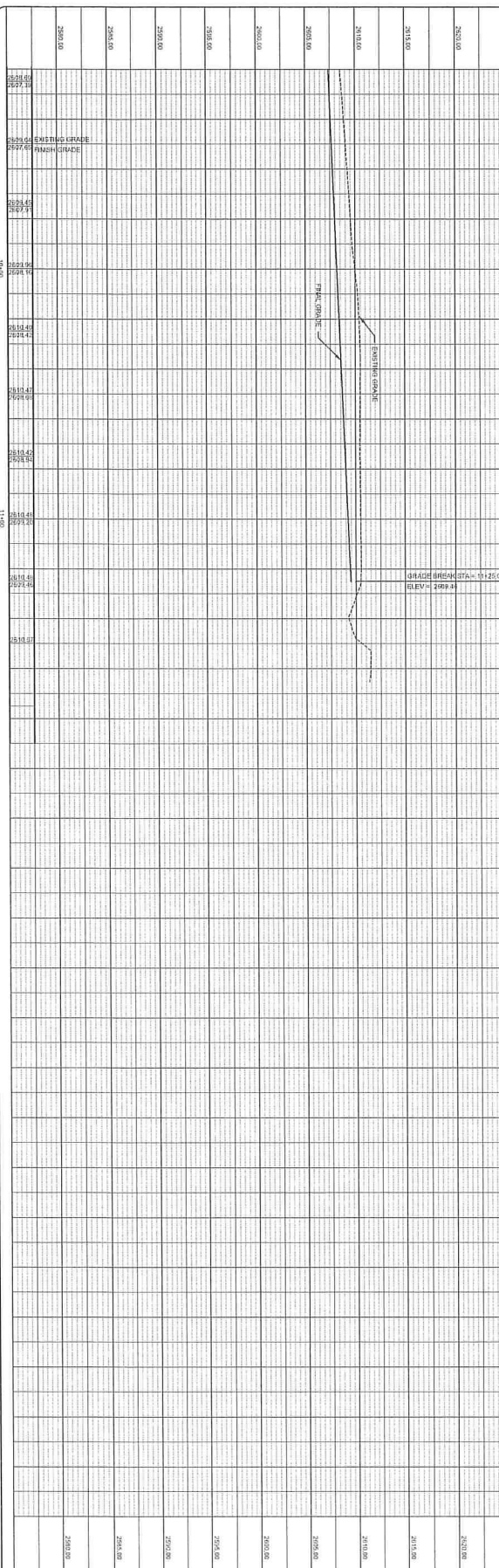


GRADING NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LOCATING AND PROTECTING ALL UTILITIES BOTH ABOVE AND BELOW GROUND FROM THIS PROJECT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SIDEWALK IMPROVEMENTS AND SIDEWALK GRADING OF THE SITE PRIOR TO STREET CONSTRUCTION.
3. ALL FINAL GRADING SHALL BE CONSTRUCTED TO A TOLERANCE OF ± 0.0 FT OF FINISH ELEVATION AND ± 0.25 FT OF PROPOSED ADJUSTMENT.
4. THE PROPOSED GRADING SHALL BE CONSTRUCTED TO THE PROPOSED FINISH ELEVATION AND SHALL BE ELECTRONICALLY CHECKED FOR USE IN CONSTRUCTING THIS PROJECT. NO FIELD STRIKES SHALL BE REQUIRED.
5. PROPOSED GRADING SHALL BE CONSTRUCTED TO THE PROPOSED FINISH ELEVATION AND SHALL BE ELECTRONICALLY CHECKED FOR USE IN CONSTRUCTING THIS PROJECT. NO FIELD STRIKES SHALL BE REQUIRED.
6. THE TOP 12" OF THE AREA UNDER ALL PAVING AND OTHER "F" OF THE BACK OF CURB SHALL BE CONSTRUCTED TO 95% MAXIMUM DRY DENSITY OF STANDARD PROCTOR WITH A MINIMUM CONTENT OF 2% TO 4% OF OPTIMUM WATER. PORTS OF AIRPITTING COMPACTED PORTS SHALL BE SET AT 10% BELOW FINISH ELEVATION. ALL MATERIAL SHALL COMPACT TO 95% AND SANDY CLAY OR SILT SHALL HAVE A MINIMUM 2% SAND CONTENT. LESS THAN 5%.

T STREET PAVING PLAN

NORTH POINTE PAVING & UTILITIES PHASE III
CITY OF McCOOK
 505 WEST C STREET, McCOOK, NEBRASKA



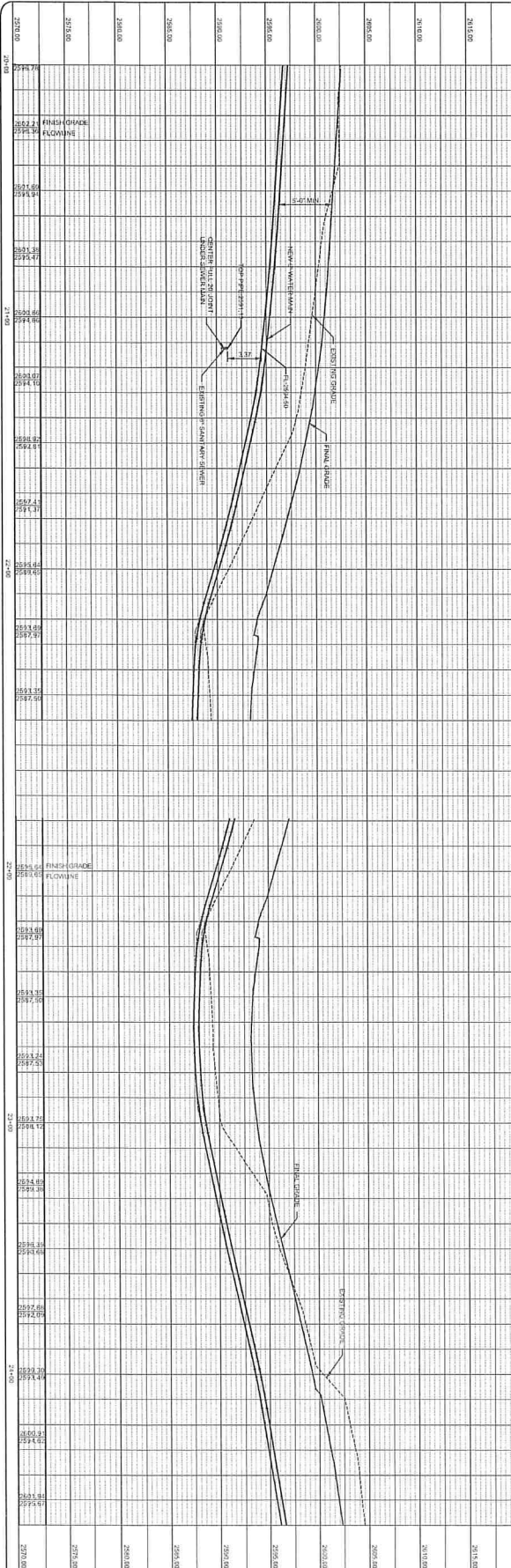
- NOTES:**
1. CONTRACTOR TO LOCATE AND PROTECT ALL UNDERGROUND AND OVERHEAD UTILITIES.
 2. ALL GRADING SHALL BE CONSTRUCTED TO THE PROPOSED FINISH ELEVATION AND SHALL BE ELECTRONICALLY CHECKED FOR USE IN CONSTRUCTING THIS PROJECT.
 3. ALL PROPOSED FINISH ELEVATIONS SHALL BE SET AT 10% BELOW FINISH ELEVATION.

DWG:	8547-25-C-01
DRAWN:	AMP
CHECKED:	
REVISIONS:	
4	
DATE:	FEB. 2024

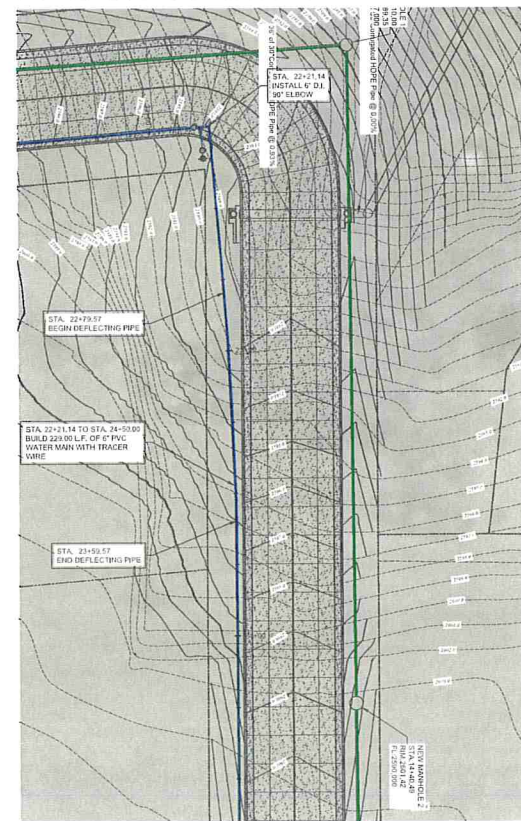
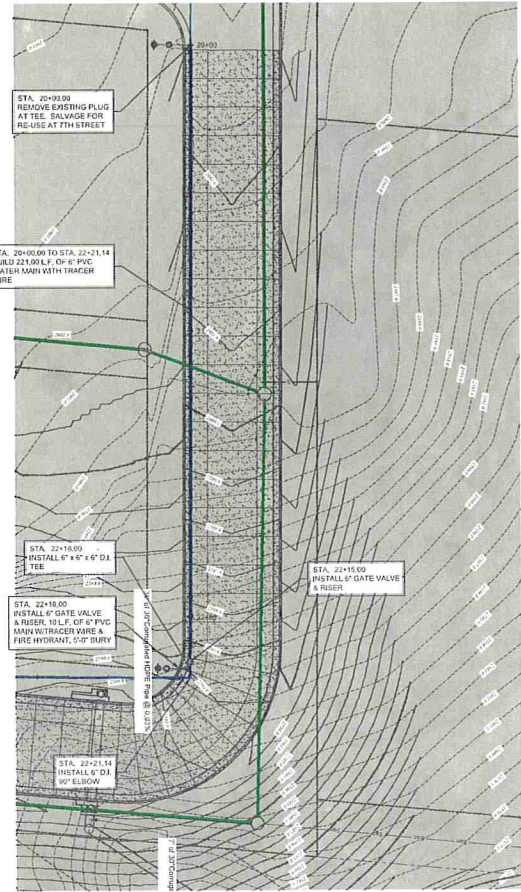
DESIGN ASSOCIATES
 1000 WEST 10TH STREET, SUITE 100, McCOOK, NEBRASKA 68901
 PHONE: (402) 463-1111 FAX: (402) 463-1112
 WWW.DESIGNASSOCIATES.COM



NORTH
VERTICAL SCALE: 1" = 5'-0"



NORTH



T STREET WATER MAIN

DWG:	8547-25-C-01
DRAWN:	AMP
CHECKED:	
REVISIONS:	

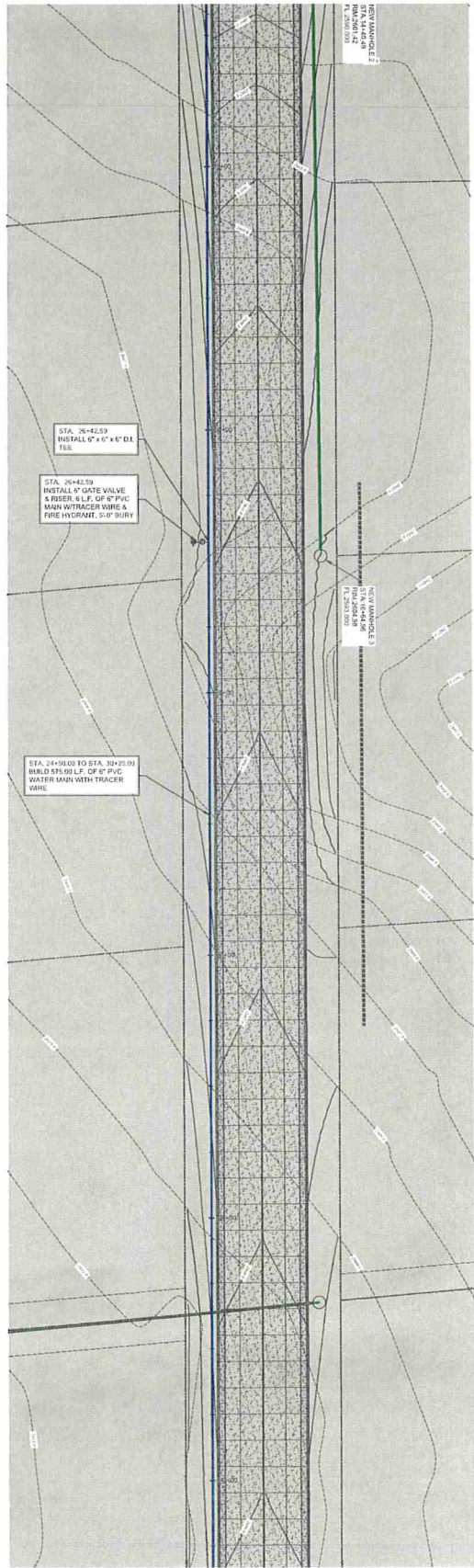
DATE: FEB. 2026
6

DESIGN ASSOCIATES
 1514 S. 103RD W. McCOOK, NEBRASKA 68803
 PHONE: 402.281.1111 FAX: 402.281.1112
 WWW.DESIGNASSOCIATES.COM

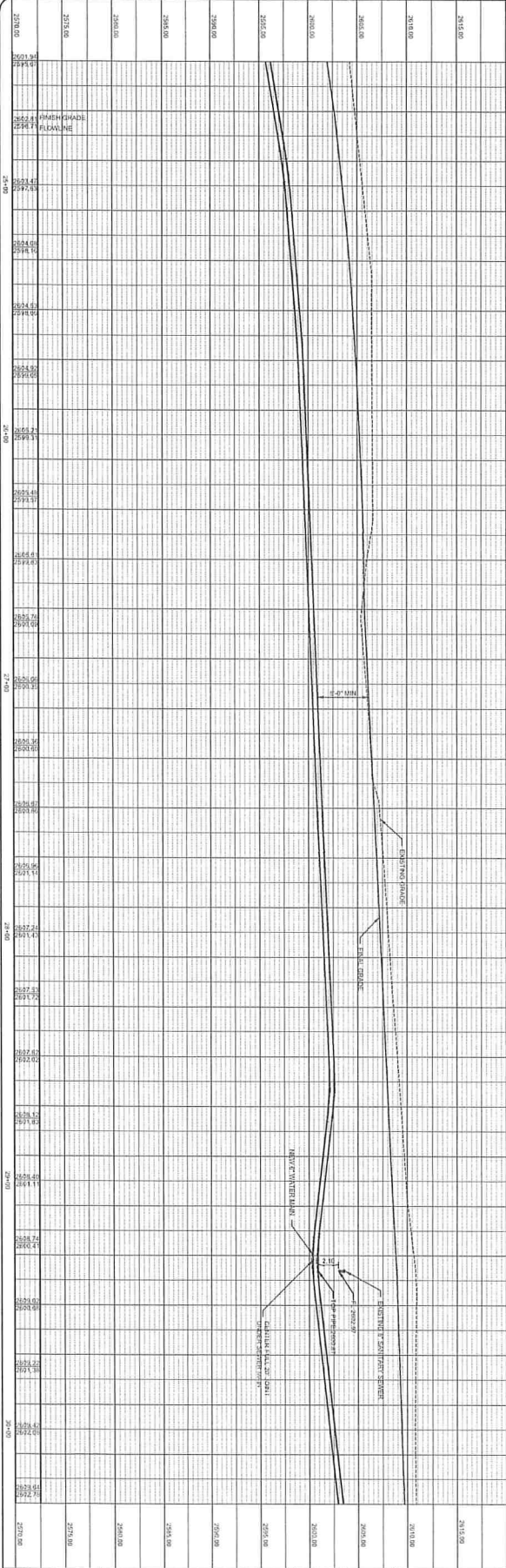
PROJECT NO. 8547-25-C-01
 SHEET NO. 2 OF 2

DATE: FEB. 2026

NORTH POINTE PAVING & UTILITIES PHASE III
 CITY OF McCOOK
 505 WEST C STREET, McCOOK, NEBRASKA



T STREET WATER MAIN



DATE: FEB. 2025

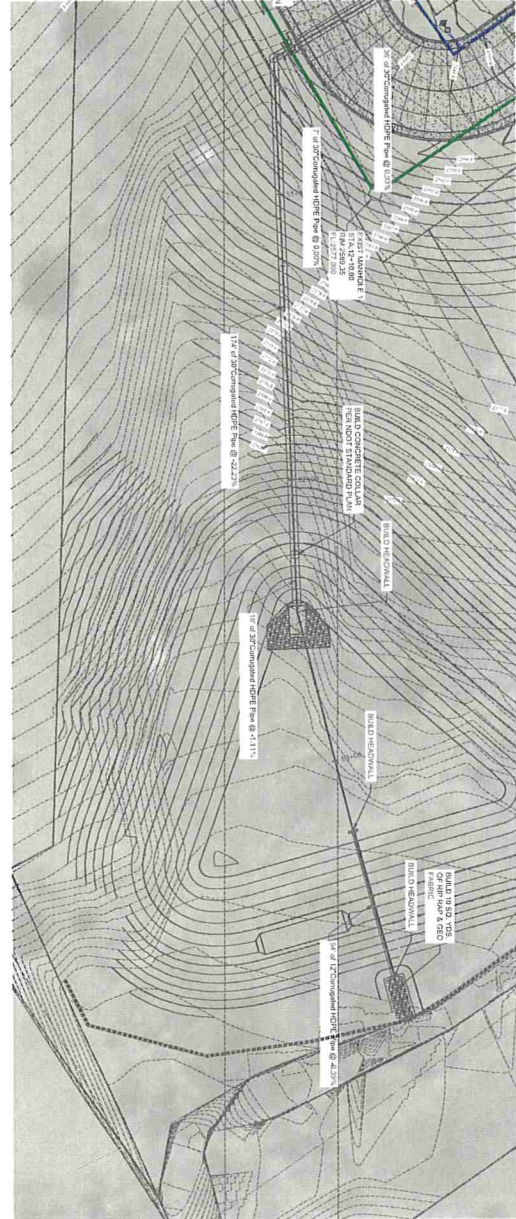
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DRAWN:	KMP
CHECKED:	
REVISIONS:	

7



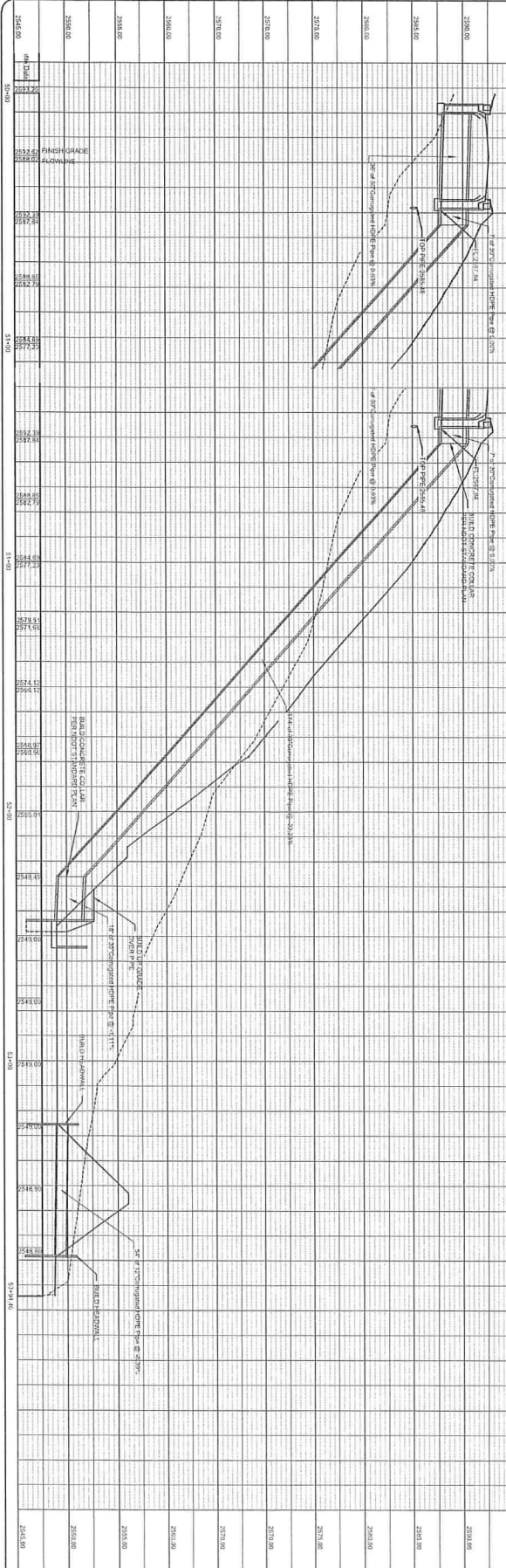
W DESIGN ASSOCIATES
 1714 W. 10TH STREET, SUITE 200, OMAHA, NE 68104
 (402) 442-1111
 www.wdesign.com

