

Agenda

1. A meeting of the St. Paul Planning Commission was convened in open and public session on the 3rd day of March, 2025 at 12:00 p.m. (noon) held in the City Council Chambers, 704 6th Street, St. Paul, Nebraska.
2. Chairman Tyler Solko called the meeting to order at ___ p.m. with a statement regarding the Open Meeting Act, which is posted on the west wall of the City Council Chambers. Member roll call: Chairman Tyler Solko, Connie Becker, Arvilla Jacobs, Dan Scheer, and Tony Walch, along with Zoning Administrator Matt Helzer and Laura Berthelsen (minutes). Notice of the meeting was posted in four (4) public places. The agenda was sent to the Board members prior to the meeting and was posted in four (4) public places.
3. Discuss - Approve / Deny the January 13, 2025 minutes.
4. Public Hearing on the request to vacate Winson Subdivision located in the Southwest Quarter (SW1/4) of Section 35, Township 15 North, Range 10 West of the 6th P.M. in Howard County, Nebraska; and recorded on May 10, 2012 in Book 12, Page 2554 of the Records of Howard County, Nebraska.
 - (a) Open public hearing
 - (b) Close public hearing
 - (c) Discuss - Approve / Deny the vacation of Winson Subdivision
5. Public Hearing on the Final Plat of Winson Acres Subdivision located in parts of Government Lot 4 and Lot 5 in the Southwest Quarter (SW1/4) of Section 35, Township 15 North, Range 10 West of the 6th P.M. in Howard County, Nebraska.
 - (a) Open public hearing
 - (b) Close public hearing
 - (c) Discuss - Approve / Deny the Final Plat of Winson Acres Subdivision
6. Discuss - Approve / Deny Zoning Permit applications:
 - (a) 2025-3 Casey's Retail Company - diesel canopy and sign at 1013 2nd Street
 - (b) 2025-4 STS Construction - house at 1404 Grant Street
 - (c) 2025-5 STS Construction - house at 1410 Grant Street
 - (d) 2025-6 LaVern Miller Estate - move/demo trailer off property at 106 Jay Street
 - (e) 2025-7 CM Construction - commercial storage units at 301 Kendall Street
 - (f) 2025-8 Casandra Christenson - fence at 222 6th Street
7. Zoning Administrator Helzer Report
8. Public Comments
9. Chairman Solko announces the next Planning Commission meeting.
10. Adjournment

St. Paul Planning Commission
January 13, 2025
Meeting Minutes

A meeting of the St. Paul Planning Commission was convened in open and public session on the 13th day of January, 2025 in the Council Chambers at the City office, 704 6th Street, St. Paul, Nebraska.

Chairman Solko called the meeting to order at 12:36 p.m. with a statement regarding the Open Meetings Act; which is posted on the west wall of the City Council chambers. The notice of the meeting was posted in four (4) public places. The agenda was sent to the Commission members prior to the meeting, and was posted in four (4) public places. Commission members present: Connie Becker, Arvilla Jacobs, and Tyler Solko. Commission members absent: Dan Scheer and Tony Walch. Also present Zoning Administrator Matt Helzer, Laura Berthelsen (minutes).

Commission member Becker moved to approve the November 12, 2024 meeting minutes. Commission member Jacobs seconded the motion. Commission members Becker, Jacobs, and Solko voted aye, nays none. Motion carried 3/0.

Commission member Jacobs moved to ratify the administrative approval of the following zoning permits:

- (a) 2024-39 Judy Kaminski – fence at 909 Farnum Street
- (b) 2025-2 Darrel Petzoldt Estate/Barb Wroblewski – demolition of structures at 1122 6th Street

Commission member Becker seconded the motion. Commission members Jacobs, Solko, and Becker voted aye, nays none. Motion carried 3/0.

Commission member Becker moved to approve the following zoning permit:

- (a) 2025-1 Jerron Tiemeyer – garage at 1116 Grant Street

Commission member Solko seconded the motion. Commission members Solko, Becker, and Jacobs voted aye, nays none. Motion carried 3/0.

The meeting was adjourned at 12:42 p.m.

Sincerely,

Matthew T. Helzer
Zoning Administrator

Tyler Solko
Chairman

Laura Berthelsen
Planning Secretary

Gale O. Larson Living Trust
Gale O. Larson and Lynn A. Larson, Trustees
1320 Hardy Road
St. Paul, NE 68873

January 30, 2025

City of St. Paul
704 6th Street
St. Paul, NE 68873

Re: Request to Vacate Winson Subdivision

This letter is a formal request to vacate the plat of Winson Subdivision located in the Southwest Quarter (SW1/4) of Section 35, Township 15 North, Range 10 West of the P.M. in Howard County, Nebraska. Such plat was recorded on May 10, 2012 in Book 12, Page 2554 of the Howard County Records.

Upon vacation of the plat of Winson Subdivision, we request approval of Winson Acres Subdivision comprising of Winson Subdivision and additional property.

Sincerely,



Gale O. Larson, Trustee



Lynn Larson, Trustee

*Gale O. Larson and Lynn Larson, are successors in trust under the Gale O. Larson Living Trust

Filing Fee: \$300.00

Date Paid: 9/27/24 CASH CHECK# 4652 CREDIT CARD

Application For Subdivision

City of St. Paul, Nebraska

Subdivision Name: Winson Acres Subdivision

Owner/Applicant Name: GALE LARSON

Applicant's Address & Phone # 1320 HARDY RD

ST Paul, NE 68873

308-380-2941

Legal Description of Property from which the Subdivision is being made:

SEE ATTACHED

Zoning District of subject property: AGR

Present use of subject property: RESIDENTIAL

Desired use of subject property: Residential

Area from which the Subdivision is being taken _____ Area in proposed Subdivision _____

Will the Subdivision result in any increases in service requirements such as, utilities, schools, traffic control, streets, bridges, etc., or will it interfere with maintaining existing service levels?

Yes _____ No X

Is there direct access to an improved road or street? Yes X No _____

Has the proposed tract been previously split in accordance with these regulations or the zoning regulations? Yes _____ No _____. If Yes, complete the vacating subdivision application & fee.

Documents Required with this Application:

- Preliminary / Final Plat
- Certified list of property owners within 300 feet prepared by Title Company
- Subdivision Application Fee

Signature of Owner/Applicant: [Signature]

Date: 9-26-24

FOR OFFICE USE:

Date of Pre-plat conference: _____ Date of Notifications: 2/4/25

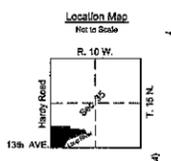
Notifications: School Dist. County HGRPPD Fire FID NDOT

Does the proposed plat meet all the subdivision requirements? Yes No _____ If not, list the discrepancies:

Date before Zoning Commission: Preliminary _____ Final 3/3/25 Approved _____ Not Approved _____

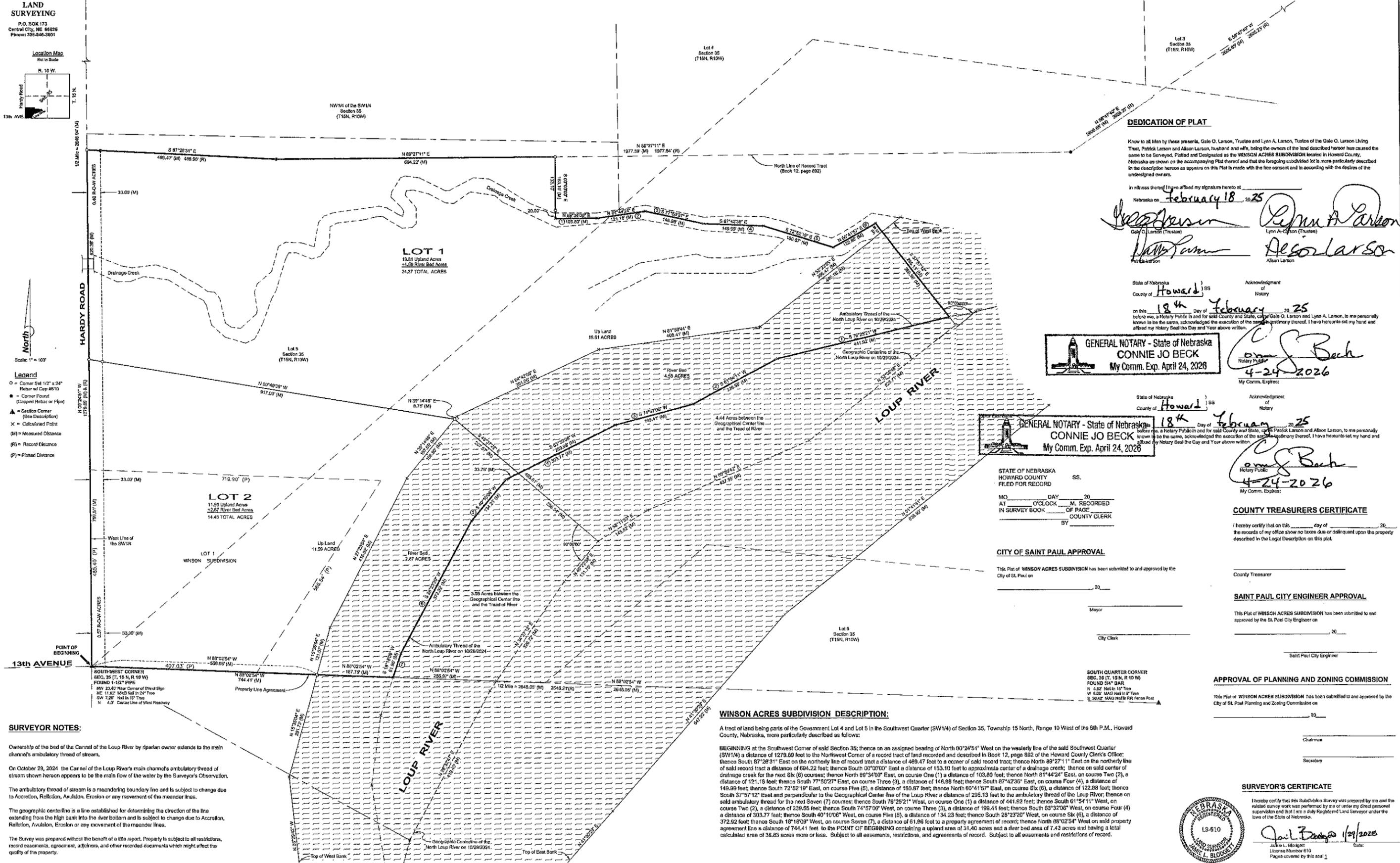
Date before City Council: Preliminary _____ Final 3/17/25 Approved _____ Not Approved _____