NORTH POINTE PAVING & UTILITIES PHASE III
CITY OF McCOOK
 505 WEST C STREET, McCOOK, NEBRASKA



T STREET STORM SEWER

NORTH
 HORIZONTAL SCALE: 1" = 20'
 VERTICAL SCALE: 1" = 4'



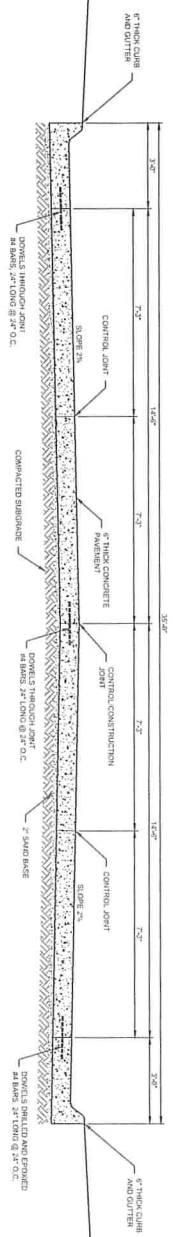
DESIGN ASSOCIATES
 8547-26 C-01
 GRANNI
 CHECKED
 REVISIONS

NORTH POINTE PAVING & UTILITIES PHASE III
 CITY OF McCOOK
 505 WEST C STREET, McCOOK, NEBRASKA

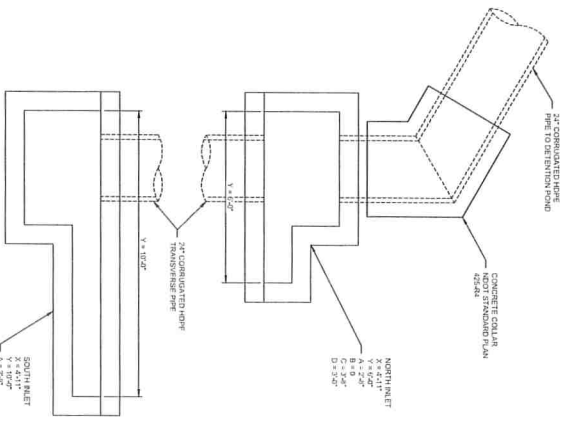
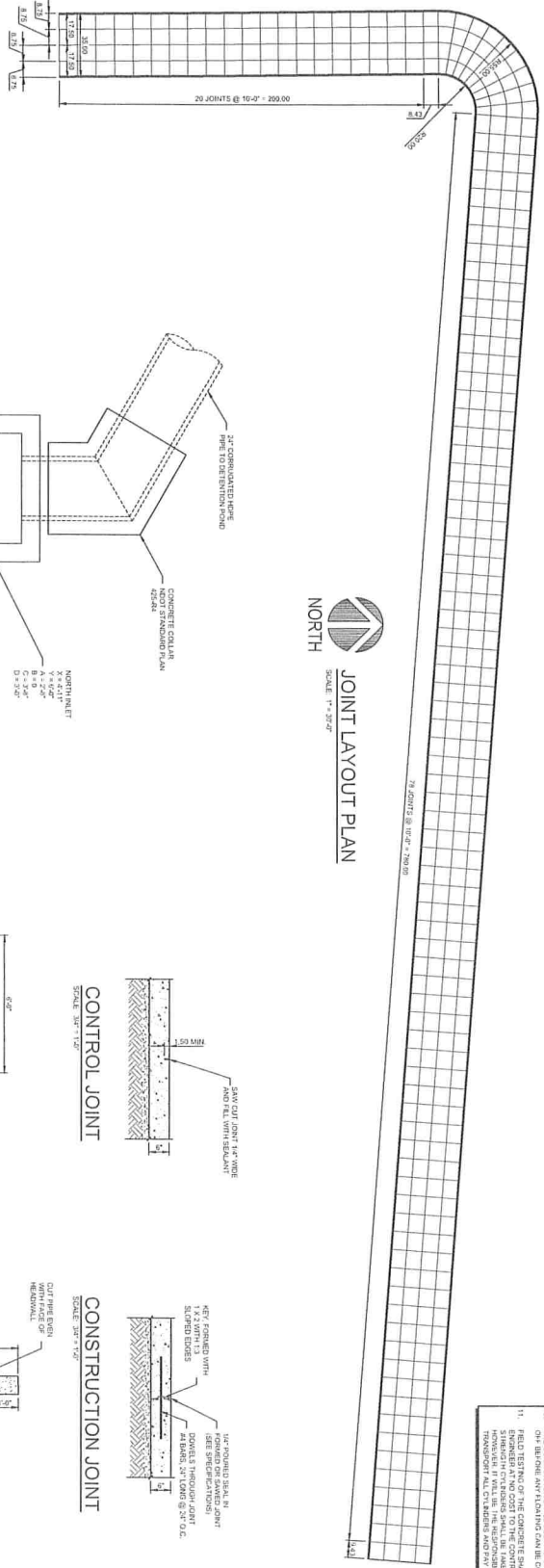
DATE: FEB. 2006
 9

- ### CONCRETE NOTES
1. ALL CONCRETE SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.
 2. ALL CONCRETE TO HAVE 7" COMPACTED DOWEL BASE OR 7" SAND ALL SURFACE UNDER CONCRETE SHALL BE COMPACTED TO 95% OF STANDARD PROCTOR DENSITY AT 2" MINOR INTERVALS.
 3. ALL JOINTS SHALL BE SEALED WITH HOT ROUBED JOINT AND CRACK SEALER WHICH COMPRESSES TO 1/2" MIN. PER INCH.
 4. ALL CONCRETE SHALL HAVE A FINISH PERISH.
 5. CONCRETE TO LAYOUT AND CUT CONTROL JOINTS AS SHOWN.
 6. EXPANSE SHALL STAKE OUT THE DOWELS ONE TIME AT 1/2" DIST TO THE CONCRETE.
 7. THE CONCRETE SHALL NOT BE ALLOWED TO CURE A MINIMUM OF 10 DAYS.
 8. THE CONTRACTOR SHALL USE A W/STRAIGHT EDGE AFTER STRENGTH HAS DEVELOPED.
 9. ON* BEFORE ANY FINISHING CAN BE COMPLETED.
 10. FIELD TESTING OF THE CONCRETE SHALL BE COMPLETED BY THE CONTRACTOR AT THE DISCRETION OF THE ENGINEER.
 11. STRENGTH OF CONCRETE SHALL BE CHECKED BY THE CONTRACTOR AT THE DISCRETION OF THE ENGINEER.

TYPICAL SECTION
SCALE: 1/2" = 1'-0"

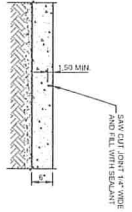


JOINT LAYOUT PLAN
SCALE: 1" = 2'-0"

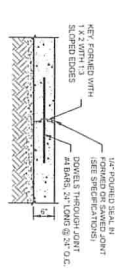


NDOT STANDARD INLET - PLAN 443-R9
SCALE: NOT TO SCALE

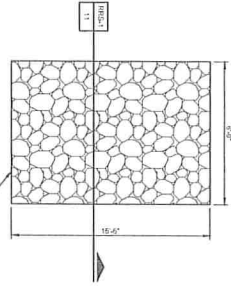
CONTROL JOINT
SCALE: 3/4" = 1'-0"



CONSTRUCTION JOINT
SCALE: 3/4" = 1'-0"



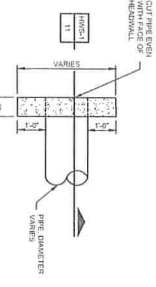
RIP RAP PLAN
SCALE: NOT TO SCALE



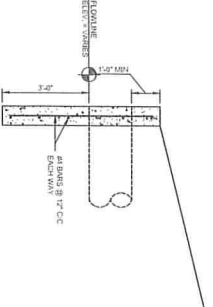
RIP RAP SECTION
SCALE: NOT TO SCALE



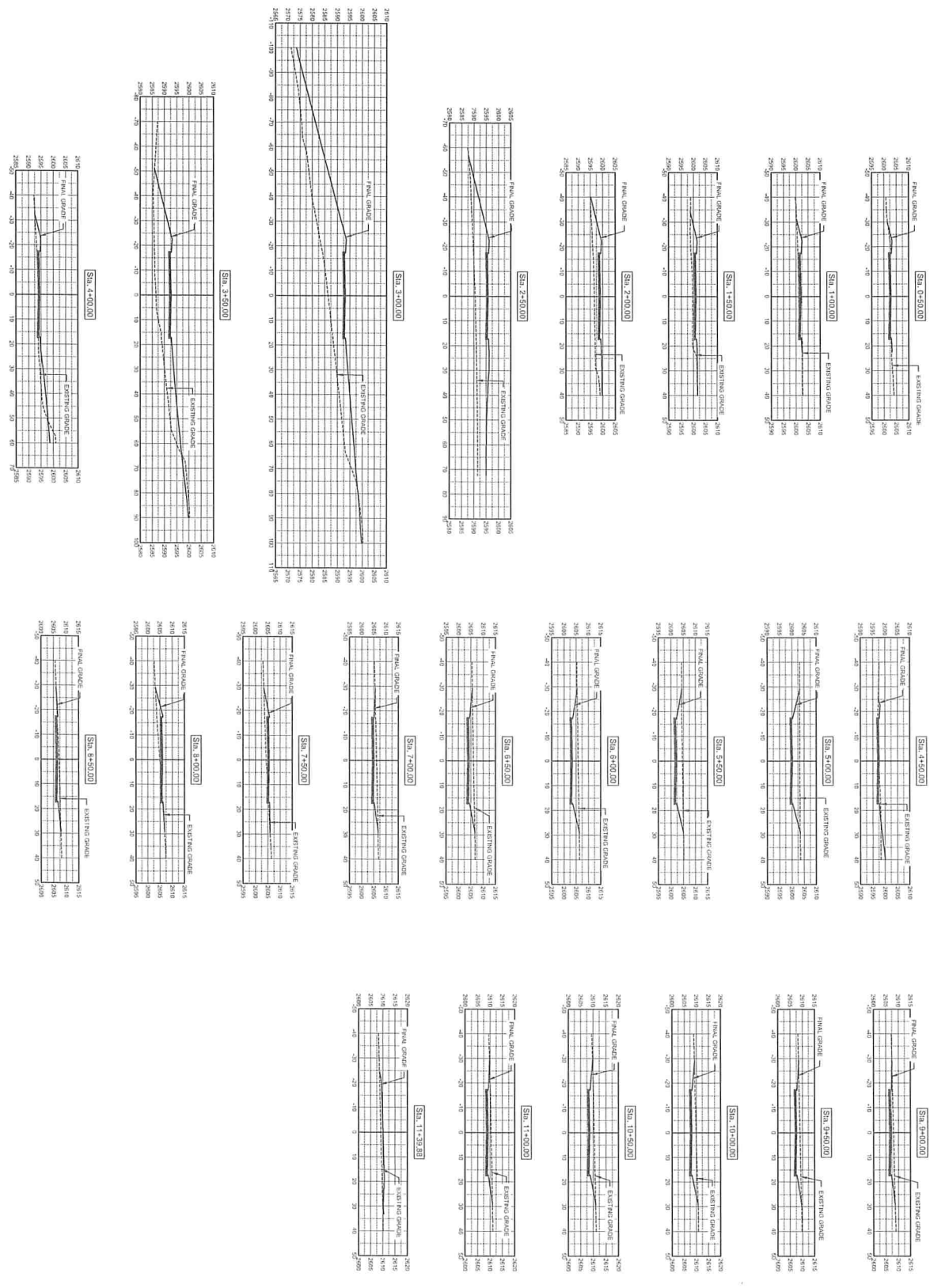
HEADWALL DETAIL
SCALE: 1/2" = 1'-0"



HEADWALL SECTION
SCALE: 1/2" = 1'-0"



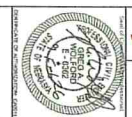
DWG:	604726-C-01
DRAWN:	AMP
CHECKED:	
REVISIONS:	



PROJECT: NORTH POINTE PAVING & UTILITIES PHASE III
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 DATE: FEB. 2025

DWG:	8541-26-C-01
DRAWN:	AMP
CHECKED:	
REVISIONS:	

12



DESIGN ASSOCIATES
 1000 S. 10th Street, Suite 100
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 TEL: 402.476.1111
 FAX: 402.476.1112
 WWW.DESIGNASSOCIATES.COM

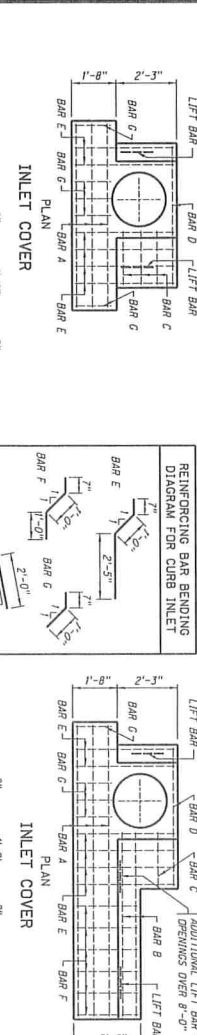
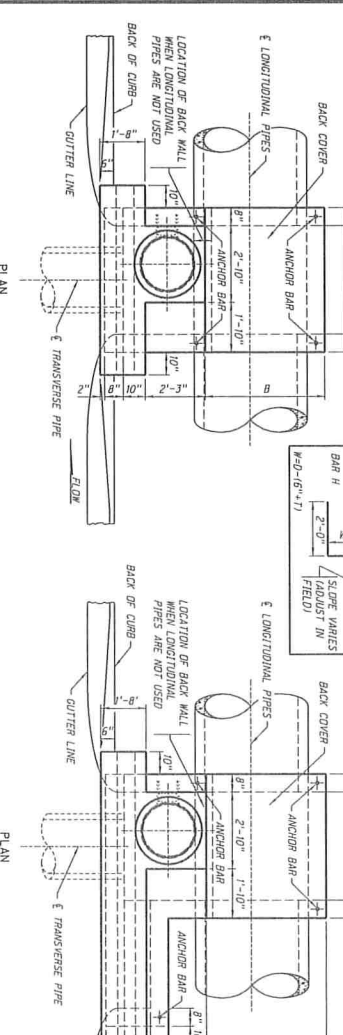
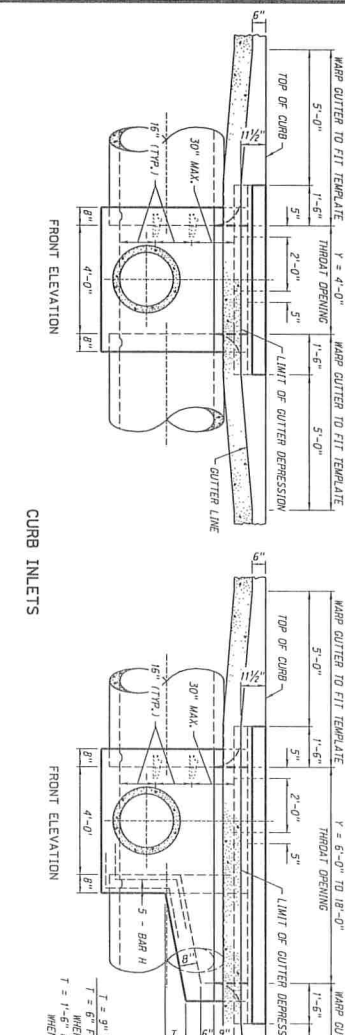
NORTH POINTE PAVING & UTILITIES PHASE III
CITY OF McCOOK
 505 WEST C STREET, McCOOK, NEBRASKA

Scale: 1/8"=1'-0"

SHEET 1 OF 2

DATA FOR CURB INLETS

NO. OF INLETS	DIMENSIONS				CONCRETE, CU. YDS. (1)												REINFORCING STEEL, LBS.												ADDITIONAL QUANTITIES PER ONE INLET					
	A	B	C	D	Y-4	Y-6	Y-8	Y-10	Y-12	Y-14	Y-16	Y-18	Y-20	Y-22	Y-24	Y-26	Y-28	Y-30	Y-32	Y-34	Y-36	Y-38	Y-40	Y-42	Y-44	Y-46	Y-48	Y-50	Y-52	Y-54	Y-56	Y-58	Y-60	NO. REINFORCING BARS
1	1'-0"	1'-0"	1'-0"	1'-0"	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00



REINFORCING BAR SCHEDULE FOR CURB INLETS

BAR	SIZE	SHAPE	Y = 4'-0"	Y = 6'-0"	Y = 8'-0"	Y = 10'-0"	Y = 12'-0"	Y = 14'-0"	Y = 16'-0"	Y = 18'-0"	Y = 20'-0"	Y = 22'-0"	Y = 24'-0"	Y = 26'-0"	Y = 28'-0"	Y = 30'-0"	Y = 32'-0"	Y = 34'-0"	Y = 36'-0"	Y = 38'-0"	Y = 40'-0"	Y = 42'-0"	Y = 44'-0"	Y = 46'-0"	Y = 48'-0"	Y = 50'-0"	Y = 52'-0"	Y = 54'-0"	Y = 56'-0"	Y = 58'-0"	Y = 60'-0"	
A	#3	3TH	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"

① "x" SHALL NOT EXCEED "y"-6".

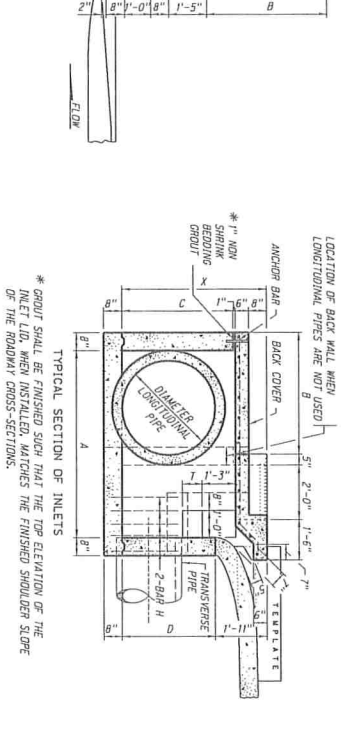
② "x" SHALL NOT EXCEED 10'-0".

③ NO REDUCTIONS WILL BE MADE FOR PIPE DEPRESSIONS.

④ NOT APPLICABLE WHEN "Y" = 4'-0".

⑤ DIAMETER OF PIPE AND MINIMUM "x" IN THIS INLET DATA TABLE ARE BASED ON THE LONGITUDINAL PIPES BEING USED. THE TRANSVERSE PIPE DIAMETER MAY BE CONSIDERED BY THE TRANSVERSE PIPE DIAMETER PLUS 9".

FOR 14'-0" TO 18'-0" & 18'-0" INLET DEPRESSIONS MID-POINT COVER SUPPORT



NOTES:

* CURB SHALL BE FINISHED SUCH THAT THE TOP ELEVATION OF THE INLET LID, WHEN INSTALLED, MATCHES THE FINISHED SHOULDER SLOPE OF THE ROADWAY CROSS-SECTIONS.

* THE QUANTITIES OF CONCRETE AND STEEL FOR CURB INLET INCLUDES THAT PORTION OF CONCRETE AND STEEL BELOW AND BACK OF THE CURB SECTION AS SHOWN ON THIS PLAN.

THE CONCRETE COVERS MAY BE CAST IN PLACE OR PRECAST.

THE CAST IRON CONCRETE FRAMES SHALL BE CAST IRON CONFORMING TO THE SPECIFICATIONS. CAST IRON STEPS SHALL BE INSTALLED IN CURB INLETS AND JUNCTION BOXES WHEN THE "x" DIMENSION IS 4'-6" OR GREATER. THE FINISHING AND PLACING OF CAST IRON STEPS SHALL BE SUBORDINARY TO THE ITEM FOR WHICH DIRECT PAYMENT IS MADE.

THE CUTTER DEPRESSION TEMPLATE SHALL BE USED THROUGHOUT THE THROAT OPENING. CLASS OF CONCRETE AND MINIMUM COMPRESSIVE STRENGTH AND TYPE OF STEEL FOR REINFORCING BARS SHALL CONFORM TO THE DEPARTMENT OF ROADS "STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION."

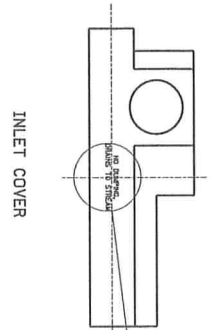
THE INLET COVER SHALL BE IMPRINTED "NO DUMPING". SEE SHEET 2 OF 2.

NEBRASKA DEPARTMENT OF ROADS
STANDARD PLAN NO. 443-R9
CURB INLETS
AND JUNCTION BOX

ACCEPTED BY FHWA FOR USE ON THE NATIONAL HIGHWAY SYSTEM.

PROFESSIONAL ENGINEER
JAMES A. HARRIS
REGISTERED PROFESSIONAL ENGINEER
STATE OF NEBRASKA
NO. 0000000000
FEBRUARY 22, 1974

ORIGINAL: SAIT
1
2



INLET COVER

NOTE:
THIS IS TO BE IMPROVED INTO
CONCRETE AT A DEPTH OF 7'-8".

SIZE X x Y	QUANTITIES FOR JUNCTION BOX		ADDITIONAL QUANTITIES OF CONCRETE (CAL. VOLS.) PER ONE FROM INCREASE OF SPACING
	CONCRETE CU. YDS.	REINFORCING STEEL LBS.	
2'-0" x 2'-0"	0.84	15	0.32
2'-0" x 2'-6"	1.06	18	0.27
2'-0" x 3'-0"	1.18	23	0.31
2'-6" x 2'-6"	1.20	19	0.31
2'-6" x 3'-0"	1.47	29	0.35
3'-0" x 3'-0"	1.61	30	0.39
3'-0" x 4'-0"	1.76	34	0.41

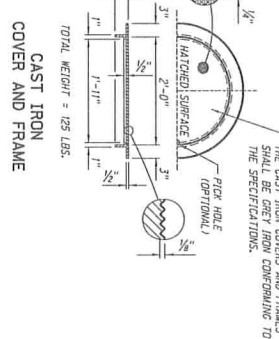
NO REDUCTIONS WILL BE MADE FOR PIPE OPENINGS
DIMENSION 'X' SHALL NOT EXCEED 5'-6"



SECTION
BACK COVER



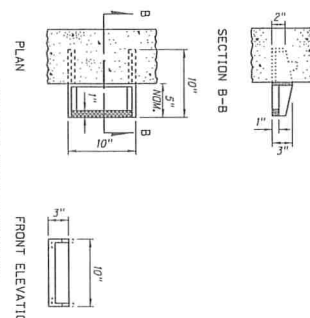
PLAN



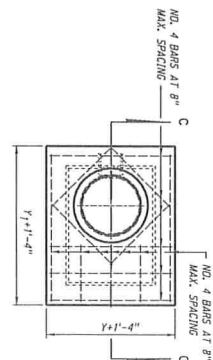
CAST IRON
COVER AND FRAME

THROAT GRINDING	WEIGHT (LBS.)
4'-0"	100
6'-0"	129
8'-0"	157
10'-0"	186
12'-0"	215
14'-0"	243
16'-0"	272

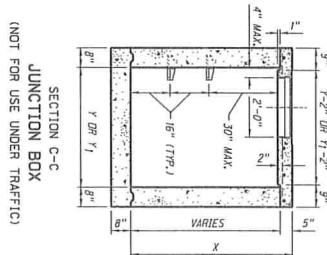
STRUCTURAL STEEL FOR FACE ARMOR



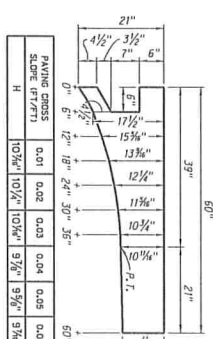
FRONT ELEVATION



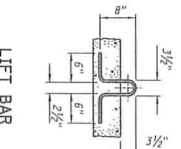
PLAN



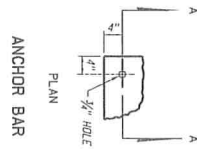
SECTION C-C
JUNCTION BOX
(NOT FOR USE UNDER TRAFFIC)



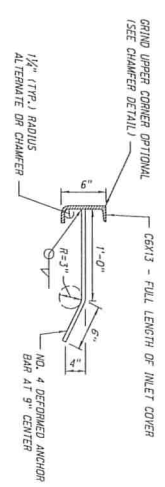
GUTTER DEPRESSION TEMPLATE



LIFT BAR



SECTION A-A
ANCHOR BAR



FACE ARMOR

NOTE:
THE COMPLETED FACE ANCHOR/ANCHOR BAR ASSEMBLY SHALL BE HOT-DIPPED GALVANIZED IN ACCORDANCE WITH ASTM A553.

APR 14 1974 PUT "1-2" BACK IN JUNCTION BOX

APR 17 1974 NO FACE ARMOR DETAIL TO STREAM

REVISION NO. DATE DESCRIPTION OF REVISION

NEBRASKA DEPARTMENT OF ROADS
STANDARD PLAN NO. 443-R9
CURB INLETS
AND JUNCTION BOX

ACCEPTED BY FHWA FOR USE ON THE NATIONAL HIGHWAY SYSTEM

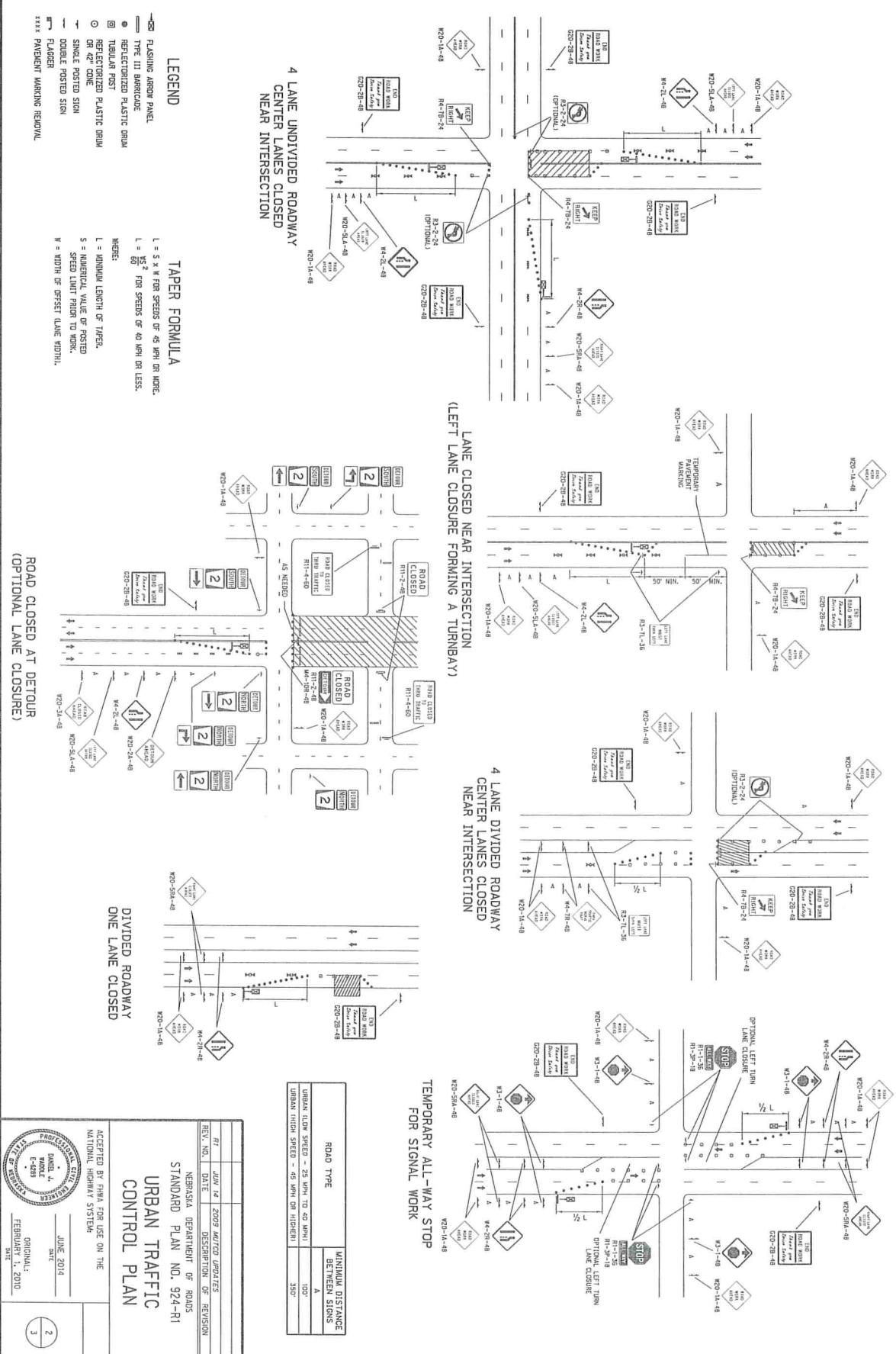
DESIGNED BY: JAMES J. MOYER
CHECKED BY: JAMES J. MOYER
DATE: FEBRUARY 22, 1974

ORIGINAL: FEBRUARY 22, 1974

DATE: _____

SCALE: _____

2



LEGEND

- FLASHING ARROW PANEL
- TYPE III BARRICADE
- REFLECTORIZED PLASTIC DRUM
- TUBULAR POST
- REFLECTORIZED PLASTIC DRUM ON 42" CONE
- SINGLE POSTED SIGN
- DOUBLE POSTED SIGN
- FLAGGER
- PANEL MARKING REMOVAL

TAPER FORMULA

L = S * V / (FOR SPEEDS OF 45 MPH OR MORE)
 L = 50 / 2 FOR SPEEDS OF 40 MPH OR LESS.

NOTES:

- L = MINIMUM LENGTH OF TAPER.
- S = NUMERICAL VALUE OF POSTED SPEED LIMIT PRIOR TO WORK.
- V = WIDTH OF OFFSET (LANE WIDTH).

ROAD CLOSED AT DETOUR (OPTIONAL LANE CLOSURE)

REV. NO.	DATE	DESCRIPTION OF REVISION
01	JUN 14 2009	ADDED URBAN URBANIZES
02		
03		
04		
05		
06		
07		
08		
09		
10		
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20		

NEBRASKA DEPARTMENT OF ROADS
 STANDARD PLAN NO. 924-R1
 URBAN TRAFFIC CONTROL PLAN

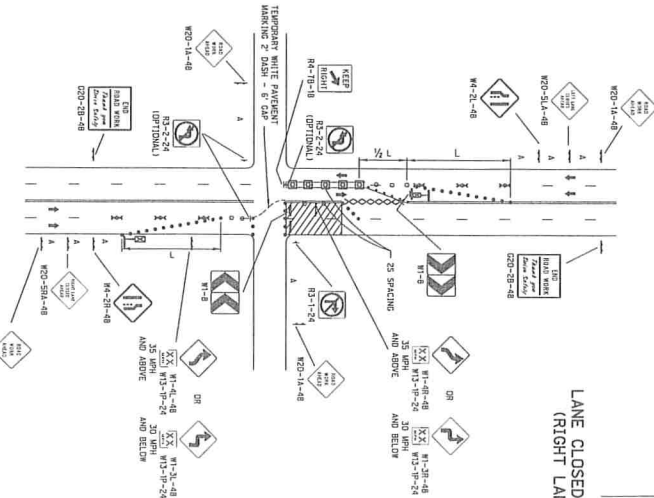
ACCEPTED BY FHWA FOR USE ON THE NATIONAL HIGHWAY SYSTEM

DANIEL A. MUELLER
 PROJECT ENGINEER
 JUNE 2014
 ORIGINAL: FEBRUARY 1, 2010

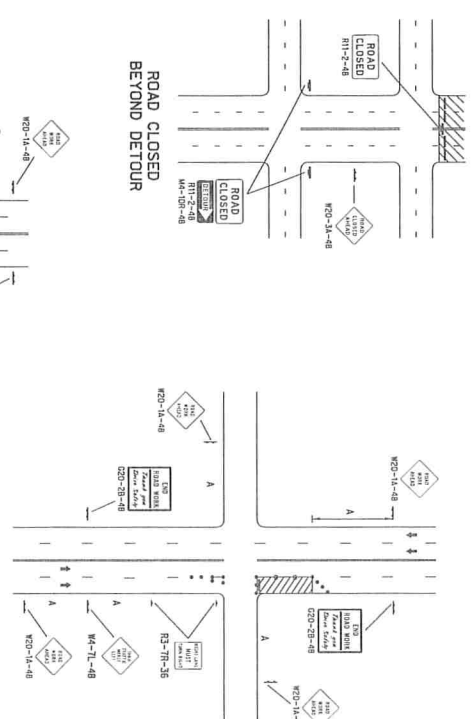
ROAD TYPE	MINIMUM DISTANCE BETWEEN SIGNS
URBAN (LOW SPEED - 25 MPH TO 40 MPH)	A
URBAN (HIGH SPEED - 45 MPH OR HIGHER)	150'

TEMPORARY ALL-WAY STOP FOR SIGNAL WORK

**4 LANE UNDIVIDED ROADWAY
 TWO LANES CLOSED NEAR INTERSECTION**



**LANE CLOSED NEAR INTERSECTION
 (RIGHT LANE REMAINS OPEN)**



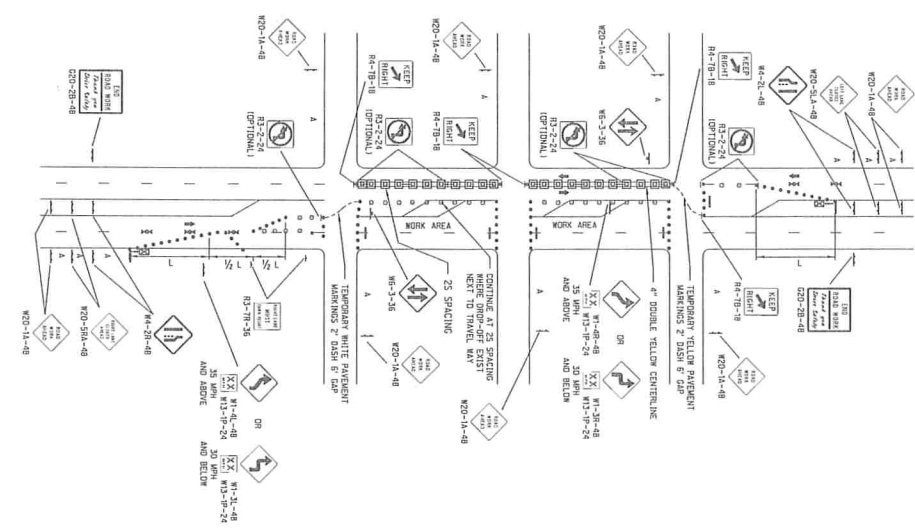
LEGEND

- FLASHING ARROW PANEL
- TYPE III BARBOURAGE
- REFLECTORIZED PLASTIC DUMM
- TUBULAR POST
- REFLECTORIZED PLASTIC DUMM ON 42" CONE
- SINGLE POSTED SIGN
- DOUBLE POSTED SIGN
- FLAGGER
- XXXX PAVEMENT MARKING REMOVAL

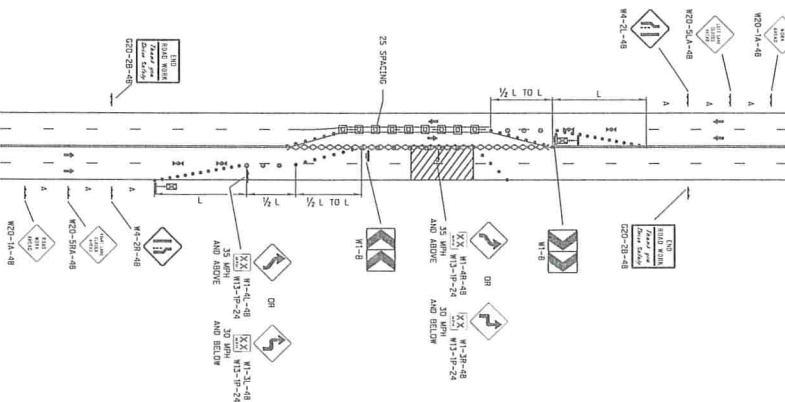
TAPER FORMULA

- L = S X W FOR SPEEDS OF 45 MPH OR MORE.
 - L = W² FOR SPEEDS OF 40 MPH OR LESS.
- WHERE:
 L = MINIMUM LENGTH OF TAPER.
 S = NUMERICAL VALUE OF POSTED SPEED LIMIT PRIOR TO WORK.
 W = WIDTH OF OFFSET LANE WIDTH.

**4-LANE DIVIDED
 HALF LANE CLOSED**



**4-LANE UNDIVIDED
 2 LANES CLOSED**



ROAD TYPE	MINIMUM DISTANCE BETWEEN SIGNS
URBAN LOW SPEED - 25 MPH TO 40 MPH	100'
URBAN HIGH SPEED - 45 MPH OR HIGHER	350'

ACCEPTED BY FHWA FOR USE ON THE NATIONAL HIGHWAY SYSTEM

NEBRASKA DEPARTMENT OF ROADS
 STANDARD PLAN NO. 924-R1
 URBAN TRAFFIC CONTROL PLAN

REV. NO. DATE DESCRIPTION OF REVISION

1 06/14/2009 ADDED URBAN TRAFFIC CONTROL PLAN

2 06/14/2014 DATE

3 02/01/2010 ORIGINAL DATE

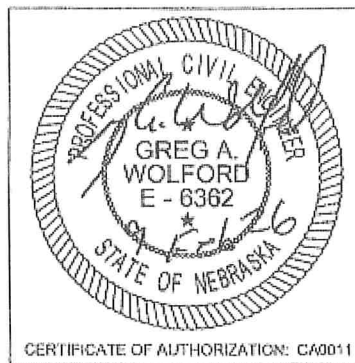
PROFESSIONAL ENGINEER
 DANIEL A. HADLE
 LICENSE NO. 5-0099

DATE: JUNE 2014

ORIGINAL: FEBRUARY 1, 2010

Drainage Study
For the
Third North Pointe Addition
City of McCook
McCook, Nebraska

Prepared by: W Design Associates
McCook/ Hastings, NE



February, 2026

TABLE OF CONTENTS

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DISCUSSION:

The McCook Economic Development Corporation is expanding the North Pointe Addition Project in a third phase. The addition will expand West 9th Street to the North and connect it to West 7th with the addition of "T" Street. This subdivision expansion will create 11 additional plots for private homes.

This project will replace farmground with new pavement and single family homes. To offset this and previous runoff increases from Phase II, a detention pond will be constructed to the Northwest of the West 9th and T Street conjunction. The purpose of this new detention pond is to slow the peak runoff from the new development to not overtax the downstream storm drainage systems.

The existing land drains to the Northwest, where it makes its way through the drainage channel to Kelly Creek. The detention pond will intercept this runoff and greatly reduce discharge to the drainage channel. Standard inlets will be included on both the North and South of the conjunction, sending the runoff from the street to the detention pond through storm sewers.