N-LINE
LAND SURVEYING
 P.O. BOX 173
 Central City, NE 68626
 Phone: 305-845-3691



WINSON ACRES SUBDIVISION

A SUBDIVISION IN THE SOUTHWEST QUARTER (SW1/4) OF SECTION 35,
 TOWNSHIP 15 NORTH, RANGE 10 WEST, HOWARD COUNTY, NEBRASKA



DEDICATION OF PLAT

Know all Men by these presents, Gale O. Larson, Trustee and Lynn A. Larson, Trustee of the Gale O. Larson Living Trust, Patrick Larson and Allison Larson, husband and wife, being the owners of the land described herein have caused the same to be surveyed, Platted and Designated as the WINSON ACRES SUBDIVISION located in Howard County, Nebraska as shown on the accompanying Plat thereof and that the foregoing is intended for more particularly described in the description hereon as appears on this Plat to be made with the free consent and in accordance with the desires of the undersigned owners.

In witness whereof I have affixed my signature hereto at
 Nebraska on February 18, 2025

Gale O. Larson (Trustee)
Lynn A. Larson (Trustee)
Patrick Larson
Allison Larson

State of Nebraska)
 County of Howard) SS

on this 18th Day of February, 2025
 before me, a Notary Public in and for said County and State, Gale O. Larson and Lynn A. Larson, to me personally known to be the same, acknowledged the execution of the foregoing instrument and I have hereunto set my hand and affixed my Notary Seal the Day and Year above written.

GENERAL NOTARY - State of Nebraska
CONNIE JO BECK
 My Comm. Exp. April 24, 2026

Connie Jo Beck
 Notary Public
 4-24-2026
 My Comm. Expires:

State of Nebraska)
 County of Howard) SS

on this 18th Day of February, 2025
 before me, a Notary Public in and for said County and State, Gale O. Larson and Lynn A. Larson, to me personally known to be the same, acknowledged the execution of the foregoing instrument and I have hereunto set my hand and affixed my Notary Seal the Day and Year above written.

GENERAL NOTARY - State of Nebraska
CONNIE JO BECK
 My Comm. Exp. April 24, 2026

Connie Jo Beck
 Notary Public
 4-24-2026
 My Comm. Expires:

STATE OF NEBRASKA
 HOWARD COUNTY
 FILED FOR RECORD SS.
 MO _____ DAY _____ 20____
 AT _____ O'CLOCK _____ M. RECORDED
 IN SURVEY BOOK _____ OF PAGE _____
 BY _____ COUNTY CLERK

CITY OF SAINT PAUL APPROVAL

This Plat of WINSON ACRES SUBDIVISION has been submitted to and approved by the City of St. Paul on _____, 20____.

Mayor _____
 City Clerk _____

COUNTY TREASURERS CERTIFICATE

I hereby certify that on this _____ day of _____, 20____, the records of my office show no taxes due or delinquent upon the property described in the Legal Description on this plat.

County Treasurer _____
SAINT PAUL CITY ENGINEER APPROVAL
 This Plat of WINSON ACRES SUBDIVISION has been submitted to and approved by the St. Paul City Engineer on _____, 20____.
 Mayor _____
 City Clerk _____
 Saint Paul City Engineer _____

APPROVAL OF PLANNING AND ZONING COMMISSION

This Plat of WINSON ACRES SUBDIVISION has been submitted to and approved by the City of St. Paul Planning and Zoning Commission on _____, 20____.

Chairman _____
 Secretary _____

SURVEYOR'S CERTIFICATE

I hereby certify that this Subdivision Survey was prepared by me and the related survey work was performed by me or under my direct personal supervision and that I am a duly Registered Land Surveyor under the laws of the State of Nebraska.
Paul J. Blodgett 1/29/2025
 License Number 610
 Date: _____
 Pages covered by this seal: 1



SURVEYOR NOTES:

Ownership of the bed of the Channel of the Loup River by riparian owner extends to the main channel's ambulatory thread of stream.
 On October 29, 2024 the Channel of the Loup River's main channel's ambulatory thread of stream shown hereon appears to be the main flow of the water by the Surveyor's Observation.
 The ambulatory thread of stream is a meandering boundary line and is subject to change due to Accretion, Reliction, Avulsion, Erosion or any movement of the meander lines.
 The geographical centerline is a line established for determining the direction of the line extending from the high bank into the river bottom and is subject to change due to Accretion, Reliction, Avulsion, Erosion or any movement of the meander lines.
 The Survey was prepared without the benefit of a title report. Property is subject to all restrictions, record easements, agreement, adjunctions, and other recorded documents which might affect the quality of the property.

WINSON ACRES SUBDIVISION DESCRIPTION:

A tract of land being parts of the Government Lot 4 and Lot 5 in the Southwest Quarter (SW1/4) of Section 35, Township 15 North, Range 10 West of the 6th P.M., Howard County, Nebraska, more particularly described as follows:

BEGINNING at the Southwest Corner of said Section 35; thence on an assigned bearing of North 00°24'51" West on the westerly line of the said Southwest Quarter (SW1/4) a distance of 1279.89 feet to the Northwest Corner of a record tract of land recorded and described in Book 12, page 892 of the Howard County Clerk's Office; thence South 87°28'31" East on the northerly line of record tract a distance of 469.47 feet to a corner of said record tract; thence North 89°27'11" East on the northerly line of said record tract a distance of 694.22 feet; thence South 00°00'00" East a distance of 153.10 feet to approximate center of a drainage creek; thence on said center of drainage creek for the next Six (6) courses; thence North 89°34'00" East, on course One (1) a distance of 103.80 feet; thence North 81°44'24" East, on course Two (2), a distance of 121.16 feet; thence South 77°50'27" East, on course Three (3), a distance of 146.98 feet; thence South 87°42'36" East, on course Four (4), a distance of 149.89 feet; thence South 72°52'19" East, on course Five (5), a distance of 180.87 feet; thence North 60°41'57" East, on course Six (6), a distance of 122.88 feet; thence South 37°57'12" East and perpendicular to the Geographical Center line of the Loup River a distance of 295.13 feet to the ambulatory thread of the Loup River; thence on said ambulatory thread for the next Seven (7) courses; thence South 76°25'21" West, on course One (1) a distance of 441.82 feet; thence South 61°54'11" West, on course Two (2), a distance of 239.55 feet; thence South 74°57'00" West, on course Three (3), a distance of 196.41 feet; thence South 63°32'06" West, on course Four (4) a distance of 303.77 feet; thence South 40°10'06" West, on course Five (5), a distance of 134.23 feet; thence South 28°23'20" West, on course Six (6), a distance of 372.92 feet; thence South 18°18'09" West, on course Seven (7), a distance of 61.96 feet to a property agreement of record; thence North 88°02'54" West on said property agreement line a distance of 744.41 feet to the POINT OF BEGINNING containing an upland area of 31.40 acres and a river bed area of 7.43 acres and having a total calculated area of 38.83 acres more or less. Subject to all easements, restrictions, and agreements of record. Subject to all easements and restrictions of record.

Zoning Classification HC

Value \$ 100,000

PERMIT NUMBER 2025-3

FEE \$100.00 CASH _____ CHECK# 7716

pd 1/27/25

APPLICATION FOR A COMMERCIAL ZONING PERMIT

St. Paul, Nebraska: DIRECTIONS: Fill in the following information as accurately and completely as possible. This application is not acceptable unless all requirement information is furnished.