DRAINAGE CALCULATIONS:

Calculations were completed in the software program HydroCAD with the NOAA rainfall records for Red Willow County, NE and utilizing the SCS TR-20 method.

The program was used to calculate the estimated peak runoff generated for the existing site and the fully developed and completed site for comparison. Iterations were run for storms with four different frequencies. They were a 2 yr., 10 yr., 25 yr. and a 100 yr. storm.

Attached in the Appendix are the detailed results from the HydroCAD program, showing both the runoff for the existing conditions and for the fully developed site. A summary of the results is included on the following Table.

	Area 1S - Phase II	Area 2S - Phase III South	Area 4S - Phase III North	Area 5S - Existing	Area 3P - Detention Pond
Storm	Peak Runoff (cfs)	Peak Runoff (cfs)	Peak Runoff (cfs)	Peak Runoff (cfs)	Peak Discharge (cfs)
2 Yr.	5.43	3.31	1.9	6.16	4.4
10 Yr.	11.28	7.37	3.81	15.19	6.76
25 yr.	15.58	10.44	5.2	22.29	7.92
100 Yr.	22.87	15.7	7.54	34.71	19.56

SUMMARY

The appropriate comparison for analyzing these results is looking at the existing site peak runoff for a particular storm frequency and comparing that to the detention pond peak discharge for that same storm. As is shown in the above table, the detention pond reduces the peak flow to the drainage channel for all storm frequencies, negating the additional runoff impact for this development.



Existing



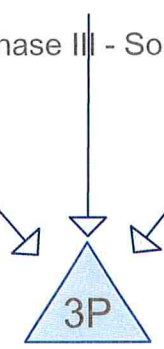
Phase II



Phase III - South



Phase III - North



Detention



Routing Diagram for North Pointe Phase III
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North Pointe Phase III

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Project Notes

Rainfall events imported from "NRCS-Rain.txt" for 6471 NE Red Willow

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Rainfall Events Listing (selected events)

Event#	Event Name	Storm Type	Curve	Mode	Duration (hours)	B/B	Depth (inches)	AMC
1	2-Year	MSE 24-hr	2	Default	24.00	1	2.56	2
2	10-Year	MSE 24-hr	2	Default	24.00	1	3.69	2
3	25-Year	MSE 24-hr	2	Default	24.00	1	4.45	2
4	100-Year	MSE 24-hr	2	Default	24.00	1	5.68	2

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Area Listing (all nodes)

Area (acres)	CN	Description (subcatchment-numbers)
4.760	72	1/3 acre lots, 30% imp, HSG B (2S, 4S)
5.762	75	1/4 acre lots, 38% imp, HSG B (1S)
12.411	72	Legumes, straight row, Good, HSG B (5S)
1.889	98	Paved roads w/curbs & sewers, HSG B (1S, 2S, 4S)
24.822	75	TOTAL AREA

North Pointe Phase III

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Page 5

Soil Listing (all nodes)

Area (acres)	Soil Group	Subcatchment Numbers
0.000	HSG A	
24.822	HSG B	1S, 2S, 4S, 5S
0.000	HSG C	
0.000	HSG D	
0.000	Other	
24.822		TOTAL AREA

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Ground Covers (all nodes)

HSG-A (acres)	HSG-B (acres)	HSG-C (acres)	HSG-D (acres)	Other (acres)	Total (acres)	Ground Cover	Subcatchment Numbers
0.000	4.760	0.000	0.000	0.000	4.760	1/3 acre lots, 30% imp	2S, 4S
0.000	5.762	0.000	0.000	0.000	5.762	1/4 acre lots, 38% imp	1S
0.000	12.411	0.000	0.000	0.000	12.411	Legumes, straight row, Good	5S
0.000	1.889	0.000	0.000	0.000	1.889	Paved roads w/curbs & sewers	1S, 2S, 4S
0.000	24.822	0.000	0.000	0.000	24.822	TOTAL AREA	

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Pipe Listing (all nodes)

Line#	Node Number	In-Invert (feet)	Out-Invert (feet)	Length (feet)	Slope (ft/ft)	n	Width (inches)	Diam/Height (inches)	Inside-Fill (inches)	Node Name
1	3P	2,549.00	2,548.50	50.0	0.0100	0.013	0.0	12.0	0.0	

North Pointe Phase III

MSE 24-hr 2-Year Rainfall=2.56"

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Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: Phase II Runoff Area=294,774 sf 47.21% Impervious Runoff Depth>0.79"
Flow Length=1,030' Slope=0.0150 '/' Tc=28.2 min CN=78 Runoff=5.43 cfs 0.443 af

Subcatchment 2S: Phase III - South Runoff Area=175,829 sf 37.66% Impervious Runoff Depth>0.65"
Flow Length=860' Slope=0.0314 '/' Tc=18.5 min CN=75 Runoff=3.31 cfs 0.219 af

Subcatchment 4S: Phase III - North Runoff Area=70,030 sf 49.24% Impervious Runoff Depth>0.84"
Flow Length=860' Slope=0.0314 '/' Tc=16.4 min CN=79 Runoff=1.90 cfs 0.112 af

Subcatchment 5S: Existing Runoff Area=540,633 sf 0.00% Impervious Runoff Depth>0.53"
Flow Length=1,160' Slope=0.0259 '/' Tc=28.1 min CN=72 Runoff=6.16 cfs 0.545 af

Pond 3P: Detention Peak Elev=2,550.99' Storage=10,557 cf Inflow=9.81 cfs 0.775 af
Primary=4.40 cfs 0.753 af Secondary=0.00 cfs 0.000 af Outflow=4.40 cfs 0.753 af

Total Runoff Area = 24.822 ac Runoff Volume = 1.320 af Average Runoff Depth = 0.64"
77.82% Pervious = 19.316 ac 22.18% Impervious = 5.506 ac

North Pointe Phase III

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MSE 24-hr 2 2-Year Rainfall=2.56"

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Summary for Subcatchment 1S: Phase II

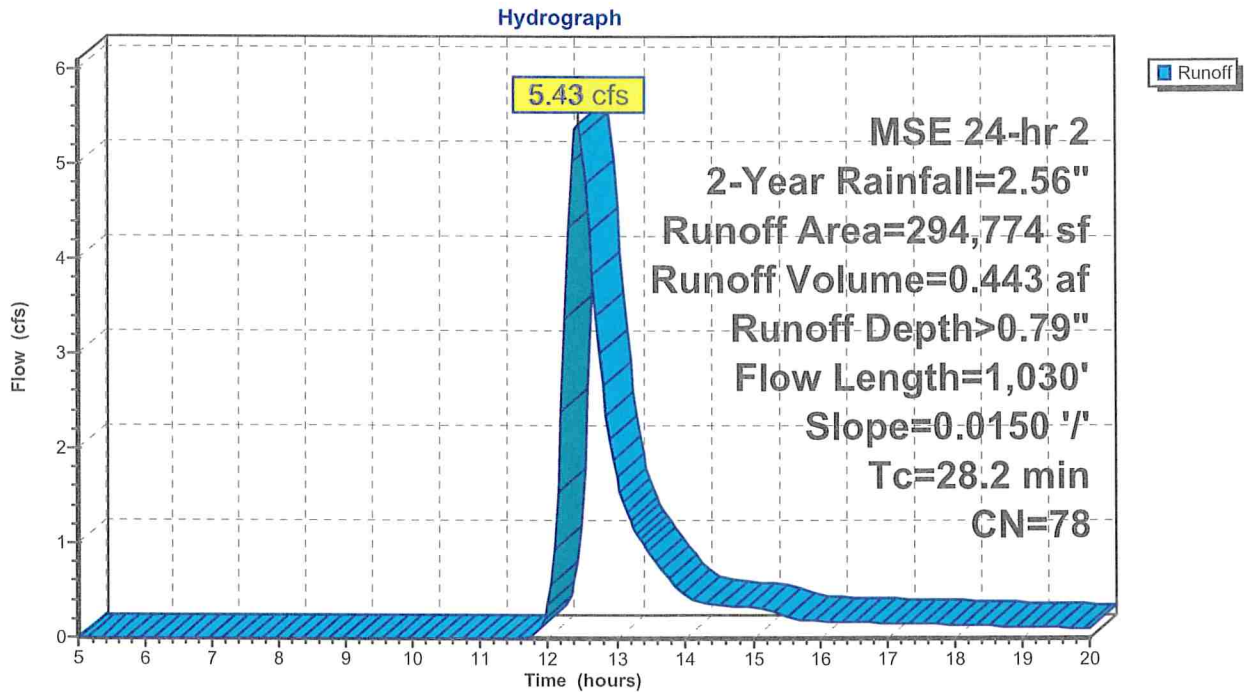
Runoff = 5.43 cfs @ 12.43 hrs, Volume= 0.443 af, Depth> 0.79"
 Routed to Pond 3P : Detention

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 MSE 24-hr 2 2-Year Rainfall=2.56"

Area (sf)	CN	Description
250,999	75	1/4 acre lots, 38% imp, HSG B
43,775	98	Paved roads w/curbs & sewers, HSG B
294,774	78	Weighted Average
155,619		52.79% Pervious Area
139,155		47.21% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
28.2	1,030	0.0150	0.61		Lag/CN Method,

Subcatchment 1S: Phase II



North Pointe Phase III

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MSE 24-hr 2 2-Year Rainfall=2.56"

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Summary for Subcatchment 2S: Phase III - South

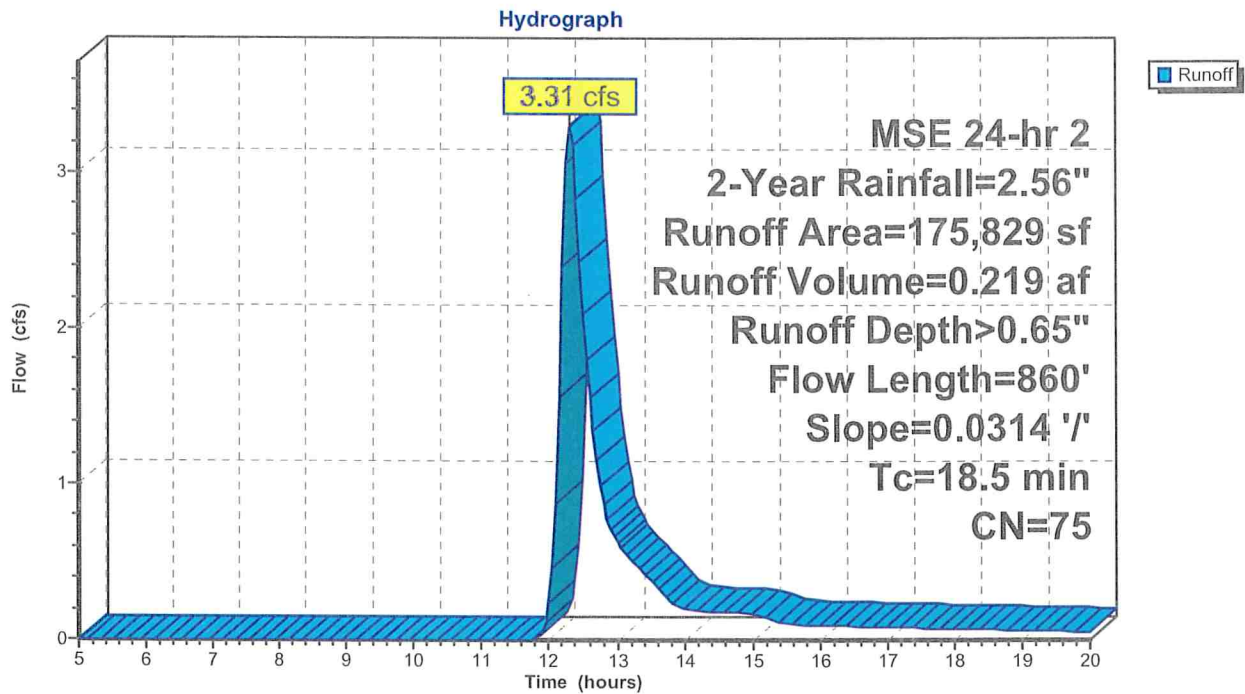
Runoff = 3.31 cfs @ 12.31 hrs, Volume= 0.219 af, Depth> 0.65"
 Routed to Pond 3P : Detention

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 MSE 24-hr 2 2-Year Rainfall=2.56"

Area (sf)	CN	Description
156,581	72	1/3 acre lots, 30% imp, HSG B
19,248	98	Paved roads w/curbs & sewers, HSG B
175,829	75	Weighted Average
109,607		62.34% Pervious Area
66,222		37.66% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
18.5	860	0.0314	0.78		Lag/CN Method,

Subcatchment 2S: Phase III - South



North Pointe Phase III

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MSE 24-hr 2 2-Year Rainfall=2.56"

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Summary for Subcatchment 4S: Phase III - North

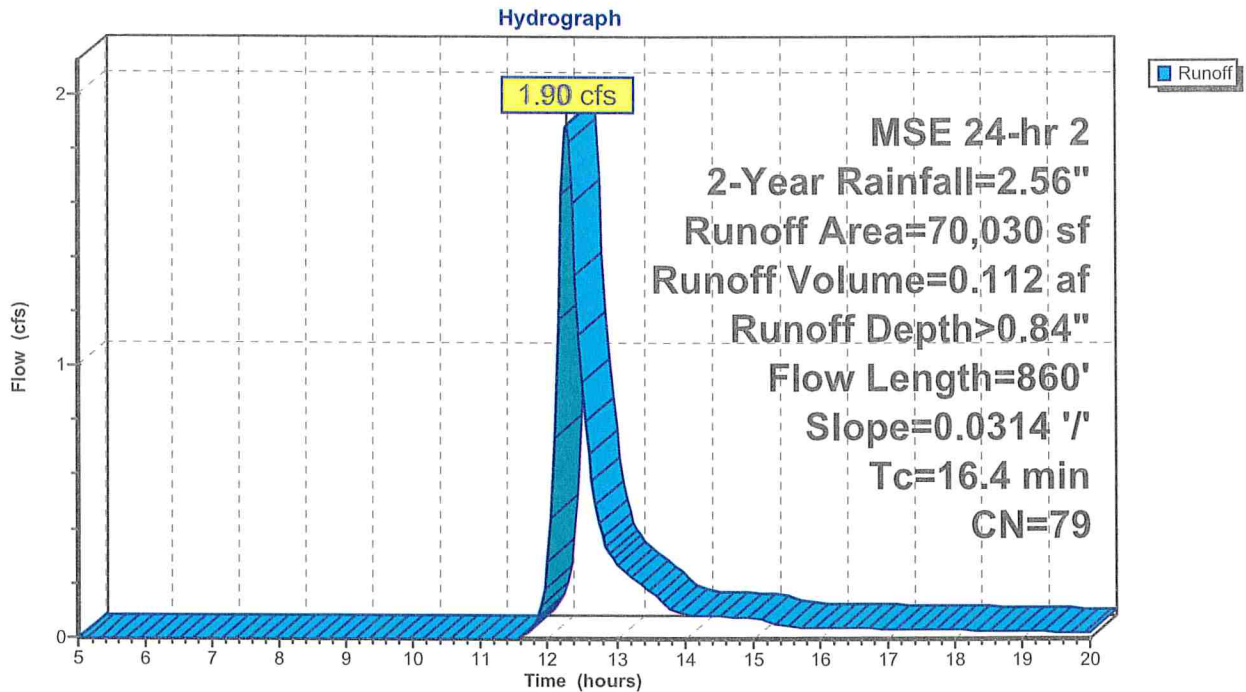
Runoff = 1.90 cfs @ 12.27 hrs, Volume= 0.112 af, Depth> 0.84"
 Routed to Pond 3P : Detention

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 MSE 24-hr 2 2-Year Rainfall=2.56"

Area (sf)	CN	Description
50,782	72	1/3 acre lots, 30% imp, HSG B
19,248	98	Paved roads w/curbs & sewers, HSG B
70,030	79	Weighted Average
35,547		50.76% Pervious Area
34,483		49.24% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
16.4	860	0.0314	0.87		Lag/CN Method,

Subcatchment 4S: Phase III - North



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MSE 24-hr 2 2-Year Rainfall=2.56"

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Summary for Subcatchment 5S: Existing

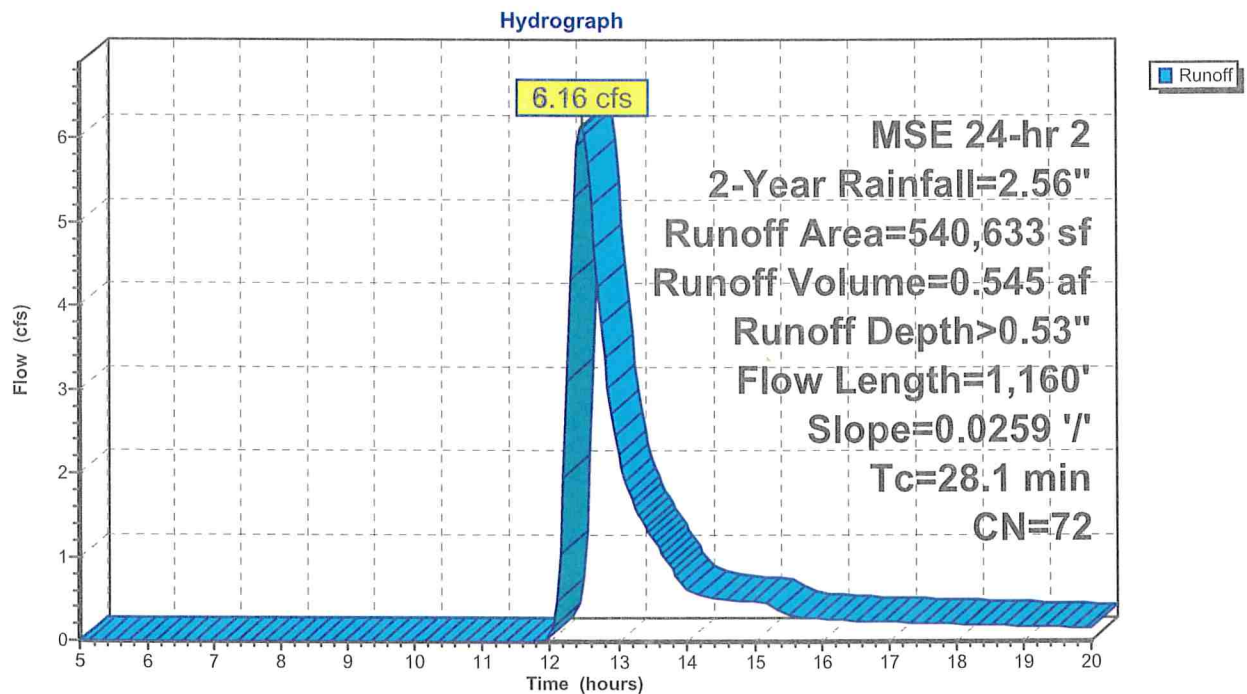
Runoff = 6.16 cfs @ 12.46 hrs, Volume= 0.545 af, Depth> 0.53"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
MSE 24-hr 2 2-Year Rainfall=2.56"

Area (sf)	CN	Description
540,633	72	Legumes, straight row, Good, HSG B
540,633		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
28.1	1,160	0.0259	0.69		Lag/CN Method,

Subcatchment 5S: Existing



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MSE 24-hr 2 2-Year Rainfall=2.56"

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Summary for Pond 3P: Detention

Inflow Area = 12.411 ac, 44.37% Impervious, Inflow Depth > 0.75" for 2-Year event
 Inflow = 9.81 cfs @ 12.35 hrs, Volume= 0.775 af
 Outflow = 4.40 cfs @ 12.76 hrs, Volume= 0.753 af, Atten= 55%, Lag= 24.2 min
 Primary = 4.40 cfs @ 12.76 hrs, Volume= 0.753 af
 Secondary = 0.00 cfs @ 5.00 hrs, Volume= 0.000 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Peak Elev= 2,550.99' @ 12.76 hrs Surf.Area= 6,583 sf Storage= 10,557 cf

Plug-Flow detention time= 39.1 min calculated for 0.750 af (97% of inflow)
 Center-of-Mass det. time= 29.0 min (838.2 - 809.2)

Volume	Invert	Avail.Storage	Storage Description
#1	2,549.00'	62,771 cf	Custom Stage Data (Prismatic) Listed below (Recalc)

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
2,549.00	4,057	0	0
2,550.00	5,274	4,666	4,666
2,551.00	6,591	5,933	10,598
2,552.00	8,009	7,300	17,898
2,553.00	9,527	8,768	26,666
2,554.00	11,146	10,337	37,003
2,555.00	12,865	12,006	49,008
2,556.00	14,661	13,763	62,771

Device	Routing	Invert	Outlet Devices
#1	Primary	2,549.00'	12.0" Round Culvert L= 50.0' CPP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 2,549.00' / 2,548.50' S= 0.0100 1' Cc= 0.900 n= 0.013 Corrugated PE, smooth interior, Flow Area= 0.79 sf
#2	Secondary	2,555.50'	30.0' long + 4.0 1' SideZ x 4.0' breadth Broad-Crested Rectangular Weir Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 1.80 2.00 2.50 3.00 3.50 4.00 4.50 5.00 5.50 Coef. (English) 2.38 2.54 2.69 2.68 2.67 2.67 2.65 2.66 2.66 2.68 2.72 2.73 2.76 2.79 2.88 3.07 3.32

Primary OutFlow Max=4.40 cfs @ 12.76 hrs HW=2,550.99' (Free Discharge)
 ↑1=Culvert (Barrel Controls 4.40 cfs @ 5.60 fps)

Secondary OutFlow Max=0.00 cfs @ 5.00 hrs HW=2,549.00' (Free Discharge)
 ↑2=Broad-Crested Rectangular Weir (Controls 0.00 cfs)

North Pointe Phase III

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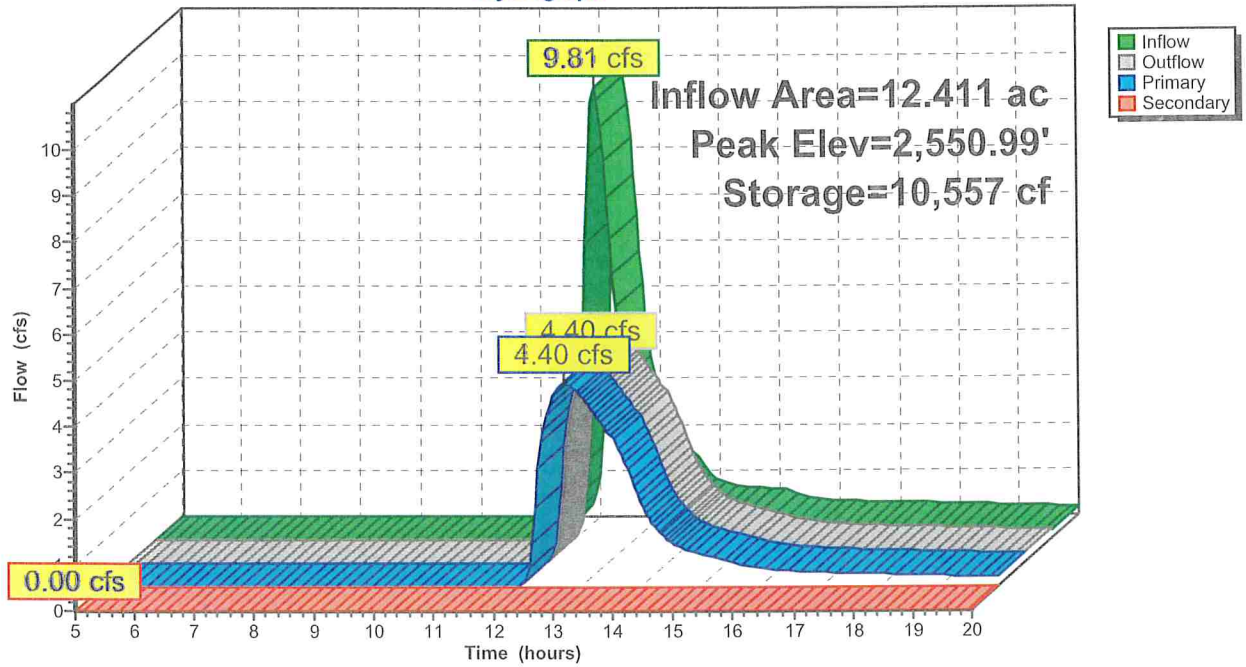
MSE 24-hr 2 2-Year Rainfall=2.56"

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Pond 3P: Detention

Hydrograph



North Pointe Phase III

MSE 24-hr 2 10-Year Rainfall=3.69"

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Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: Phase II Runoff Area=294,774 sf 47.21% Impervious Runoff Depth>1.57"
Flow Length=1,030' Slope=0.0150 '/' Tc=28.2 min CN=78 Runoff=11.28 cfs 0.887 af

Subcatchment 2S: Phase III - South Runoff Area=175,829 sf 37.66% Impervious Runoff Depth>1.38"
Flow Length=860' Slope=0.0314 '/' Tc=18.5 min CN=75 Runoff=7.37 cfs 0.463 af

Subcatchment 4S: Phase III - North Runoff Area=70,030 sf 49.24% Impervious Runoff Depth>1.65"
Flow Length=860' Slope=0.0314 '/' Tc=16.4 min CN=79 Runoff=3.81 cfs 0.221 af

Subcatchment 5S: Existing Runoff Area=540,633 sf 0.00% Impervious Runoff Depth>1.19"
Flow Length=1,160' Slope=0.0259 '/' Tc=28.1 min CN=72 Runoff=15.19 cfs 1.227 af

Pond 3P: Detention Peak Elev=2,553.03' Storage=26,951 cf Inflow=20.83 cfs 1.571 af
Primary=6.76 cfs 1.542 af Secondary=0.00 cfs 0.000 af Outflow=6.76 cfs 1.542 af

Total Runoff Area = 24.822 ac Runoff Volume = 2.798 af Average Runoff Depth = 1.35"
77.82% Pervious = 19.316 ac 22.18% Impervious = 5.506 ac

North Pointe Phase III

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MSE 24-hr 2 10-Year Rainfall=3.69"

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Summary for Subcatchment 1S: Phase II

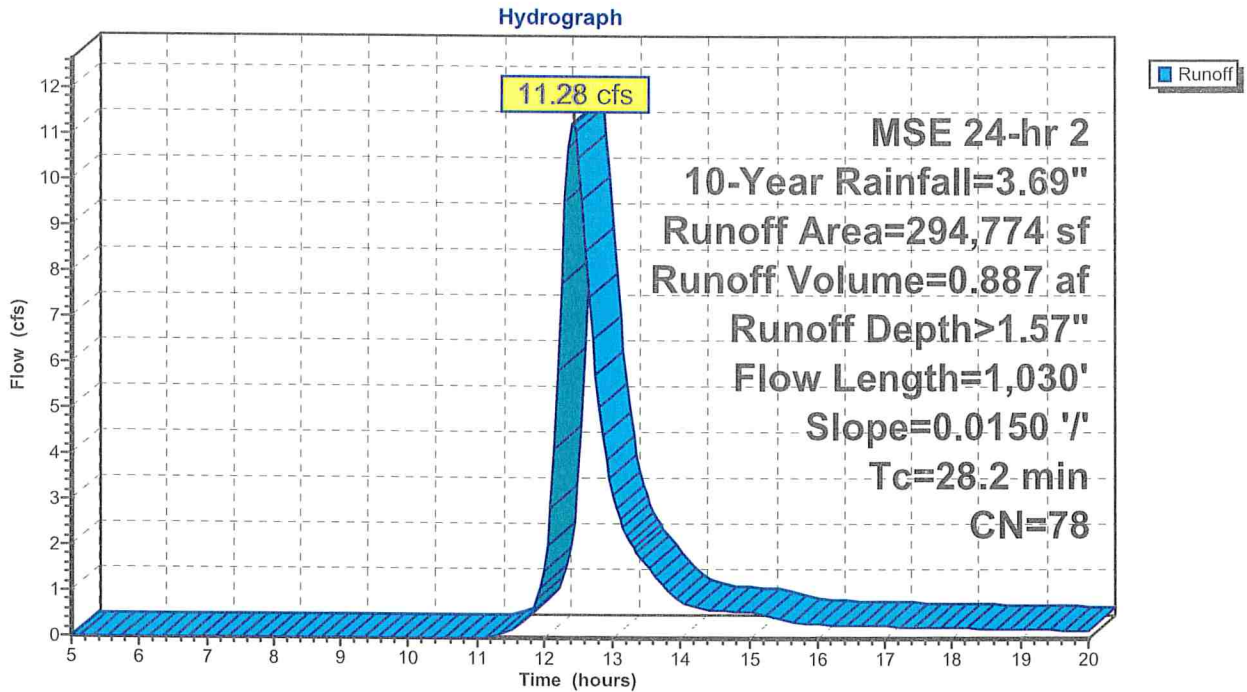
Runoff = 11.28 cfs @ 12.42 hrs, Volume= 0.887 af, Depth> 1.57"
 Routed to Pond 3P : Detention

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 MSE 24-hr 2 10-Year Rainfall=3.69"

Area (sf)	CN	Description
250,999	75	1/4 acre lots, 38% imp, HSG B
43,775	98	Paved roads w/curbs & sewers, HSG B
294,774	78	Weighted Average
155,619		52.79% Pervious Area
139,155		47.21% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
28.2	1,030	0.0150	0.61		Lag/CN Method,

Subcatchment 1S: Phase II



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MSE 24-hr 2 10-Year Rainfall=3.69"

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Summary for Subcatchment 2S: Phase III - South

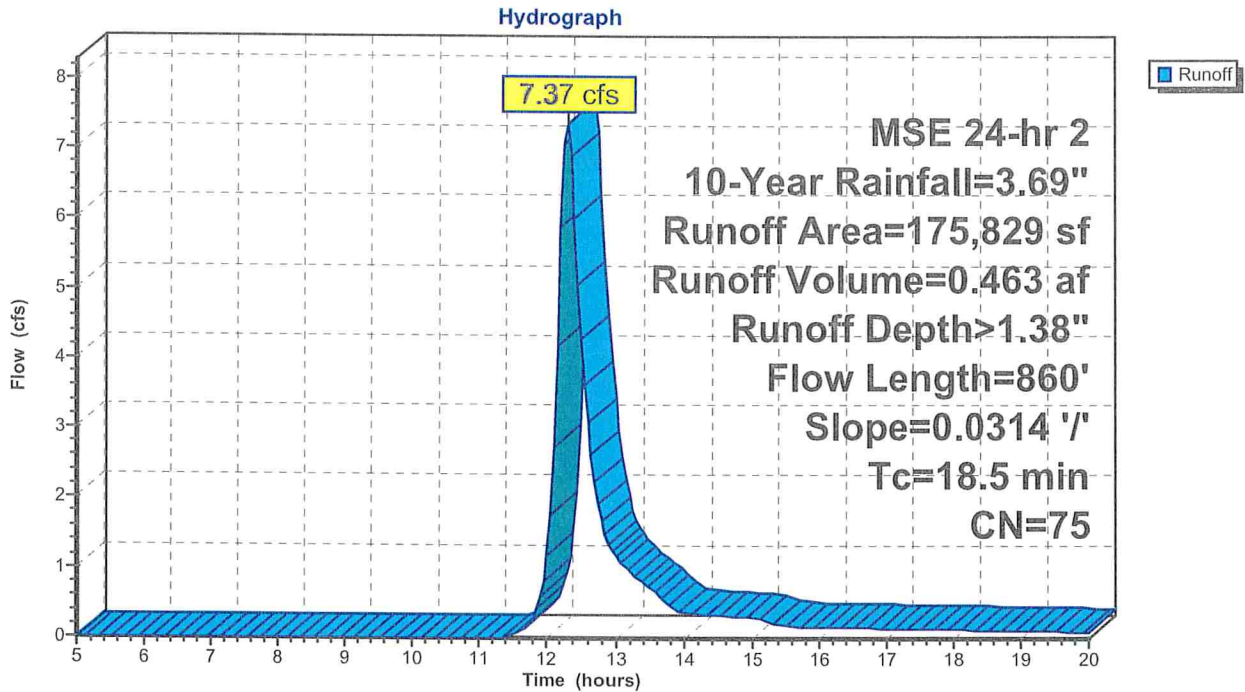
Runoff = 7.37 cfs @ 12.29 hrs, Volume= 0.463 af, Depth> 1.38"
 Routed to Pond 3P : Detention

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 MSE 24-hr 2 10-Year Rainfall=3.69"

Area (sf)	CN	Description
156,581	72	1/3 acre lots, 30% imp, HSG B
19,248	98	Paved roads w/curbs & sewers, HSG B
175,829	75	Weighted Average
109,607		62.34% Pervious Area
66,222		37.66% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
18.5	860	0.0314	0.78		Lag/CN Method,

Subcatchment 2S: Phase III - South



North Pointe Phase III

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MSE 24-hr 2 10-Year Rainfall=3.69"

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Summary for Subcatchment 4S: Phase III - North

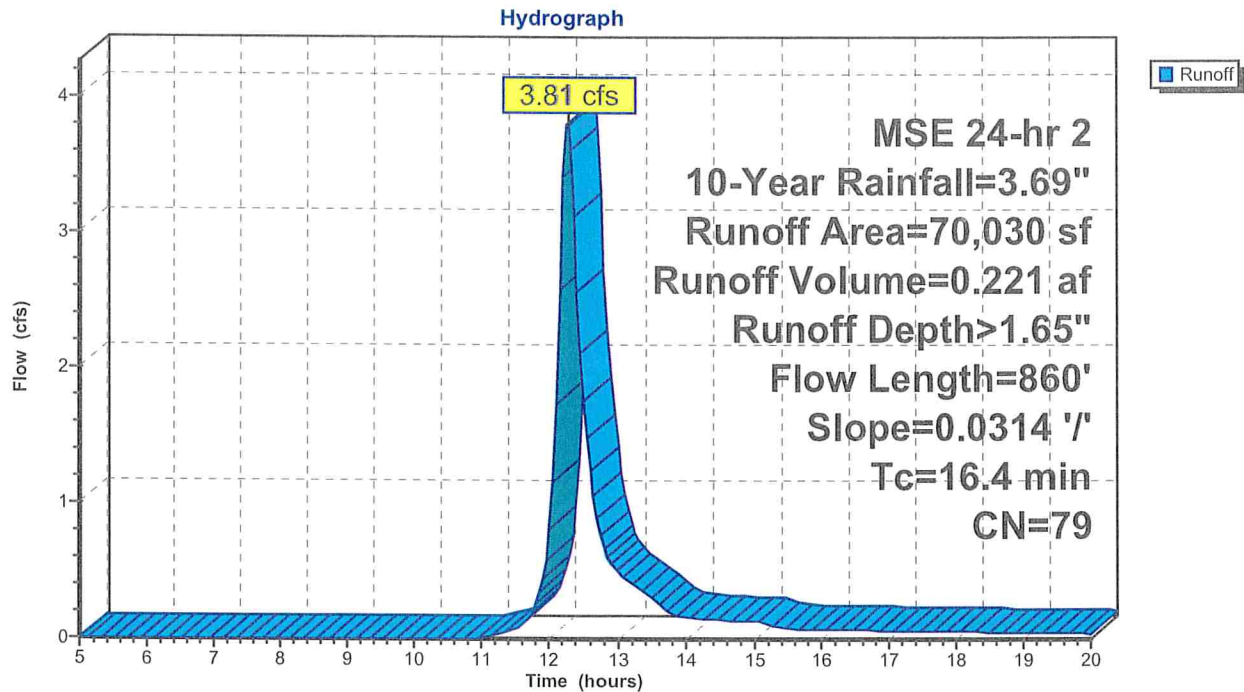
Runoff = 3.81 cfs @ 12.26 hrs, Volume= 0.221 af, Depth> 1.65"
 Routed to Pond 3P : Detention

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 MSE 24-hr 2 10-Year Rainfall=3.69"

Area (sf)	CN	Description
50,782	72	1/3 acre lots, 30% imp, HSG B
19,248	98	Paved roads w/curbs & sewers, HSG B
70,030	79	Weighted Average
35,547		50.76% Pervious Area
34,483		49.24% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
16.4	860	0.0314	0.87		Lag/CN Method,

Subcatchment 4S: Phase III - North



North Pointe Phase III

MSE 24-hr 2 10-Year Rainfall=3.69"

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Summary for Subcatchment 5S: Existing

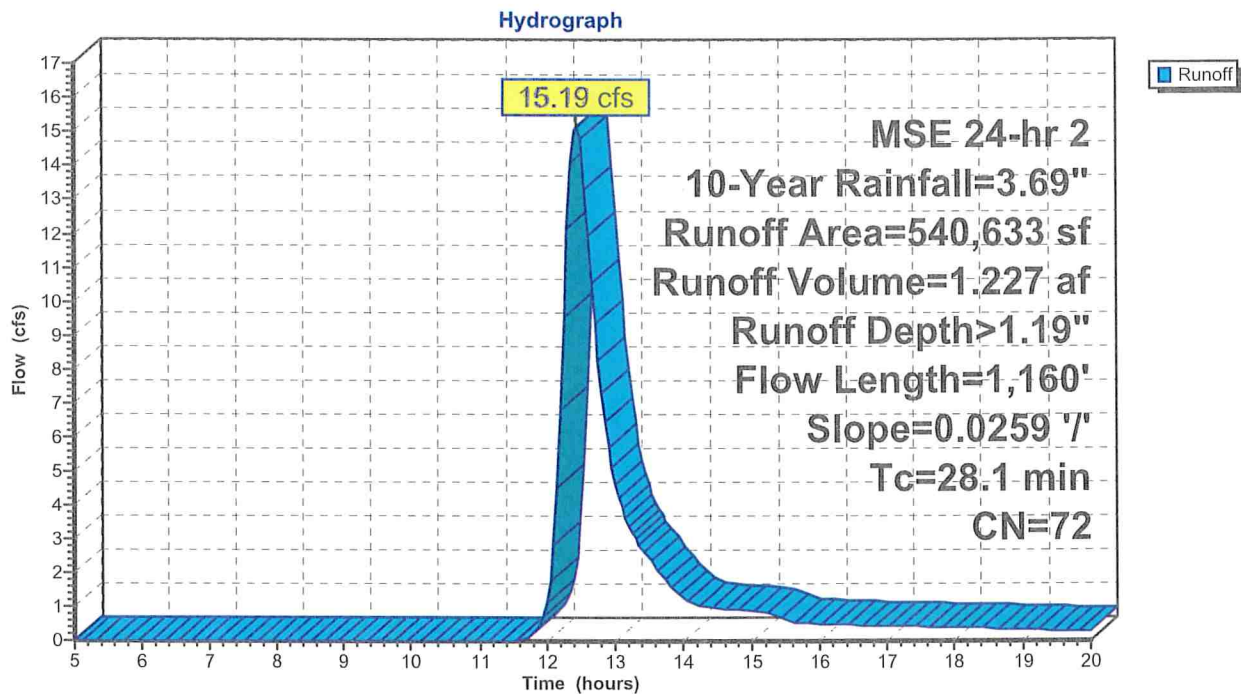
Runoff = 15.19 cfs @ 12.43 hrs, Volume= 1.227 af, Depth> 1.19"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
MSE 24-hr 2 10-Year Rainfall=3.69"

Area (sf)	CN	Description
540,633	72	Legumes, straight row, Good, HSG B
540,633		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
28.1	1,160	0.0259	0.69		Lag/CN Method,

Subcatchment 5S: Existing



North Pointe Phase III

MSE 24-hr 2 10-Year Rainfall=3.69"

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Summary for Pond 3P: Detention

Inflow Area = 12.411 ac, 44.37% Impervious, Inflow Depth > 1.52" for 10-Year event
 Inflow = 20.83 cfs @ 12.33 hrs, Volume= 1.571 af
 Outflow = 6.76 cfs @ 12.84 hrs, Volume= 1.542 af, Atten= 68%, Lag= 30.4 min
 Primary = 6.76 cfs @ 12.84 hrs, Volume= 1.542 af
 Secondary = 0.00 cfs @ 5.00 hrs, Volume= 0.000 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Peak Elev= 2,553.03' @ 12.84 hrs Surf.Area= 9,575 sf Storage= 26,951 cf