Property Owner Casey's Retail Company Contractor To Be Determined

Address One SE Convenience Blvd Address _____

City, State, Zip Ankeny, IA 50021 Phone Number _____

Phone Number 402-707-9125 Cell Phone _____

Complete Legal Description of the Property Lots 1-8, Block 71, Original Town of St. Paul, City of St. Paul, Howard County, Nebraska

Address of Construction Site 1013 2nd Street

(If none, one must be registered with City of St. Paul or the 911 center.) *Is property in the Flood Plain?* No

Proposed Structure & Use Diesel Canopy and Sign Dimension of Structure 24' x 37'

Plans Submitted to Fire Marshall Office YES No

Distance from West Front property line 24.7' Distance from Rear Property Line N/A

Distance from North Side Property Line 129' Distance from South Second Side Property Line 117'

Is there a utility easement on either the back or side property? NO YES If so attach a copy of neighbor approval.

Approximately when will construction Start April 2025 Finish August 2025

Contact Utility Superintendent at (308) 754-4483 regarding Set-Back Inspection. Matt Helzer Date of visit 1-17-25
(Matt Helzer's signature)

Recommendations needed before approval: _____

(One Mile radius outside city limits) If the structure is a residence on less than 10 acres indicate the date this property was platted as a separate parcel _____ and the Name of the Lot Split or Subdivision _____

For Office Use Only:

Is the proposed use permitted within this zoning district? YES NO _____

Does the proposed use meet all the required setback distances? YES NO _____

Is a conditional use required for the proposed use? YES _____ NO

Has a Conditional Use Permit been issued for this proposed use? YES _____ NO
If yes, when does it expire? _____

PERMIT NUMBER 2025-3

Site Plan Sketch:

North Street Name _____

See Site Plan

South Street Name _____

West Street Name _____

East Street Name _____

Indicate, by drawing, the shape and dimensions of the land, shape and dimensions of all existing and proposed building and structures and the distances from the proposed building and structures to all lot lines (from road frontages, side and rear lot lines). Show the location of roads fronting the property. **MUST CALL DIGGERS HOTLINE @ 811 BEFORE DIGGING – CONSTRUCTION ON UTILITY EASEMENTS IS NOT PERMITTED. NEW CONSTRUCTION MUST CALL Electrical Inspector, Kim Farnstrom 308-728-7612**

The above information is, to the best of my knowledge, true and accurate. It is understood and agreed that any error, misstatement or misrepresentation of fact, either with or without intention on my part, such as might, if known, cause a refusal of this application, or any alteration or change in plans made without the approval of the Zoning Administrator subsequent to the issuance of the Permit, shall constitute sufficient grounds for the revocation of such permit. This permit is valid for one (1) year from approval date and work must be started within the first 6 months.

The signature also indicates permission granted to the Zoning Administrator to inspect the construction site in which this permit is granted at any time until construction is completed and a Certificate of Occupancy is issued.

Signature of Applicant Enrique Meraz  Date _____

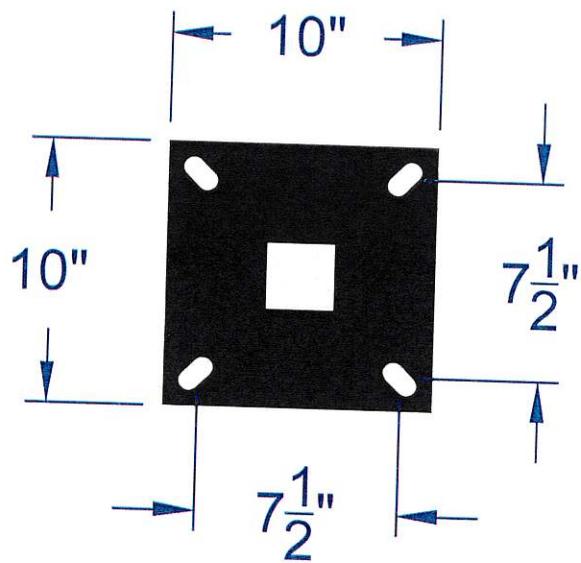
For Office Use Only:

Permit is Approved _____ Denied _____ Date _____

 Zoning Administrator Signature

Reasons for Denial: _____

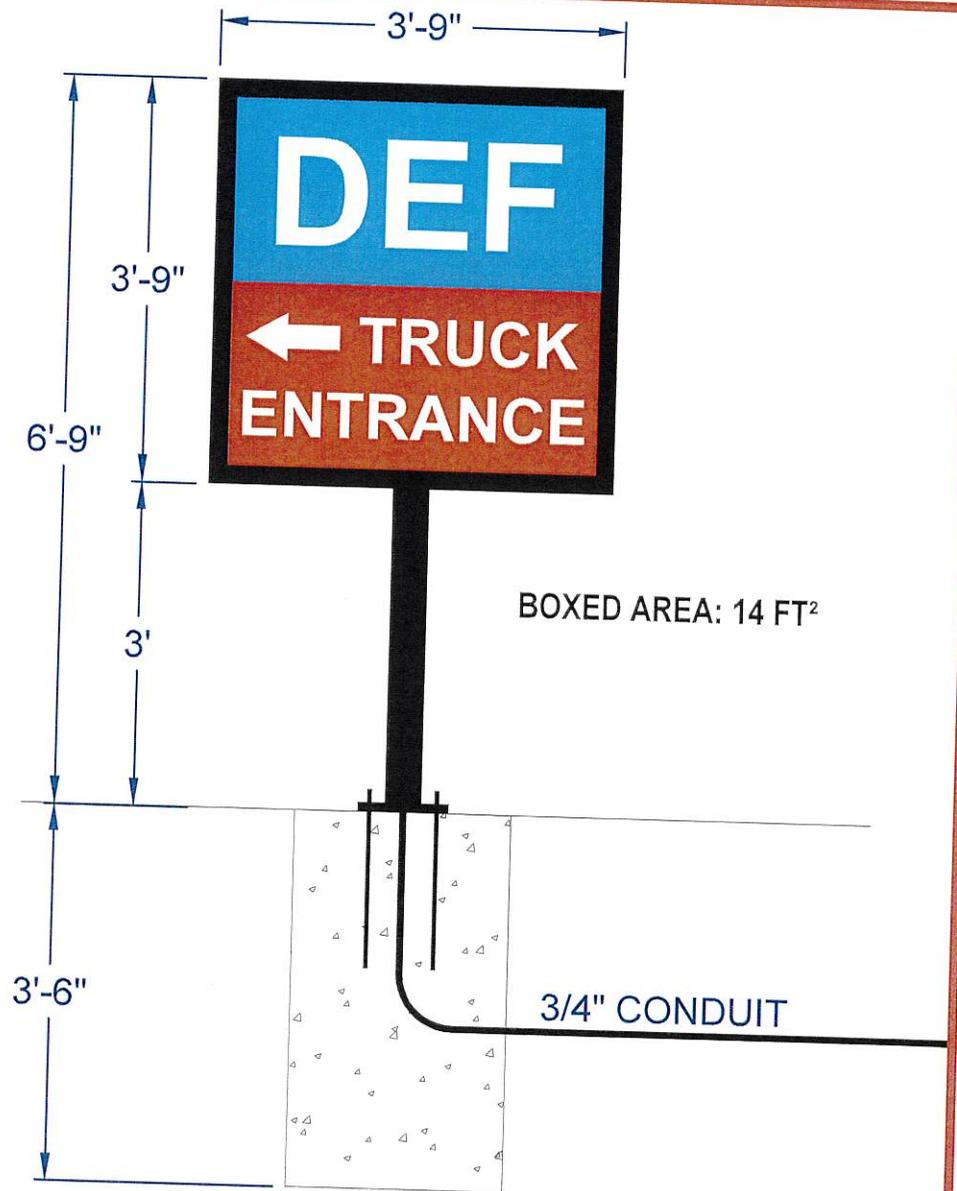
2025-3



BASEPLATE DETAIL

1/2" Ø ANCHOR BOLTS

7"-8" PATTERN



ST. PAUL, NE #3526

DIRECTIONAL SIGN

DRAWN BY:
J. CLARK

DATE:
05-21-24

Zoning Classification R2 Value \$ 400,000 PERMIT NUMBER 2025-4
 Please call 811 before completing form FEE \$50.00 CASH CHECK# 4482
paid 1/31/25

APPLICATION FOR A RESIDENTIAL ZONING PERMIT

St. Paul, Nebraska: DIRECTIONS: Fill in the following information as accurately and completely as possible. This application is not acceptable unless all required information is furnished.