Plug-Flow detention time= 50.3 min calculated for 1.537 af (98% of inflow)
 Center-of-Mass det. time= 43.3 min (842.1 - 798.9)

Volume	Invert	Avail.Storage	Storage Description
#1	2,549.00'	62,771 cf	Custom Stage Data (Prismatic) Listed below (Recalc)

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
2,549.00	4,057	0	0
2,550.00	5,274	4,666	4,666
2,551.00	6,591	5,933	10,598
2,552.00	8,009	7,300	17,898
2,553.00	9,527	8,768	26,666
2,554.00	11,146	10,337	37,003
2,555.00	12,865	12,006	49,008
2,556.00	14,661	13,763	62,771

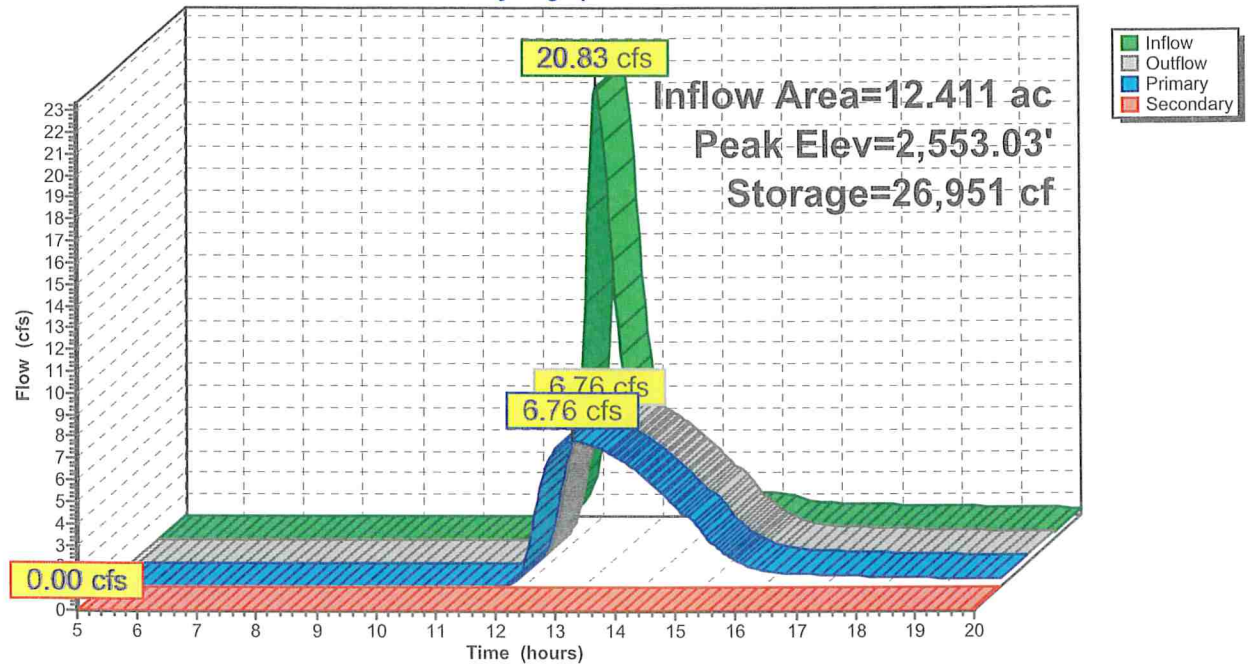
Device	Routing	Invert	Outlet Devices
#1	Primary	2,549.00'	12.0" Round Culvert L= 50.0' CPP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 2,549.00' / 2,548.50' S= 0.0100 '/' Cc= 0.900 n= 0.013 Corrugated PE, smooth interior, Flow Area= 0.79 sf
#2	Secondary	2,555.50'	30.0' long + 4.0 ' SideZ x 4.0' breadth Broad-Crested Rectangular Weir Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 1.80 2.00 2.50 3.00 3.50 4.00 4.50 5.00 5.50 Coef. (English) 2.38 2.54 2.69 2.68 2.67 2.67 2.65 2.66 2.66 2.68 2.72 2.73 2.76 2.79 2.88 3.07 3.32

Primary OutFlow Max=6.76 cfs @ 12.84 hrs HW=2,553.03' (Free Discharge)
 ↖1=Culvert (Barrel Controls 6.76 cfs @ 8.60 fps)

Secondary OutFlow Max=0.00 cfs @ 5.00 hrs HW=2,549.00' (Free Discharge)
 ↖2=Broad-Crested Rectangular Weir (Controls 0.00 cfs)

Pond 3P: Detention

Hydrograph



North Pointe Phase III

MSE 24-hr 2 25-Year Rainfall=4.45"

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Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: Phase II Runoff Area=294,774 sf 47.21% Impervious Runoff Depth>2.16"
Flow Length=1,030' Slope=0.0150 '/' Tc=28.2 min CN=78 Runoff=15.58 cfs 1.219 af

Subcatchment 2S: Phase III - South Runoff Area=175,829 sf 37.66% Impervious Runoff Depth>1.93"
Flow Length=860' Slope=0.0314 '/' Tc=18.5 min CN=75 Runoff=10.44 cfs 0.650 af

Subcatchment 4S: Phase III - North Runoff Area=70,030 sf 49.24% Impervious Runoff Depth>2.25"
Flow Length=860' Slope=0.0314 '/' Tc=16.4 min CN=79 Runoff=5.20 cfs 0.301 af

Subcatchment 5S: Existing Runoff Area=540,633 sf 0.00% Impervious Runoff Depth>1.70"
Flow Length=1,160' Slope=0.0259 '/' Tc=28.1 min CN=72 Runoff=22.29 cfs 1.762 af

Pond 3P: Detention Peak Elev=2,554.34' Storage=40,934 cf Inflow=29.02 cfs 2.170 af
Primary=7.92 cfs 2.136 af Secondary=0.00 cfs 0.000 af Outflow=7.92 cfs 2.136 af

Total Runoff Area = 24.822 ac Runoff Volume = 3.932 af Average Runoff Depth = 1.90"
77.82% Pervious = 19.316 ac 22.18% Impervious = 5.506 ac

North Pointe Phase III

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MSE 24-hr 2 25-Year Rainfall=4.45"

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Summary for Subcatchment 1S: Phase II

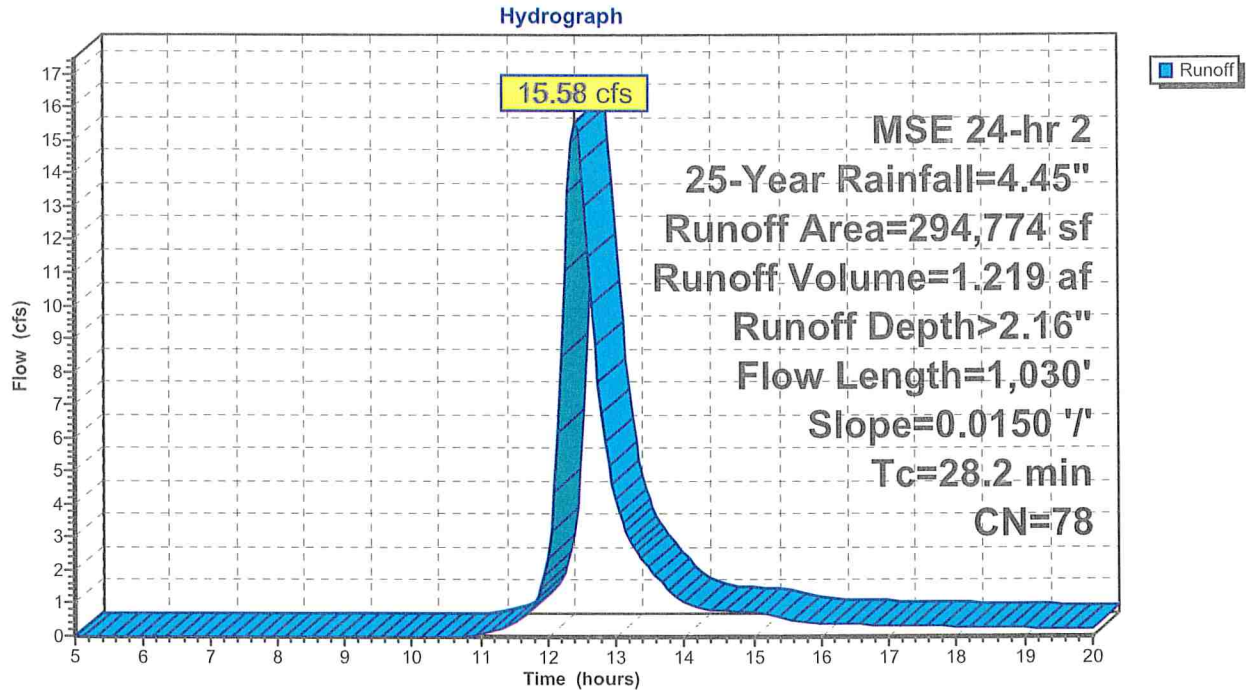
Runoff = 15.58 cfs @ 12.41 hrs, Volume= 1.219 af, Depth> 2.16"
 Routed to Pond 3P : Detention

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 MSE 24-hr 2 25-Year Rainfall=4.45"

Area (sf)	CN	Description
250,999	75	1/4 acre lots, 38% imp, HSG B
43,775	98	Paved roads w/curbs & sewers, HSG B
294,774	78	Weighted Average
155,619		52.79% Pervious Area
139,155		47.21% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
28.2	1,030	0.0150	0.61		Lag/CN Method,

Subcatchment 1S: Phase II



North Pointe Phase III

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MSE 24-hr 2 25-Year Rainfall=4.45"

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Summary for Subcatchment 2S: Phase III - South

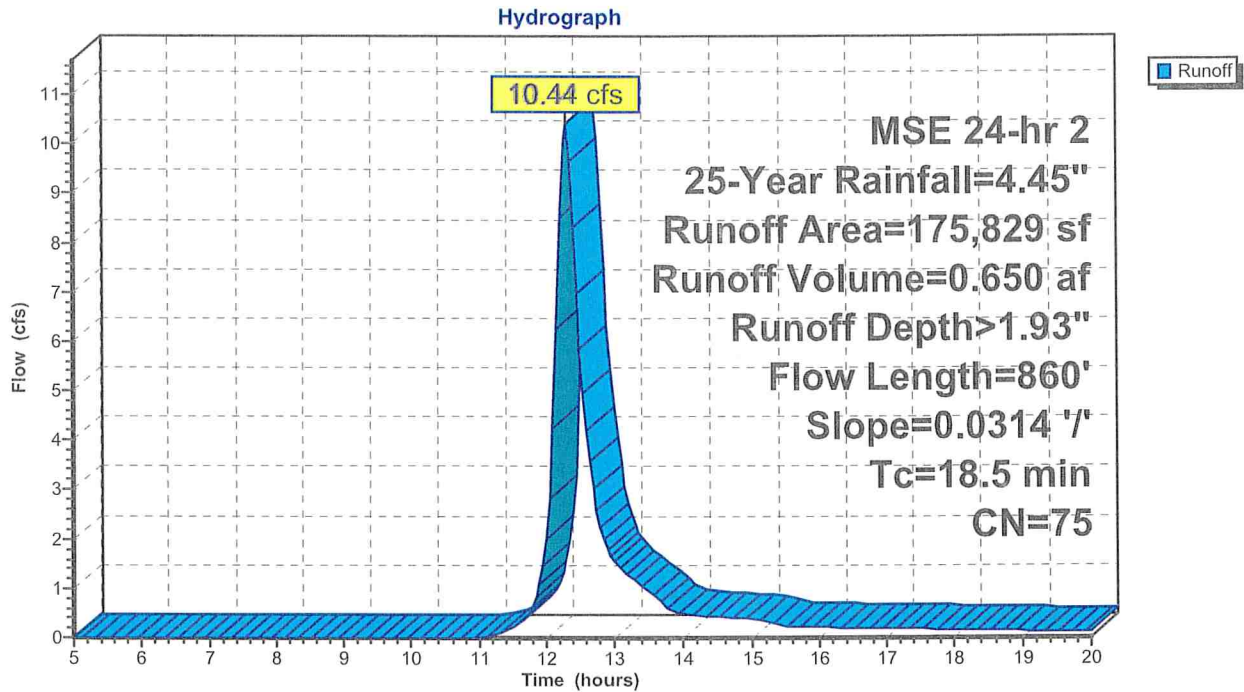
Runoff = 10.44 cfs @ 12.29 hrs, Volume= 0.650 af, Depth> 1.93"
 Routed to Pond 3P : Detention

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 MSE 24-hr 2 25-Year Rainfall=4.45"

Area (sf)	CN	Description
156,581	72	1/3 acre lots, 30% imp, HSG B
19,248	98	Paved roads w/curbs & sewers, HSG B
175,829	75	Weighted Average
109,607		62.34% Pervious Area
66,222		37.66% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
18.5	860	0.0314	0.78		Lag/CN Method,

Subcatchment 2S: Phase III - South



North Pointe Phase III

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MSE 24-hr 2 25-Year Rainfall=4.45"

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Summary for Subcatchment 4S: Phase III - North

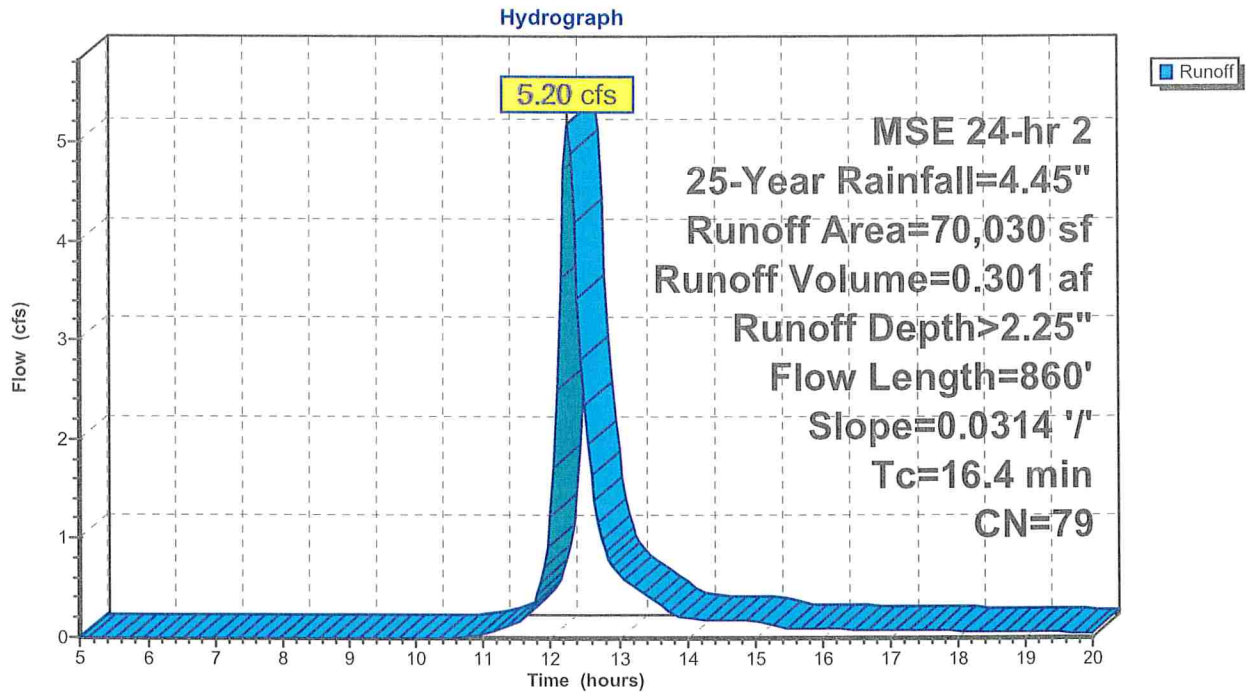
Runoff = 5.20 cfs @ 12.26 hrs, Volume= 0.301 af, Depth> 2.25"
 Routed to Pond 3P : Detention

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 MSE 24-hr 2 25-Year Rainfall=4.45"

Area (sf)	CN	Description
50,782	72	1/3 acre lots, 30% imp, HSG B
19,248	98	Paved roads w/curbs & sewers, HSG B
70,030	79	Weighted Average
35,547		50.76% Pervious Area
34,483		49.24% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
16.4	860	0.0314	0.87		Lag/CN Method,

Subcatchment 4S: Phase III - North



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MSE 24-hr 2 25-Year Rainfall=4.45"

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Summary for Subcatchment 5S: Existing

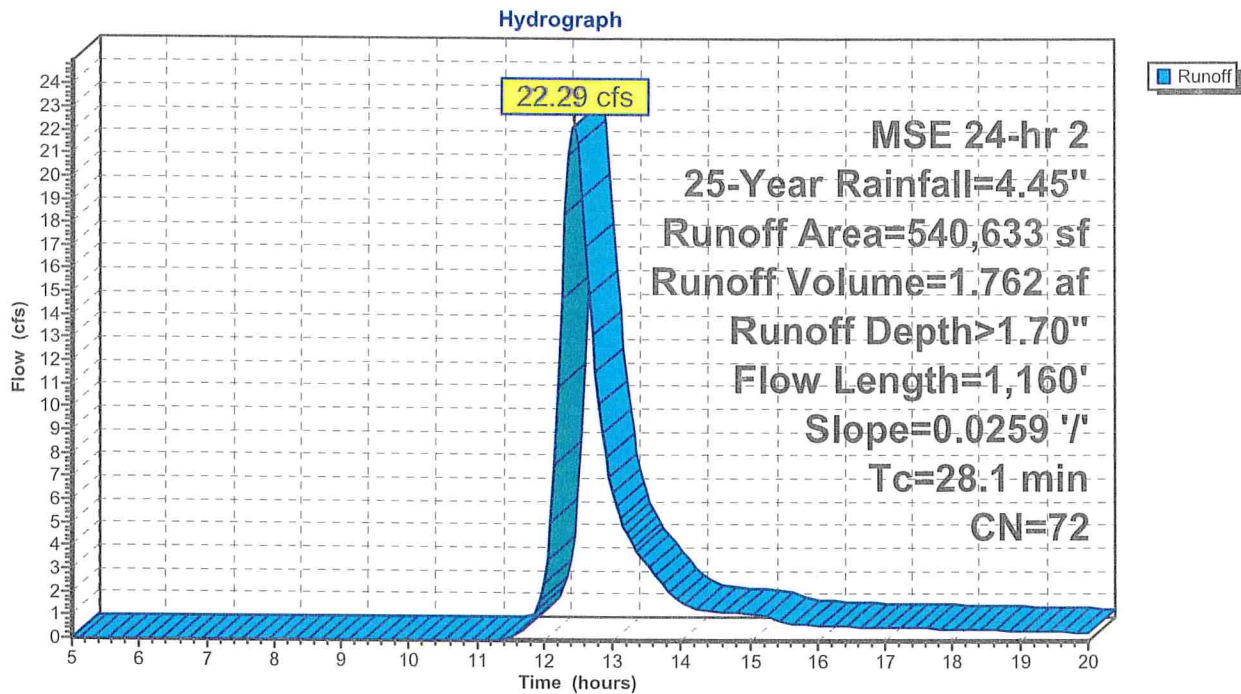
Runoff = 22.29 cfs @ 12.42 hrs, Volume= 1.762 af, Depth> 1.70"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 MSE 24-hr 2 25-Year Rainfall=4.45"

Area (sf)	CN	Description
540,633	72	Legumes, straight row, Good, HSG B
540,633		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
28.1	1,160	0.0259	0.69		Lag/CN Method,

Subcatchment 5S: Existing



North Pointe Phase III

MSE 24-hr 2 25-Year Rainfall=4.45"

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Summary for Pond 3P: Detention

Inflow Area = 12.411 ac, 44.37% Impervious, Inflow Depth > 2.10" for 25-Year event
 Inflow = 29.02 cfs @ 12.33 hrs, Volume= 2.170 af
 Outflow = 7.92 cfs @ 12.90 hrs, Volume= 2.136 af, Atten= 73%, Lag= 34.1 min
 Primary = 7.92 cfs @ 12.90 hrs, Volume= 2.136 af
 Secondary = 0.00 cfs @ 5.00 hrs, Volume= 0.000 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Peak Elev= 2,554.34' @ 12.90 hrs Surf.Area= 11,737 sf Storage= 40,934 cf

Plug-Flow detention time= 61.1 min calculated for 2.136 af (98% of inflow)
 Center-of-Mass det. time= 55.1 min (849.5 - 794.4)

Volume	Invert	Avail.Storage	Storage Description
#1	2,549.00'	62,771 cf	Custom Stage Data (Prismatic) Listed below (Recalc)

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
2,549.00	4,057	0	0
2,550.00	5,274	4,666	4,666
2,551.00	6,591	5,933	10,598
2,552.00	8,009	7,300	17,898
2,553.00	9,527	8,768	26,666
2,554.00	11,146	10,337	37,003
2,555.00	12,865	12,006	49,008
2,556.00	14,661	13,763	62,771

Device	Routing	Invert	Outlet Devices
#1	Primary	2,549.00'	12.0" Round Culvert L= 50.0' CPP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 2,549.00' / 2,548.50' S= 0.0100 ' /' Cc= 0.900 n= 0.013 Corrugated PE, smooth interior, Flow Area= 0.79 sf
#2	Secondary	2,555.50'	30.0' long + 4.0 ' SideZ x 4.0' breadth Broad-Crested Rectangular Weir Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 1.80 2.00 2.50 3.00 3.50 4.00 4.50 5.00 5.50 Coef. (English) 2.38 2.54 2.69 2.68 2.67 2.67 2.65 2.66 2.66 2.68 2.72 2.73 2.76 2.79 2.88 3.07 3.32

Primary OutFlow Max=7.92 cfs @ 12.90 hrs HW=2,554.34' (Free Discharge)
 ↖1=Culvert (Barrel Controls 7.92 cfs @ 10.08 fps)

Secondary OutFlow Max=0.00 cfs @ 5.00 hrs HW=2,549.00' (Free Discharge)
 ↖2=Broad-Crested Rectangular Weir (Controls 0.00 cfs)

North Pointe Phase III

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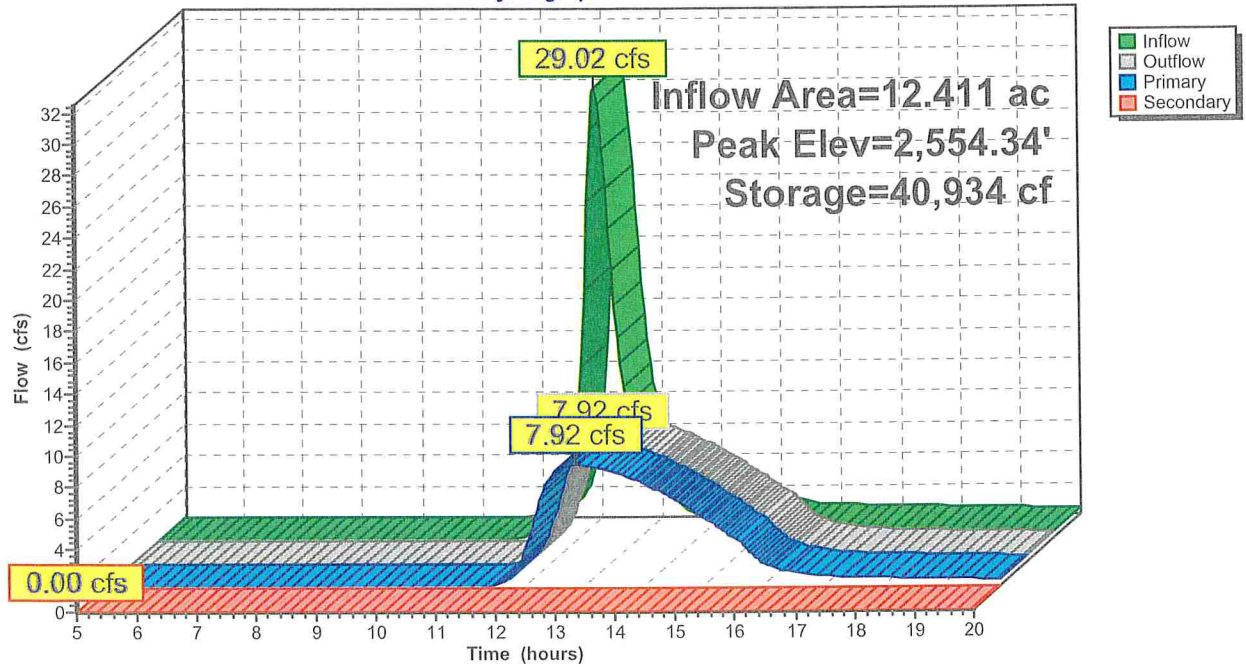
MSE 24-hr 2 25-Year Rainfall=4.45"

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Pond 3P: Detention

Hydrograph



North Pointe Phase III

MSE 24-hr 2 100-Year Rainfall=5.68"

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Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: Phase II Runoff Area=294,774 sf 47.21% Impervious Runoff Depth>3.18"
Flow Length=1,030' Slope=0.0150 '/' Tc=28.2 min CN=78 Runoff=22.87 cfs 1.791 af

Subcatchment 2S: Phase III - South Runoff Area=175,829 sf 37.66% Impervious Runoff Depth>2.90"
Flow Length=860' Slope=0.0314 '/' Tc=18.5 min CN=75 Runoff=15.70 cfs 0.976 af

Subcatchment 4S: Phase III - North Runoff Area=70,030 sf 49.24% Impervious Runoff Depth>3.28"
Flow Length=860' Slope=0.0314 '/' Tc=16.4 min CN=79 Runoff=7.54 cfs 0.440 af

Subcatchment 5S: Existing Runoff Area=540,633 sf 0.00% Impervious Runoff Depth>2.62"
Flow Length=1,160' Slope=0.0259 '/' Tc=28.1 min CN=72 Runoff=34.71 cfs 2.712 af

Pond 3P: Detention Peak Elev=2,555.77' Storage=59,429 cf Inflow=43.12 cfs 3.206 af
Primary=9.01 cfs 2.914 af Secondary=10.55 cfs 0.252 af Outflow=19.56 cfs 3.166 af

Total Runoff Area = 24.822 ac Runoff Volume = 5.918 af Average Runoff Depth = 2.86"
77.82% Pervious = 19.316 ac 22.18% Impervious = 5.506 ac

North Pointe Phase III

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MSE 24-hr 2 100-Year Rainfall=5.68"

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Summary for Subcatchment 1S: Phase II

Runoff = 22.87 cfs @ 12.40 hrs, Volume= 1.791 af, Depth> 3.18"
 Routed to Pond 3P : Detention

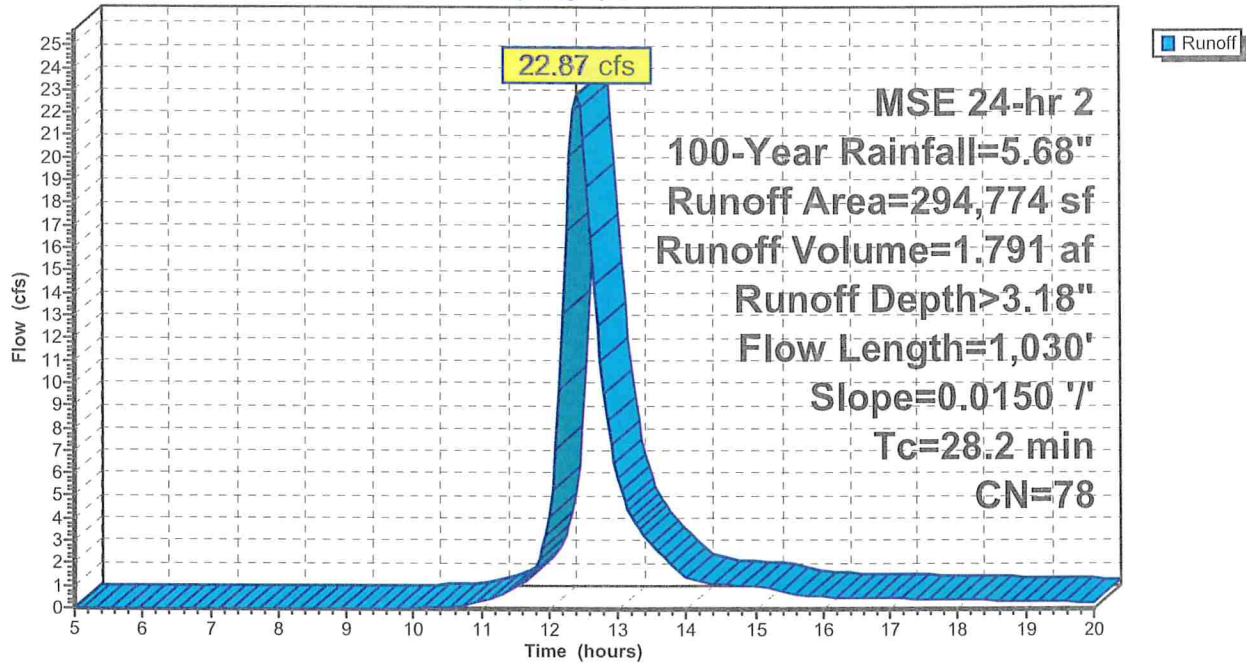
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 MSE 24-hr 2 100-Year Rainfall=5.68"

Area (sf)	CN	Description
250,999	75	1/4 acre lots, 38% imp, HSG B
43,775	98	Paved roads w/curbs & sewers, HSG B
294,774	78	Weighted Average
155,619		52.79% Pervious Area
139,155		47.21% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
28.2	1,030	0.0150	0.61		Lag/CN Method,

Subcatchment 1S: Phase II

Hydrograph



North Pointe Phase III

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MSE 24-hr 2 100-Year Rainfall=5.68"

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Summary for Subcatchment 2S: Phase III - South

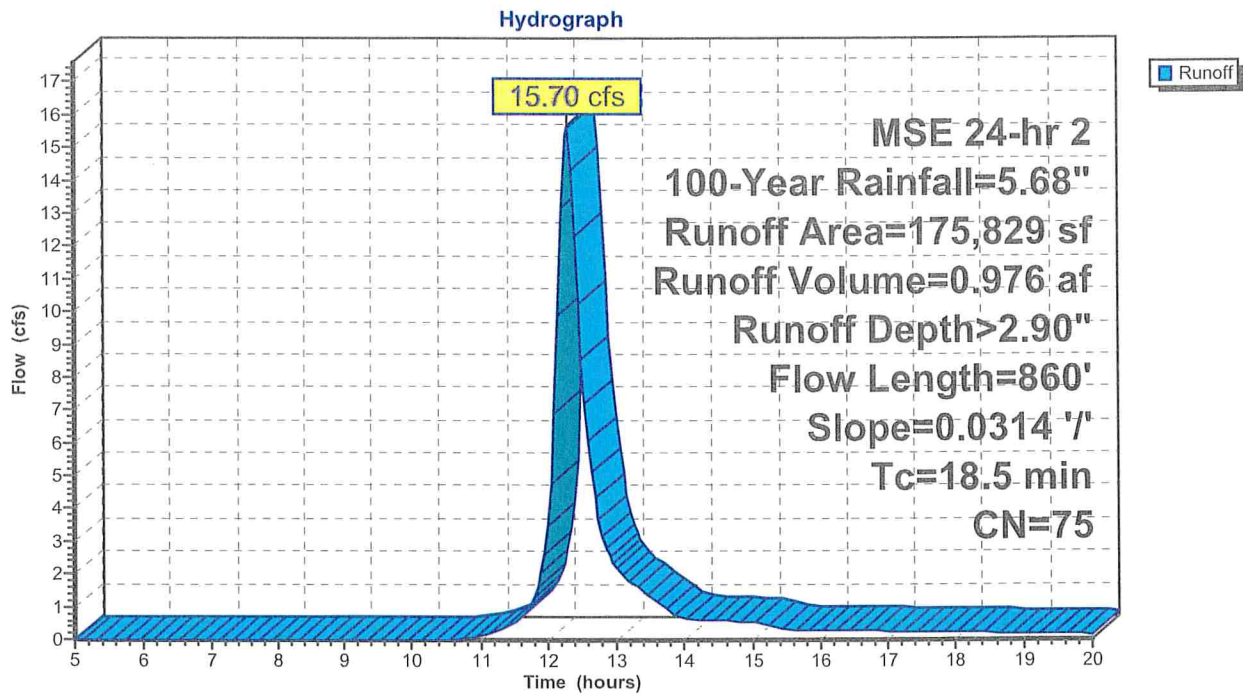
Runoff = 15.70 cfs @ 12.28 hrs, Volume= 0.976 af, Depth> 2.90"
 Routed to Pond 3P : Detention

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 MSE 24-hr 2 100-Year Rainfall=5.68"

Area (sf)	CN	Description
156,581	72	1/3 acre lots, 30% imp, HSG B
19,248	98	Paved roads w/curbs & sewers, HSG B
175,829	75	Weighted Average
109,607		62.34% Pervious Area
66,222		37.66% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
18.5	860	0.0314	0.78		Lag/CN Method,

Subcatchment 2S: Phase III - South



North Pointe Phase III

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MSE 24-hr 2 100-Year Rainfall=5.68"

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Summary for Subcatchment 4S: Phase III - North

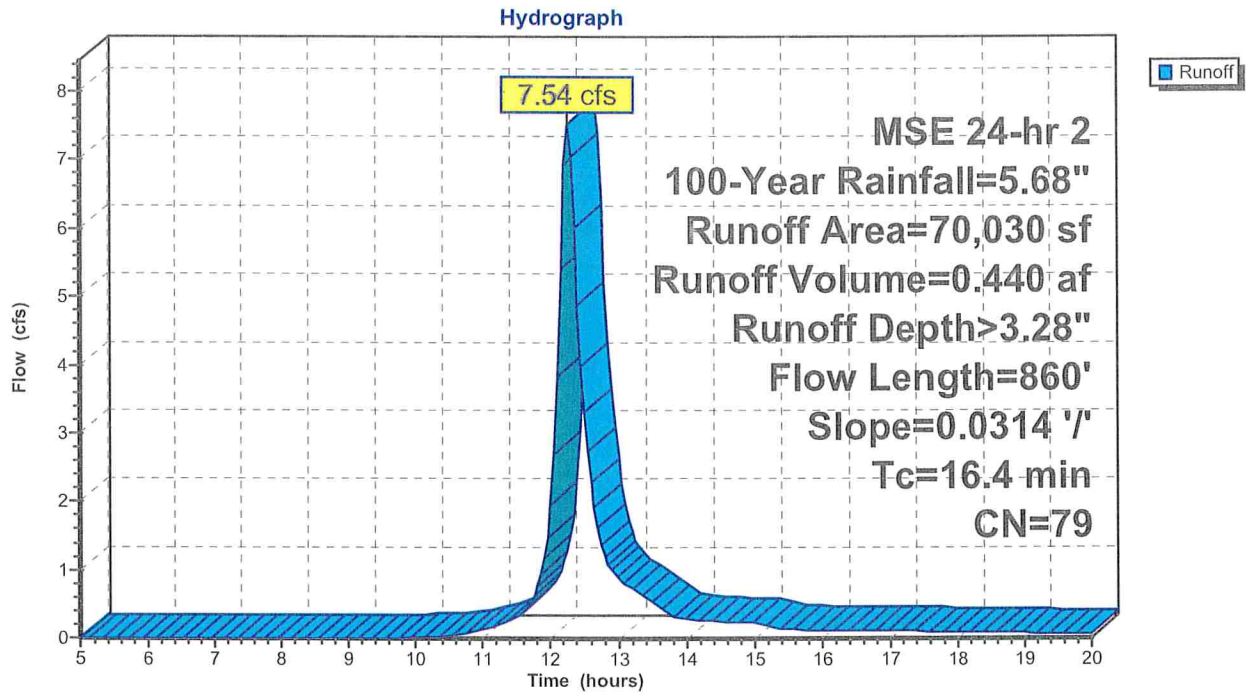
Runoff = 7.54 cfs @ 12.25 hrs, Volume= 0.440 af, Depth> 3.28"
 Routed to Pond 3P : Detention

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 MSE 24-hr 2 100-Year Rainfall=5.68"

Area (sf)	CN	Description
50,782	72	1/3 acre lots, 30% imp, HSG B
19,248	98	Paved roads w/curbs & sewers, HSG B
70,030	79	Weighted Average
35,547		50.76% Pervious Area
34,483		49.24% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
16.4	860	0.0314	0.87		Lag/CN Method,

Subcatchment 4S: Phase III - North



North Pointe Phase III

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MSE 24-hr 2 100-Year Rainfall=5.68"

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Summary for Subcatchment 5S: Existing

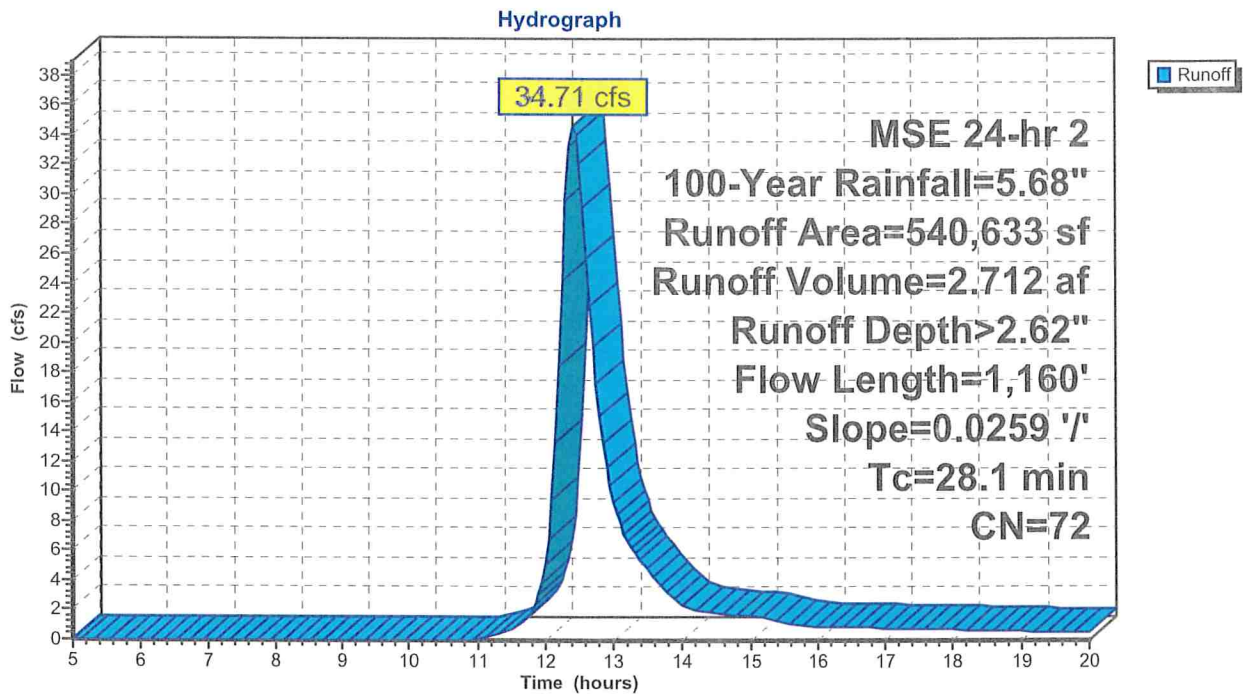
Runoff = 34.71 cfs @ 12.41 hrs, Volume= 2.712 af, Depth> 2.62"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 MSE 24-hr 2 100-Year Rainfall=5.68"

Area (sf)	CN	Description
540,633	72	Legumes, straight row, Good, HSG B
540,633		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
28.1	1,160	0.0259	0.69		Lag/CN Method,