Property Owner STS Construction Contractor STS Construction
 Address 1404 ~~1404~~ Grant St. Address 103 Grand St.
 City, State, Zip St. Paul, NE 68873 Phone Number 402-690-0854
 Phone Number 402-690-0854 Cell Phone _____

Complete Legal Description of the Property Bryan's Addition Replat of Lot 3, in Lot C, Bryans Add St. Paul
 Address of Construction Site 1404 ~~1404~~ Grant St.
 (If none, one must be registered with City of St. Paul) In the Flood plain? NO

Proposed Structure House ~~garage~~ Dimension of Structure 41x50
 Distance from Front property line 20' Distance from Rear Property Line 51'6"
 Distance from Side Property Line 14'6" Distance from Second Side Line 14'6"

Is there a utility easement on any side of the property? yes in the rear
 Approximately when will construction Start March 2025 Finish Jan 2026

Contact Utility Superintendent at (308) 754-4483 regarding Set-Back Inspection. Matt Helzer Date of visit 2-5-25
 (Matt Helzer's signature)

Recommendations needed before approval: _____

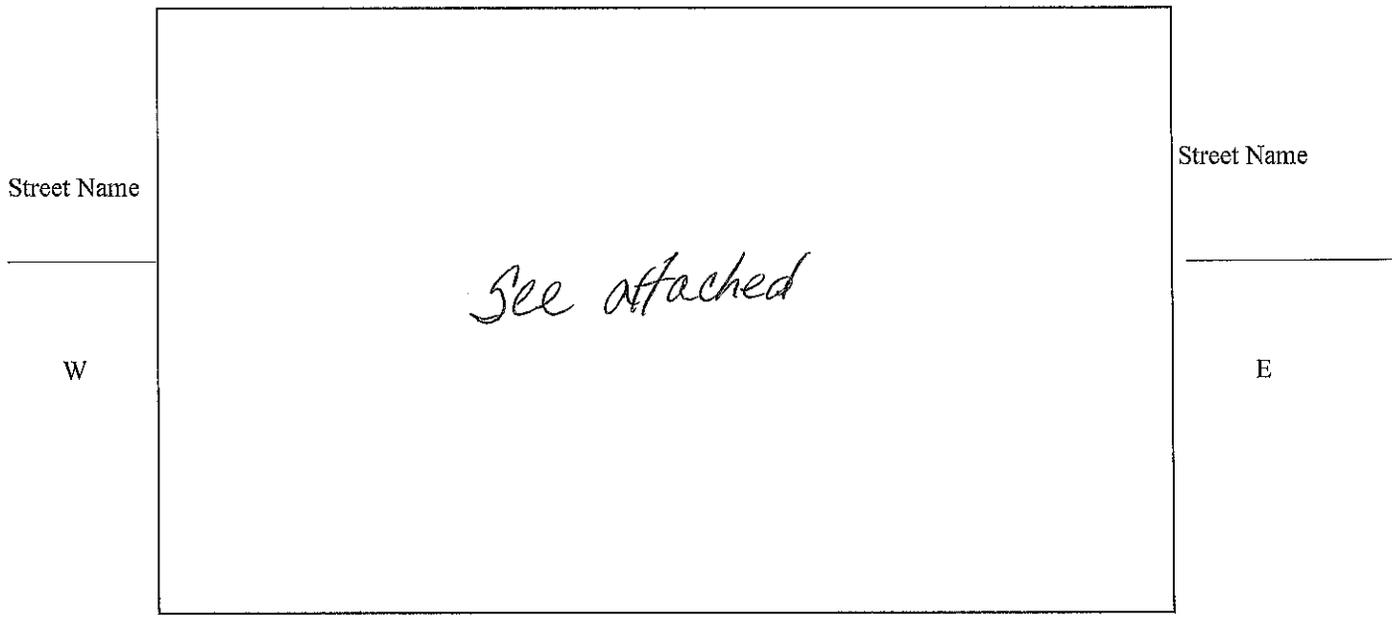
(One Mile radius outside city limits) If the structure is a residence on less than 10 acres indicate the date this property was platted as a separate parcel _____ Name of the Lot Split or Subdivision _____

For Office Use Only:

Is the proposed use permitted within this zoning district? YES ✓ NO _____
 Does the proposed use meet all the required setback distances? YES ✓ NO _____
 Is a conditional use required for the proposed use? YES _____ NO ✓
 Has a Conditional Use Permit been issued for this proposed use? YES _____ NO ✓
 If yes, when does it expire? _____

Site Plan Sketch:

North Street Name _____

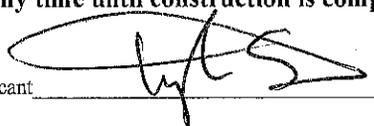


South Street Name _____

Indicate, by drawing, the shape and dimensions of the land, shape and dimensions of all existing and proposed buildings and structures, and the distances from the proposed building and structures to all lot lines (from road frontages, side and rear lot lines). Show the location of roads fronting the property. **MUST CALL DIGGERS HOTLINE @ 811 BEFORE DIGGING – CONSTRUCTION ON UTILITY EASEMENTS IS NOT PERMITTED.**

The above information is, to the best of my knowledge, true and accurate. It is understood and agreed that any error, misstatement or misrepresentation of fact, either with or without intention on my part, such as might, if known, cause a refusal of this application, or any alteration or change in plans made without the approval of the Zoning Administrator subsequent to the issuance of the Permit, shall constitute sufficient grounds for the revocation of such permit. This permit is valid for one (1) year from approval date and work must be started within the first 6 months.

The signature also indicates permission granted to the Zoning Administrator to inspect the construction site in which this permit is granted at any time until construction is completed.

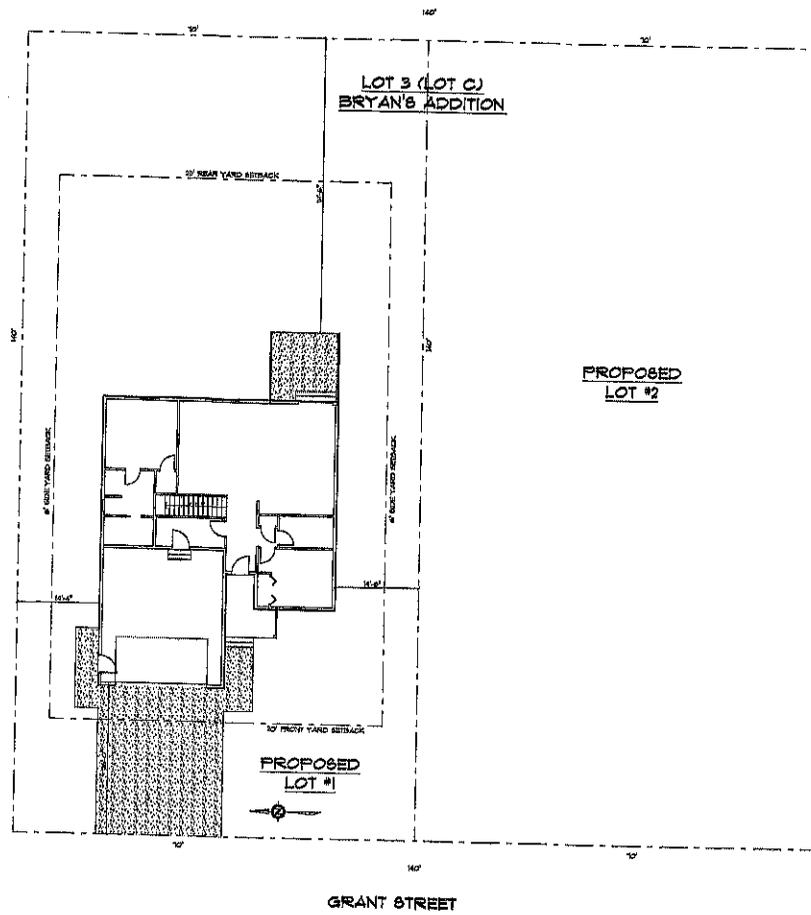
Signature of Applicant  Date 1-31-25

For Office Use Only:

Permit is Approved _____ Denied _____ Zoning Administrator Signature _____ Date _____

Reasons for Denial: _____

2025-4



SITE PLAN
SCALE: 1" = 10'-0"

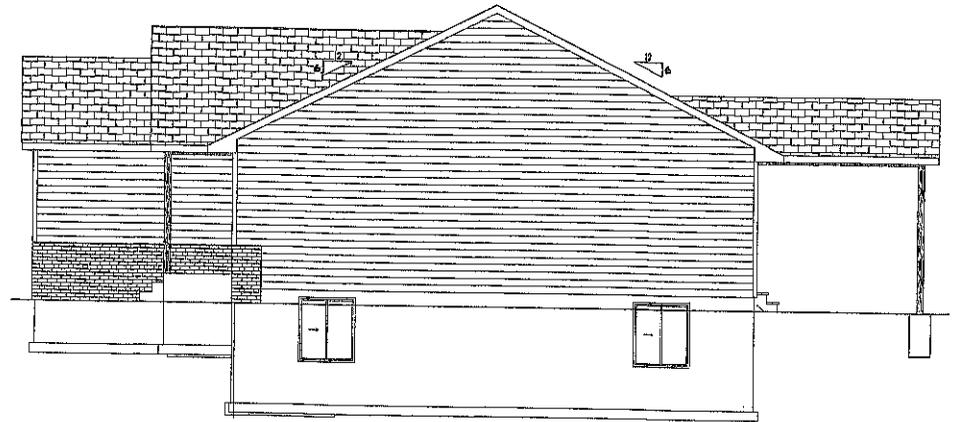
12/1/24
12/8/24
12/15/24
12/16/24
12/17/24

Bülders 1-808-862-8656 LUMBER & BUILDING CENTER <small>DESIGN IS NOT A PROFESSIONAL EXAMINATION OR INSPECTION. THESE PLANS ARE DRAWN ACCORDING TO THE CONSTRUCTION PRACTICES AND STANDARDS FOR THE STATE OF MINNESOTA.</small>	RESIDENCE DESIGNED FOR	OWNER'S NAME
	678 CONSTRUCTION 1404 GRANT ST NORTH (2) LOT 1 ST PAUL, NE	1 CR S JOB NO.