Subcatchment 5S: Existing



North Pointe Phase III

MSE 24-hr 2 100-Year Rainfall=5.68"

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Summary for Pond 3P: Detention

Inflow Area = 12.411 ac, 44.37% Impervious, Inflow Depth > 3.10" for 100-Year event
 Inflow = 43.12 cfs @ 12.32 hrs, Volume= 3.206 af
 Outflow = 19.56 cfs @ 12.69 hrs, Volume= 3.166 af, Atten= 55%, Lag= 22.3 min
 Primary = 9.01 cfs @ 12.69 hrs, Volume= 2.914 af
 Secondary = 10.55 cfs @ 12.69 hrs, Volume= 0.252 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Peak Elev= 2,555.77' @ 12.69 hrs Surf.Area= 14,246 sf Storage= 59,429 cf

Plug-Flow detention time= 68.0 min calculated for 3.166 af (99% of inflow)
 Center-of-Mass det. time= 63.2 min (852.2 - 789.0)

Volume	Invert	Avail.Storage	Storage Description
#1	2,549.00'	62,771 cf	Custom Stage Data (Prismatic) Listed below (Recalc)

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
2,549.00	4,057	0	0
2,550.00	5,274	4,666	4,666
2,551.00	6,591	5,933	10,598
2,552.00	8,009	7,300	17,898
2,553.00	9,527	8,768	26,666
2,554.00	11,146	10,337	37,003
2,555.00	12,865	12,006	49,008
2,556.00	14,661	13,763	62,771

Device	Routing	Invert	Outlet Devices
#1	Primary	2,549.00'	12.0" Round Culvert L= 50.0' CPP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 2,549.00' / 2,548.50' S= 0.0100 ' Cc= 0.900 n= 0.013 Corrugated PE, smooth interior, Flow Area= 0.79 sf
#2	Secondary	2,555.50'	30.0' long + 4.0 ' SideZ x 4.0' breadth Broad-Crested Rectangular Weir Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 1.80 2.00 2.50 3.00 3.50 4.00 4.50 5.00 5.50 Coef. (English) 2.38 2.54 2.69 2.68 2.67 2.67 2.65 2.66 2.66 2.68 2.72 2.73 2.76 2.79 2.88 3.07 3.32

Primary OutFlow Max=9.01 cfs @ 12.69 hrs HW=2,555.77' (Free Discharge)
 ↳1=Culvert (Barrel Controls 9.01 cfs @ 11.47 fps)

Secondary OutFlow Max=10.35 cfs @ 12.69 hrs HW=2,555.77' (Free Discharge)
 ↳2=Broad-Crested Rectangular Weir (Weir Controls 10.35 cfs @ 1.25 fps)

North Pointe Phase III

Prepared by W Design Associates, Inc

HydroCAD® 10.20-3h s/n 09596 © 2024 HydroCAD Software Solutions LLC

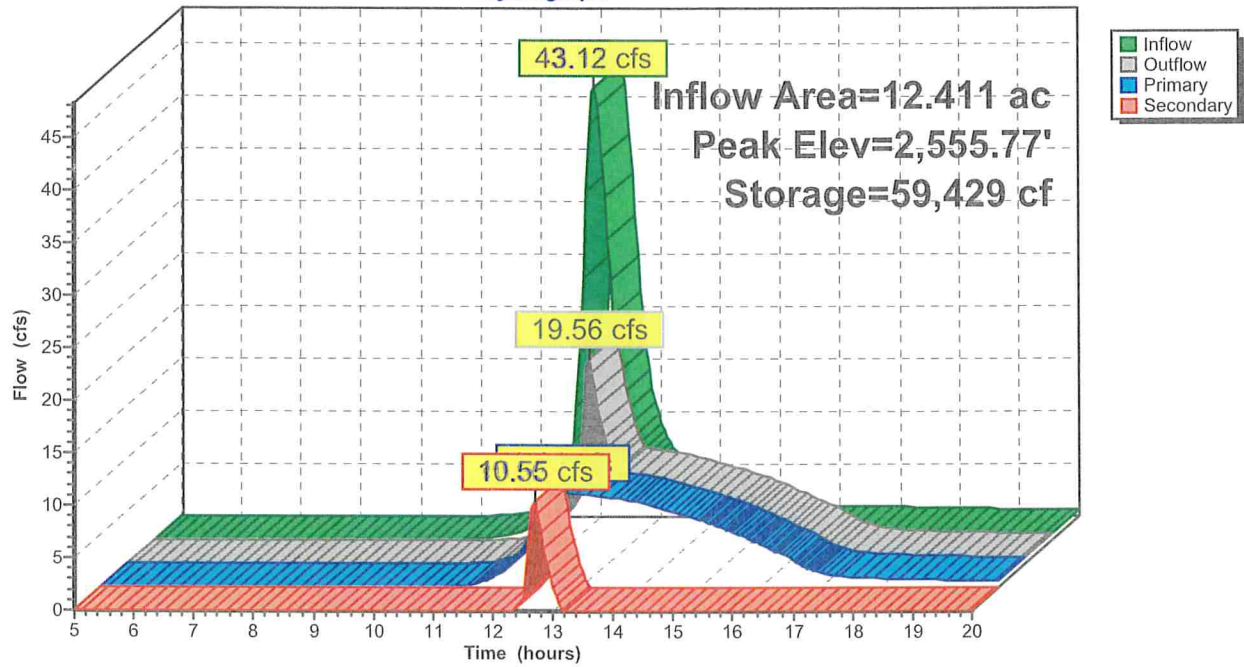
MSE 24-hr 2 100-Year Rainfall=5.68"

Printed 2/4/2026

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Pond 3P: Detention

Hydrograph



**CITY MANAGER'S REPORT
FEBRUARY 16, 2026 CITY COUNCIL MEETING**

ITEM: 3.F.

RECOMMENDATION:

Accept the minutes of the October 28, 2025 Senior Center Board and the February 9, 2026 Planning Commission meetings.

BACKGROUND:

Accept minutes from various board and commission meetings.

**FISCAL
IMPACT:** None.

APPROVALS:



Lea Ann Doak, City Clerk

February 12, 2026

Heritage Senior Center
 1312 West 5th St
 McCook NE 69001
 Advisory Board Minutes
 October 28, 2025

A copy of the Open Meetings Act is posted by the entrance to the meeting room and is available for public review. All meetings begin at 10:00am and are open to the public.

- Meeting was called to order by President Dan Stramel

Roll Call

- Milton Duffield P Ron Jacobs P Mary Keslin A Natalie Mickey P
 Jan Breese P Dan Stramel P Beth Siegfried P Tom Stewart P

- Approval of minutes:
 The Minutes from the July 29, 2025 meeting were approved by a motion made by Ron Jacobs and seconded by Milton Duffield. Motion carried.

Open Forum

New Flooring, very pleased with the results

Statistics

Public Transit

	<i>Riders</i>	<i>Miles</i>	<i>Different Riders</i>	<i>Wheel Chair</i>	<i>Days</i>
July	606	1612	71	11	22
August	513	1404	60	4	21
September	529	1348	72	10	21
Overall,	1648	4364			
<i>23 more than last quarter</i>					
Average	549	<i>7 more than last quarter</i>			

Meals at Center

	<i>Congregate</i>	<i>Home Delivered Meals</i>	<i>Curb Side</i>	<i>Days</i>
July	1158	1422	828	22
August	1144	1325	799	21
September	1082	1258	778	20
Overall,	3384	4005	2405	
Average	1128 (54 a day)	1335 (64 a day)	801 (38 a day)	

Kitchen was closed one day Walk- In cooler quit

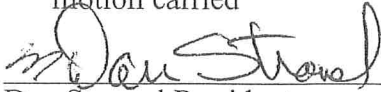
- Total Meals July 3408 average 155 meals a day**
- Total Meals August 3268 average 156 meals a day**
- Total Meals September 3118 average 156 meals a day**
- Total meals 9794 average 155 meals a day same as last quarter**

Old Business

- Meals and rides are both up from last quarter
- Beth will take a request to the City Council sometime in August to increase the price of the meals served. Home Deliver and Carry would go to \$4.25, Congregate Meals would go to \$4.00. Under 12 would go to \$4.00 and 12 to 60 would go to \$10.00 if approved.
- Both the Transit and Senior Center budgets were approved by the Council for the Fiscal Year 25-26 which included an increase in our food budget from \$200,000 to \$223,000.
- 40 Volunteers attended the Volunteer lunch.
- Beth passed the Kitchen Manager test required by legislation just passed by our state
- Closed for a day ,, our walk in cooler quit, needed to be replaced at a cost of \$7,000
- No one represented Transit at the Rodeo this year. Mike Towery was ill and unable to attend.
- Anticipate a very busy open enrollment this year for Medicare Part D
- Looking for additional substitute bus driver

New Business

- Transit training will be held at Heritage Senior Center for continuing education in November
- Next Advisory Board meeting will be January 20, 2026
- A motion was made by Natalie Mickey to adjourn the meeting with a second from Ron Jacob motion carried



Dan Stramel President



Milton Duffield Secretary

Meetings for 2026 will be:

April 21, 2026

July 21, 2026

October 20, 2026

McCook Planning Commission
February 9, 2026
5:15 P.M.

A MEETING OF THE PLANNING COMMISSION OF THE CITY OF MCCOOK, NEBRASKA convened in open, regular, and public session at 5:15 o'clock P.M. in the City Council Chambers.

Present: Chair Chad Lyons; Vice Chair Tammie Hilker; Commissioners Camy Bradley, Matt Davidson, Jamie Mockry, Kurt Vosburg.

Absent: Commissioners Kelly Hammerlun, Jesse Stevens, Bobby Gaulke.

City Officials present: City Manager Nate Schneider, Assistant City Manager Tera Koetter, City Attorney Nate Mustion, City Clerk Lea Ann Doak, Building Official Barry Mooney.

Notice of the meeting was given in advance thereof by publication in the McCook Daily Gazette on June 5, 2026, the designated method of giving notice, a copy of the proof of publication being attached to these minutes. Advance notice of the meeting was also given to all members of the Planning Commission. Availability of the agenda was communicated in the advance notice. All proceedings hereafter shown were taken while the meeting was open to the attendance of the public.

Chair Lyons announced that a copy of the Open Meetings Act was posted by the entrance to the Council Chambers and available for public review.

1. Approve the minutes of the February 2, 2026 special Planning Commission meeting.

Motion to approve the minutes of the February 2, 2026 special Planning Commission meeting. This motion, made by Chad Lyons and seconded by Kurt Vosburg, passed.

Camy Bradley: YEA, Matt Davidson: YEA, Bobby Gaulke: ABSENT, Kelly Hammerlun: ABSENT, Tammie Hilker: YEA, Chad Lyons: YEA, Jamie Mockry: YEA, Jesse Stevens: ABSENT, Kurt Vosburg: YEA

YEA: 6, NAY: 0, ABSENT: 3

2. Public Hearings and Regular Agenda.

- 2.A. Public Hearing - Regarding the adoption of the City of McCook Comprehensive Plan by the Planning Commission and making a recommendation to the McCook City Council for their approval and adoption of the City of McCook Comprehensive Plan.

Motion to recess as a Planning Commission and convene a public hearing for the purpose of receiving public comment regarding the adoption of the City of McCook Comprehensive Plan by the Planning Commission and making a recommendation to the McCook City Council for their approval and adoption of the City of McCook Comprehensive Plan, with the City Attorney to act as hearing officer. This motion, made by Chad Lyons and seconded by Kurt Vosburg, passed.

Camy Bradley: YEA, Matt Davidson: YEA, Bobby Gaulke: ABSENT, Kelly Hammerlun: ABSENT, Tammie Hilker: YEA, Chad Lyons: YEA, Jamie Mockry: YEA, Jesse Stevens: ABSENT, Kurt Vosburg: YEA
YEA: 6, NAY: 0, ABSENT: 3

The City Attorney received into evidence Exhibit #1 - City Manager's Report prepared for the February 9, 2026 Planning Commission meeting (1 page), Exhibit #2 - Notice of Hearing published (1 page); Exhibit #3 - Proposed Resolution No. 2026-01 (1 page); and Exhibit #4 - Proposed Comprehensive Plan (150 pages).

City Manager Schneider reviewed the information presented in Exhibit #1.

Jason Combs, Miller & Associates, presented the proposed comprehensive plan and reviewed the highlights with the Commission.

Discussion and suggested revisions from the Commission included: change the date of the plan to cover 2026-2036; Figure 3.5 - Dryland Capability Classification does not include the Walters First Subdivision; page 28, first paragraph, include reference that a large portion of the available housing are unsuitable; include in goals the need for professional staff; the need to continue future downtown improvement to keep the downtown area viable into the future; and update figures 2.5 - 2.9.

With no one else present to comment, motion to adjourn the public hearing and to reconvene as a Planning Commission. This motion, made by Chad Lyons and seconded by Kurt Vosburg, passed.
Camy Bradley: YEA, Matt Davidson: YEA, Bobby Gaulke: ABSENT, Kelly Hammerlun: ABSENT, Tammie Hilker: YEA, Chad Lyons: YEA, Jamie Mockry: YEA, Jesse Stevens: ABSENT, Kurt Vosburg: YEA
YEA: 6, NAY: 0, ABSENT: 3

2.B. Approve Resolution No. PC 2026-01 providing for the adoption of the City of McCook Comprehensive Plan by the Planning Commission and making the recommendation to the McCook City Council for their approval and adoption of the City of McCook Comprehensive Plan.

Motion to approve Resolution No. PC 2026-01 providing for the adoption of the City of McCook Comprehensive Plan by the Planning Commission and making the recommendation to the McCook City Council for their approval and adoption of the City of McCook Comprehensive Plan, contingent on suggested revisions being made. This motion, made by Chad Lyons and seconded by Jamie Mockry, passed.

Camy Bradley: YEA, Matt Davidson: YEA, Bobby Gaulke: ABSENT, Kelly Hammerlun: ABSENT, Tammie Hilker: YEA, Chad Lyons: YEA, Jamie Mockry: YEA, Jesse Stevens: ABSENT, Kurt Vosburg: YEA
YEA: 6, NAY: 0, ABSENT: 3

2.C. Review and discuss the proposed Supplemental District Chapter of the zoning update.

Staff reviewed and discussion was had regarding Article 21 - Supplementary Regulations, Sections 2101 - 2114 proposed in the City of McCook's new zoning regulations.

Adjournment.

With no further business, Chair Lyons declared the Planning Commission meeting adjourned at 7:02 P.M.

Lea Ann Doak, City Clerk-Treasurer
and Recording Secretary

CITY MANAGER'S REPORT
FEBRUARY 16, 2026 CITY COUNCIL MEETING

ITEM: 3.G.

RECOMMENDATION:

ADOPT RESOLUTION # 2026 - 36 AUTHORIZING THE EXECUTION OF A LOAN AGREEMENT WITH FIRST CENTRAL BANK TO FINANCE THE REFURBISHMENT OF A 1996 E-ONE NAVISTAR ARFF VEHICLE ON AN INTERNATIONAL CHASSIS WITH A RATE OF 5.00% AND AUTHORIZE THE MAYOR TO SIGN THE FINAL DOCUMENTS.

BACKGROUND:

This resolution is for the financing to pay for the cost of refurbishing a 1996 E-One Navistar Airport Rescue and Firefighting (ARFF) vehicle. In April, 2023, the city council approved the purchase of a new 4-wheel drive ARFF vehicle from Unruh Fire in the amount of \$375,381.98. Unruh Fire was unable to meet the terms of the agreement due to the inability to secure a chassis, as a result the agreement was terminated.

City staff have pursued many different options to come up with the best option for the ARFF vehicle. In July, 2025 city staff visited Company Two Fire Apparatus, located in Varnville, South Carolina. This company specializes in the refurbishment of ARFF vehicles.

City staff narrowed the options down to either refurbishing the current ARFF vehicle or purchasing a refurbished ARFF vehicle. The final recommendation is to refurbish our current ARFF vehicle at an estimated cost of \$283,643. This cost does not include the repair of the foam tank, which should not exceed \$20,000.

The refurbishment of the ARFF vehicle will take approximately 10 months. Company Two Fire Apparatus will deliver a loaner ARFF vehicle when they come to transport our current ARFF vehicle back to South Carolina for the refurbishment.

First Central Bank offered the lowest percentage rate of 5.0%. This will be a five year term with annual payments.

Other rate quotes that were received by the City of McCook for the financing of this ambulance are as follows:

Pinnacle Bank: 5.50%
Horizon Bank: 5.25%
McCook National Bank: 5.05%
First Central Bank: 5.00%

CITY MANAGER'S REPORT
FEBRUARY 16, 2026 CITY COUNCIL MEETING

PAGE 2

FISCAL
IMPACT: None

ITEM: _____

RECOMMENDATION:

ADOPT RESOLUTION # 2026 - 06 AUTHORIZING THE EXECUTION OF A
LOAN AGREEMENT WITH FIRST CENTRAL BANK TO FINANCE THE
REFURBISHMENT OF A 1996 E-ONE NAVISTAR ARFF VEHICLE ON AN
INTERNATIONAL CHASSIS WITH A RATE OF 5.00% AND AUTHORIZE THE
MAYOR TO SIGN THE FINAL DOCUMENTS.

APPROVALS:



Marc A. Harpham, Fire Chief

12 FEB 2026
Date



Lea Ann Doak, City Clerk

2/12/26
Date



Nate Schneider, City Manager

2-12-26
Date

RESOLUTION NO. 2026-06

RESOLUTION APPROVING THE EXECUTION OF A LOAN AGREEMENT WITH FIRST CENTRAL BANK FOR THE PURPOSE OF REFURBISHING A 1996 E-ONE NAVISTAR AIRPORT RESCUE AND FIREFIGHTING (ARFF) VEHICLE ON AN INTERNATIONAL CHASSIS.

BE IT RESOLVED BY THE MAYOR AND COUNCIL OF THE CITY OF McCOOK, NEBRASKA:

SECTION 1. That the City Council shall authorize the borrowing of funds for the refurbishment of a 1996 E-One Navistar Airport Rescue and Firefighting (ARFF) vehicle on an International Chassis.

SECTION 2. That the City shall enter into a Loan Agreement with First Central Bank for the purpose of refurbishing a 1996 E-One Navistar Airport Rescue and Firefighting (ARFF) vehicle on an International Chassis.

SECTION 3. That the Mayor is hereby authorized and directed to execute said Loan Agreement on behalf of the City of McCook, Nebraska, and the Clerk is hereby authorized to attest said execution.

PASSED AND APPROVED this 16th day of February, 2026.

Linda Taylor, Ex-officio Mayor
and Council President

ATTEST:

Lea Ann Doak, City Clerk-Treasurer

**CITY MANAGER'S REPORT
FEBRUARY 16, 2026 MCCOOK CITY COUNCIL MEETING**

ITEM NO. 4.A. Update regarding the youth sports complex project.

BACKGROUND:

Staff would like to keep this item as a place keeper on the McCook City Council agendas while we work through the planning and construction process for the sports complex.

APPROVALS:



Nathan A. Schneider, City Manager

February 11, 2026



Lea Ann Doak, City Clerk

February 11, 2026

**CITY MANAGER'S REPORT
FEBRUARY 16, 2026 CITY COUNCIL MEETING**

ITEM: 4.C.

Executive Session may be held upon a majority vote of the Council for the protection of public interest for a strategy session with respect to potential litigation regarding the Jaycee Complex.

BACKGROUND:

The City Council may hold a closed or Executive Session as permitted by Neb. Rev. Stat. Sec. 84-1410. Closed sessions may be held for, but shall not be limited to such reasons as:

1. Protection of the public interest.
2. Needless injury to the reputation of an individual.
3. Strategy sessions with respect to
 - a. collective bargaining,
 - b. real estate purchases,
 - c. pending litigation, or
 - d. imminent or threatened litigation.
4. Discussion regarding deployment of security personnel or devices.
5. Investigative proceedings regarding allegations of criminal misconduct.
6. Evaluations of job performance.

**FISCAL
IMPACT:** N/A

APPROVALS:




Lea Ann Doak, City Clerk

February 11, 2026



Tera Koetter, Assistant City Manager

February 11, 2026



Nate Schneider, City Manager

February 11, 2026