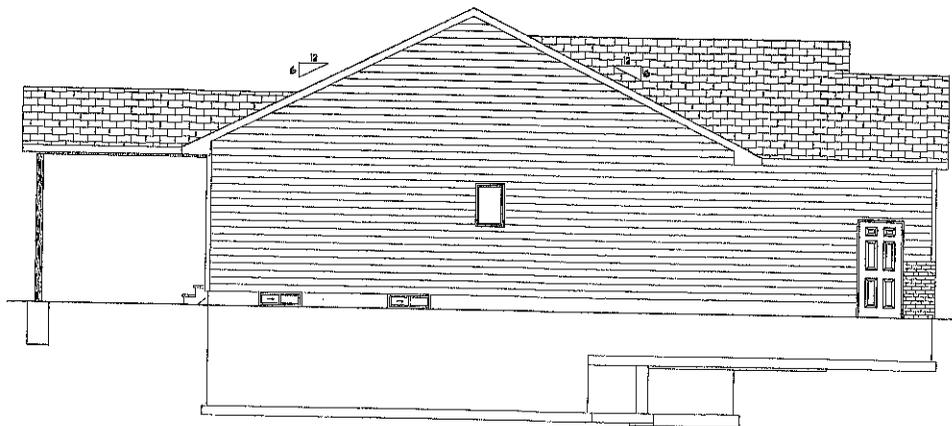
2025-4



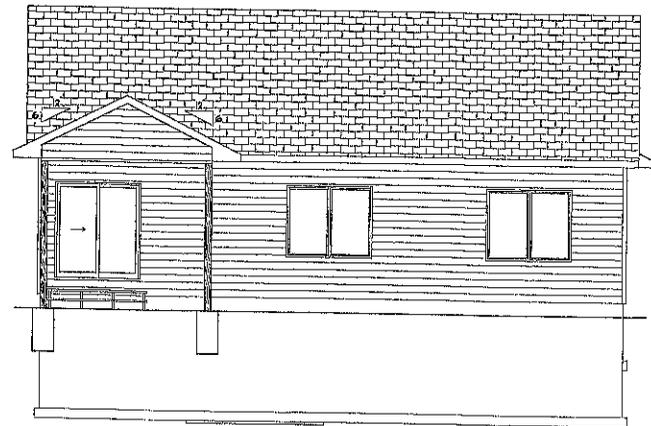
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"

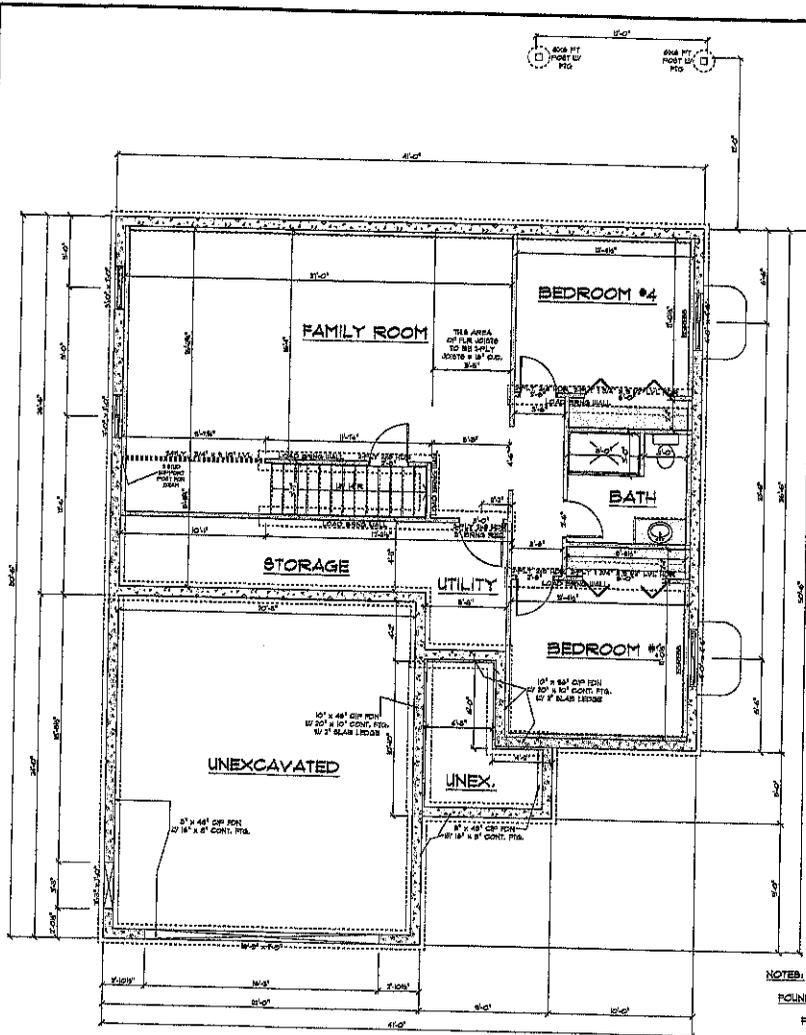


REAR ELEVATION
SCALE: 1/4" = 1'-0"

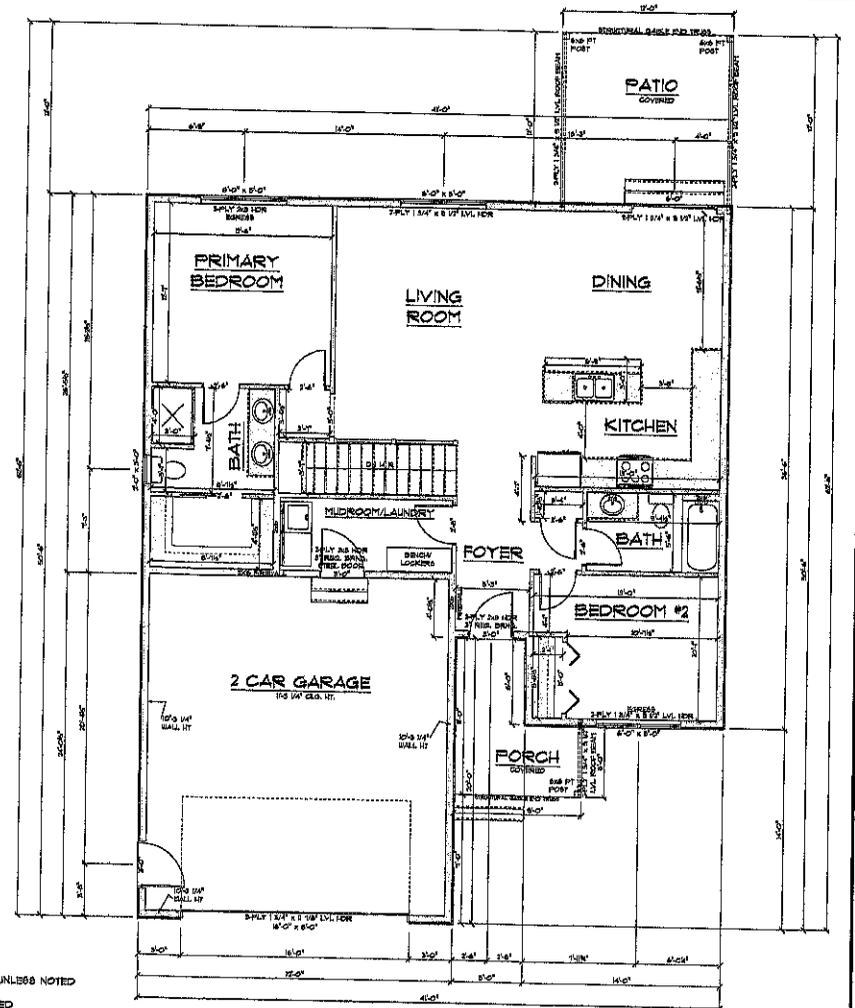
12/1/24
12/5/24
12/18/24
12/18/24
12/1/24

Builders 1-800-827-8686 LUMBER & BUILDING CENTER <small>DESIGNS & NOT A PROFESSIONAL BUSINESS OR ARCHITECTURAL FIRM. THIS PLAN AND SPECIFICATIONS ARE TO BE CONSIDERED AS APPROXIMATE. ALL STRUCTURES ARE TO BE BUILT BY CONSTRUCTION.</small>	RESIDENCE DESIGNED FOR 676 CONSTRUCTION 1404 GRANT ST (NORTH 1/2) LOT 1 ST PAUL, NE	DRAWN BY: PAIGE
	<small>I HAVE READ AND AGREE TO THE TERMS</small>	PLAN 7 OF 9 JOB NO.

2025-4



BASEMENT/FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0" 1248 P&P

NOTES:

FOUNDATION

- FOUNDATION TO BE 8" x 26" CIP FDN W/ 16" x 8" CONT. FTG. UNLESS NOTED
- INTERIOR FRAMING TO BE 2x4 STUDS AT 16" O.C. UNLESS NOTED
- INTERIOR DIMENSIONS ARE STUD TO STUD
- INTERIOR LOAD BEARING WALLS TO HAVE 16" x 8" CONT. FTG. BELOW
- FLOOR SYSTEM TO BE RFP1-100 SERIES II 1/8" JOISTS @ 16" O.C. EXCEPT WHERE NOTED OR 12" WEB FLOOR TRUSSES @ 19.2" O.C.
- EXTERIOR POSTS TO BE 6X6 PT W/ 18" x 26" CONC FTG.

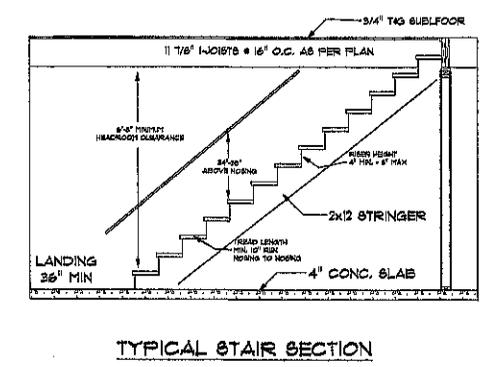
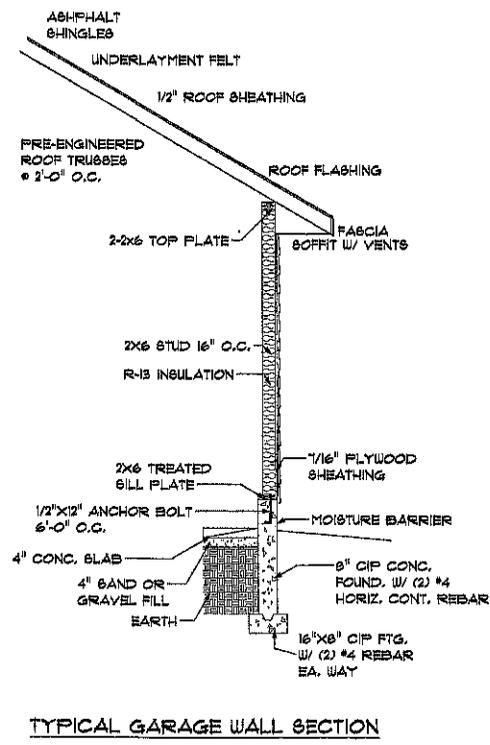
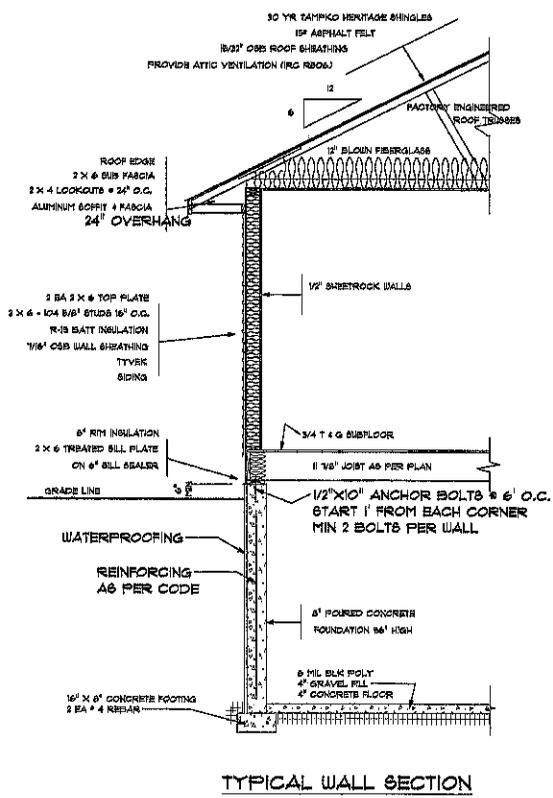
MAIN FLOOR

- EXTERIOR FRAMING TO BE 2x6 STUDS AT 16" O.C.
- EXTERIOR DIMENSIONS ARE SHEATHING TO SHEATHING
- INTERIOR FRAMING TO BE 2x4 STUDS AT 16" O.C. UNLESS NOTED
- INTERIOR DIMENSIONS ARE STUD TO STUD
- INTERIOR CEILING HEIGHT TO BE 9'-1 1/8" UNLESS NOTED
- EXTERIOR POSTS TO BE 6X6 PT
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND LOCATIONS

12/1/24
12/8/24
10/15/24
10/18/24
10/1/24

Builders 1-508-382-2656 LUMBER & BUILDING CENTER	RESIDENCE DESIGNED FOR	DRAWN BY
	619 CONSTRUCTION 1404 GRANT ST (NORTH 1/2) LOT 1 ST PAUL, NE	PAIGE 2 00 5
<small>BUILDING IS NOT A PROFESSIONAL MANIFESTATION OR INCIDENTAL FOR THE PLAN AND SHALL ACCORDING TO THE CONTRACT DOCUMENTS AND SPECIFICATIONS. ALL DIMENSIONS ARE TO BE VERIFIED BY CONTRACTOR.</small>	<small>DATE REVISION AND APPROVAL TO BE MADE.</small>	JOB NO.

2025-4



DETAILS
SCALE: 1/2" = 1'-0"

12/17/24
9/9/24
10/18/24
10/18/24
10/17/24

Builders 1308-382-8656 LUMBER 1 BUILDING CENTER	RESIDENCE DESIGNED FOR	DRAWN BY
	STB CONSTRUCTION 1404 GRANT ST (NORTH 1/2) LOT 1 ST PAUL, MN	DATE 4 OF 5
<small>WE HEREBY CERTIFY THAT I AM A PROFESSIONAL ENGINEER OR ARCHITECT AND THAT THESE PLANS AND SPECIFICATIONS ARE PREPARED BY ME OR UNDER MY SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT. ALL COPYRIGHTS ARE TO BE OBSERVED BY CONTRACTOR.</small>		I HAVE READ AND AGREE TO THE TERMS.

2025-4

N-LINE



LAND SURVEYING

P.O. BOX 173
Central City, NE 68828
Phone: 308-946-3601

BRYAN'S ADDITION REPLAT OF LOT 3, IN LOT C, BRYAN'S ADDITION ADMINISTRATIVE PLAT

Sheet 1 of 2

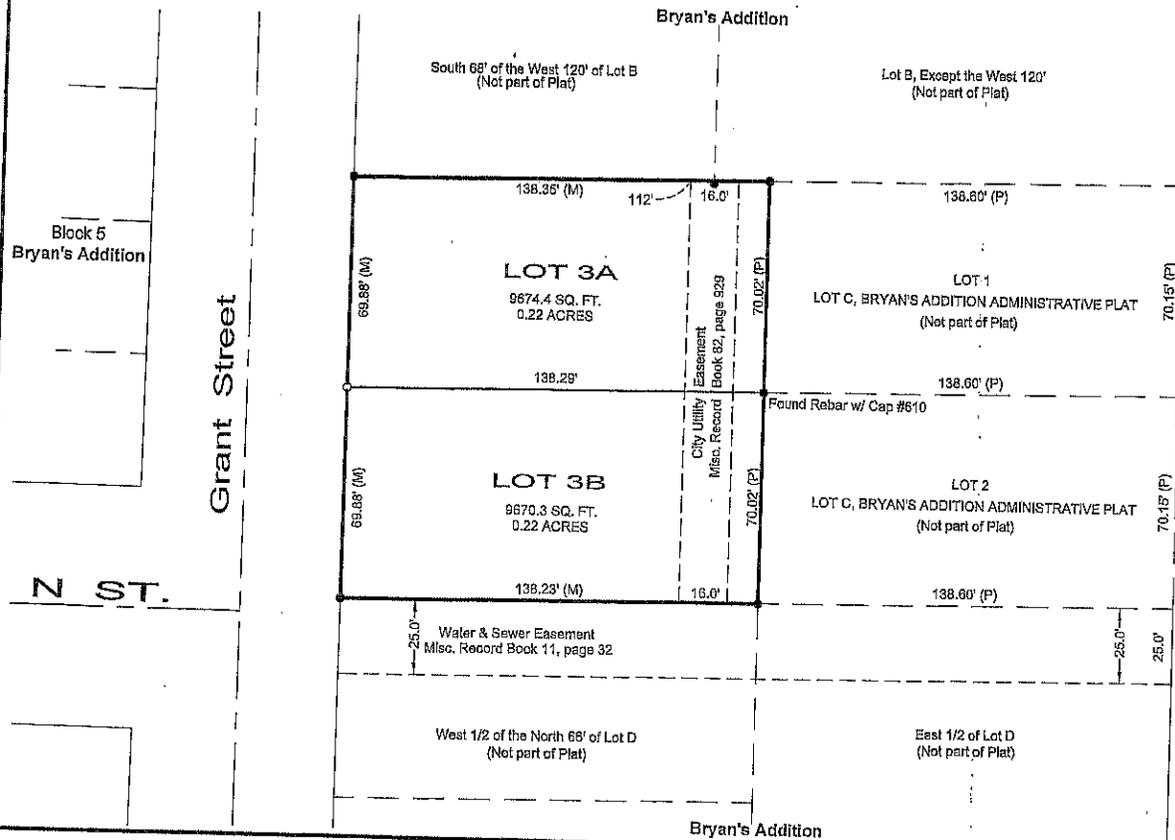
A REPLAT OF LOT 3, IN LOT C, BRYAN'S ADDITION, ST. PAUL, NEBRASKA
TO THE CITY OF SAINT PAUL, NEBRASKA

Nebraska
Survey Record Repository
RECEIVED

#5.00
OCT 20 2022
HOWARD
1589-290 1/2

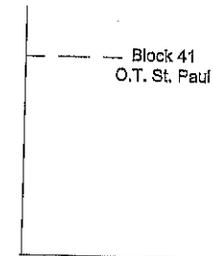
BRYAN'S ADDITION REPLAT OF LOT 3, IN LOT C, BRYAN'S ADDITION ADMINISTRATIVE PLAT DESCRIPTION:

All of Lot 3 in Lot C, Bryan's Addition Administrative Plat of Lot C, Bryan's Addition to St. Paul, Howard County, Nebraska.



RECORD DESCRIPTION:

Book 22, page 1072 and 1073: Lot 3 in Lot C, Bryan's Addition Administrative Plat of Lot C, Bryan's Addition to St. Paul, Howard County, Nebraska.



- Legend**
- = Corner Set 1/2" x 24" Rebar w/ Cap #610
 - = Corner Found (5/8" Rebar or See Description)
 - (M) = Measured Distance
 - (D) = Deeded Distance
 - (R) = Record Distance
- Scale: 1" = 40'

N STREET

STATE OF NEBRASKA
HOWARD COUNTY
FILED FOR RECORD SS.

Block 56
O.T. St. Paul

MO _____ DAY _____ 20____
AT _____ O'CLOCK _____ M. RECORDED
IN SURVEY BOOK _____ OF PAGE _____
BY _____ COUNTY CLERK

DATE OF SURVEY 7/11/2022

JOB NUMBER 21184.2

Zoning Classification R2 Value \$ 400,000 PERMIT NUMBER 2025-5
 Please call 811 before completing form FEE \$50.00 CASH CHECK# 4492
 paid 1/31/25

APPLICATION FOR A RESIDENTIAL ZONING PERMIT

St. Paul, Nebraska: DIRECTIONS: Fill in the following information as accurately and completely as possible. This application is not acceptable unless all required information is furnished.

Property Owner STS Construction Contractor STS Construction
 Address 1410 Grant St. Address 103 Grand St.
 City, State, Zip St. Paul, NE 68973 Phone Number 402-690-0954
 Phone Number 402-690-0854 Cell Phone _____

Complete Legal Description of the Property Bryan's Addition Replat of Lot 3, in Lot C, Bryans Add St. Paul

Address of Construction Site 1410 Grant St.
 (If none, one must be registered with City of St. Paul) In the Flood plain? NO

Proposed Structure House Dimension of Structure 41 x 50
 Distance from Front property line 20' Distance from Rear Property Line 51'6"
 Distance from Side Property Line 14'6" Distance from Second Side Line 14'6"

Is there a utility easement on any side of the property? yes in the rear
 Approximately when will construction Start March 2025 Finish Jan 2026

Contact Utility Superintendent at (308) 754-4483 regarding Set-Back Inspection. Matt Helzer Date of visit 2-5-25
 (Matt Helzer's Signature)

Recommendations needed before approval: _____

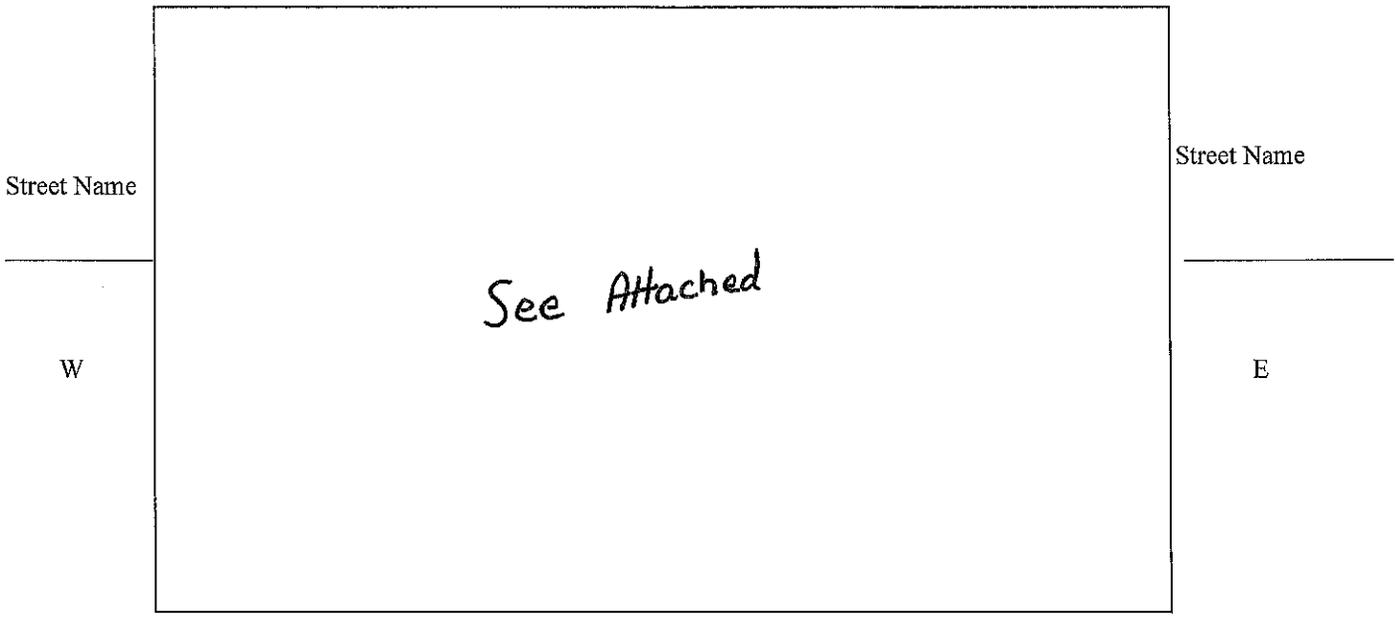
(One Mile radius outside city limits) If the structure is a residence on less than 10 acres indicate the date this property was platted as a separate parcel _____ Name of the Lot Split or Subdivision _____

For Office Use Only:

Is the proposed use permitted within this zoning district? YES NO _____
 Does the proposed use meet all the required setback distances? YES NO _____
 Is a conditional use required for the proposed use? YES _____ NO
 Has a Conditional Use Permit been issued for this proposed use? YES _____ NO
 If yes, when does it expire? _____

Site Plan Sketch:

North Street Name _____



South Street Name _____

Indicate, by drawing, the shape and dimensions of the land, shape and dimensions of all existing and proposed buildings and structures, and the distances from the proposed building and structures to all lot lines (from road frontages, side and rear lot lines). Show the location of roads fronting the property. **MUST CALL DIGGERS HOTLINE @ 811 BEFORE DIGGING – CONSTRUCTION ON UTILITY EASEMENTS IS NOT PERMITTED.**

The above information is, to the best of my knowledge, true and accurate. It is understood and agreed that any error, misstatement or misrepresentation of fact, either with or without intention on my part, such as might, if known, cause a refusal of this application, or any alteration or change in plans made without the approval of the Zoning Administrator subsequent to the issuance of the Permit, shall constitute sufficient grounds for the revocation of such permit. This permit is valid for one (1) year from approval date and work must be started within the first 6 months.

The signature also indicates permission granted to the Zoning Administrator to inspect the construction site in which this permit is granted at any time until construction is completed.

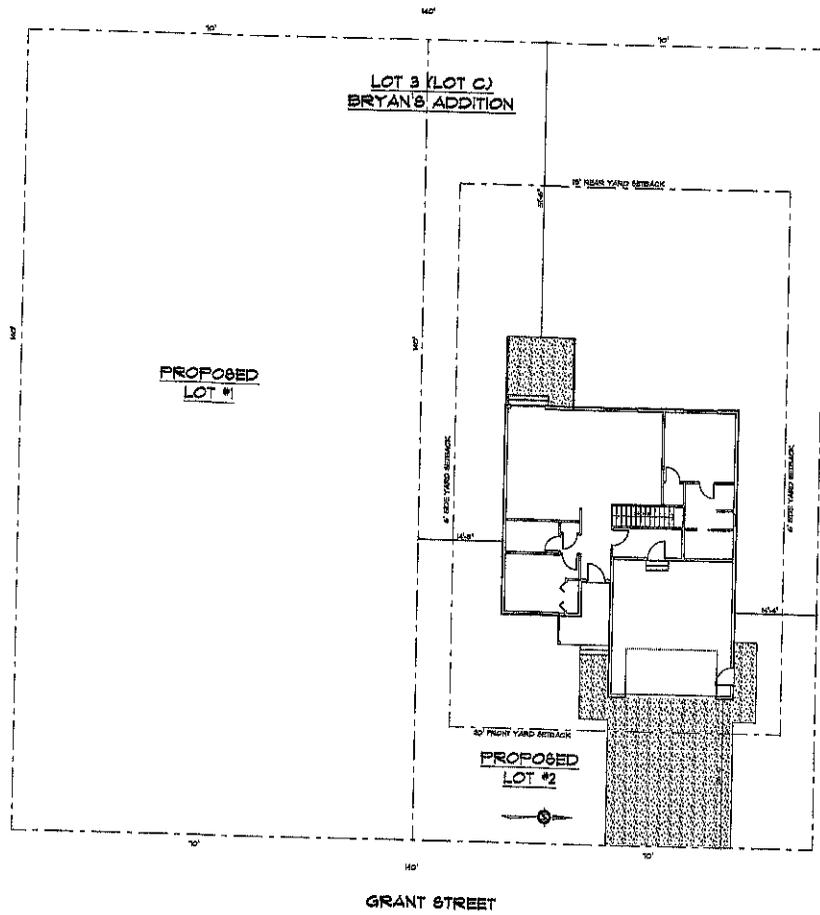
Signature of Applicant Date 1-31-25

For Office Use Only:

Permit is Approved _____ Denied _____ Zoning Administrator Signature _____ Date _____

Reasons for Denial: _____

2025-5

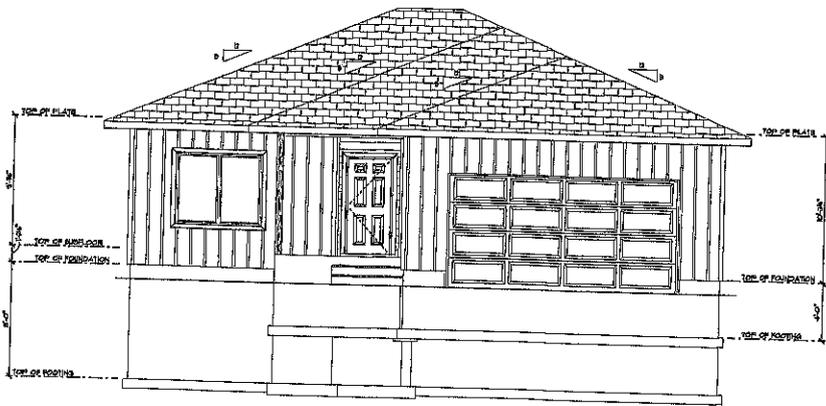


SITE PLAN
SCALE: 1" = 10'-0"

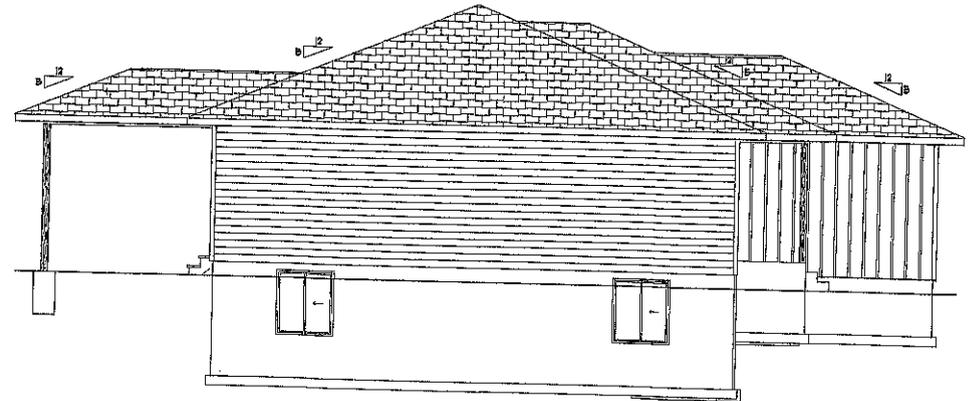
12/17/24

Builders 1-508-382-6666 LUMBER & BUILDING CENTER	RESIDENCE DESIGNED FOR	DRAWING PAGE
	876 CONSTRUCTION 1404 GRANT ST (SOUTH 1/2) LOT 2 87 PAUL NE	1 OF 5
<small>DESIGNED BY SET A PROFESSIONAL ARCHITECT OR ARCHITECTURAL FIRM. THESE PLANS ARE GRANTED SUBJECT TO THE CONSTRUCTION OF ALL APPLICABLE REGULATIONS. ALL VARIATIONS ARE TO BE REPORTED BY CONSTRUCTION.</small>	<small>1. LOTS MUST HAVE ACCESS TO THE DRIVE.</small>	<small>JOB NO.</small>

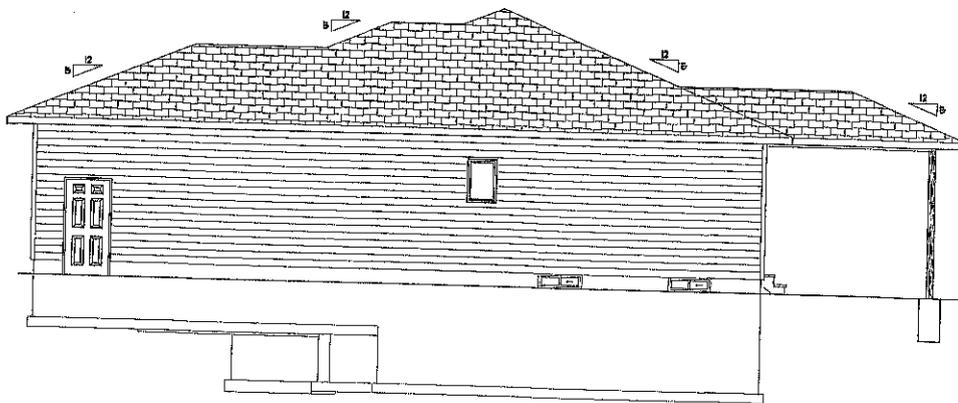
2025-5



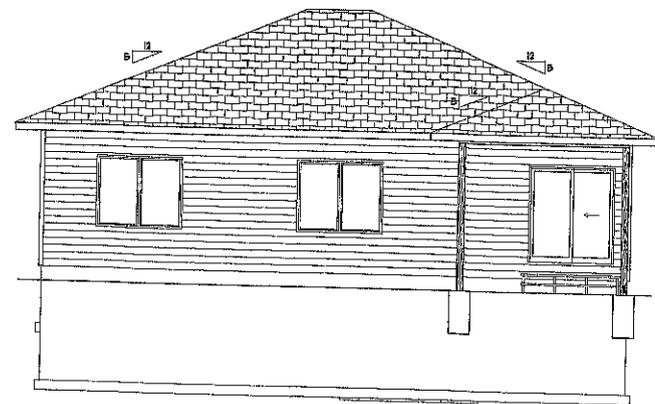
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

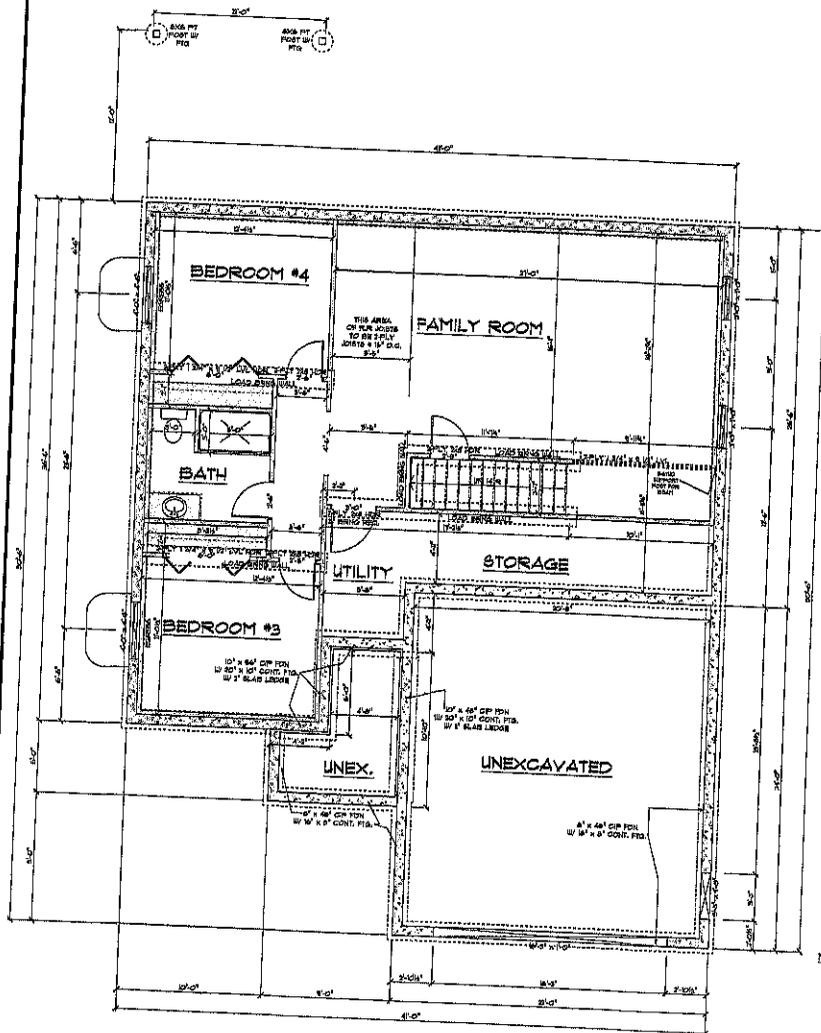


REAR ELEVATION
SCALE: 1/4" = 1'-0"

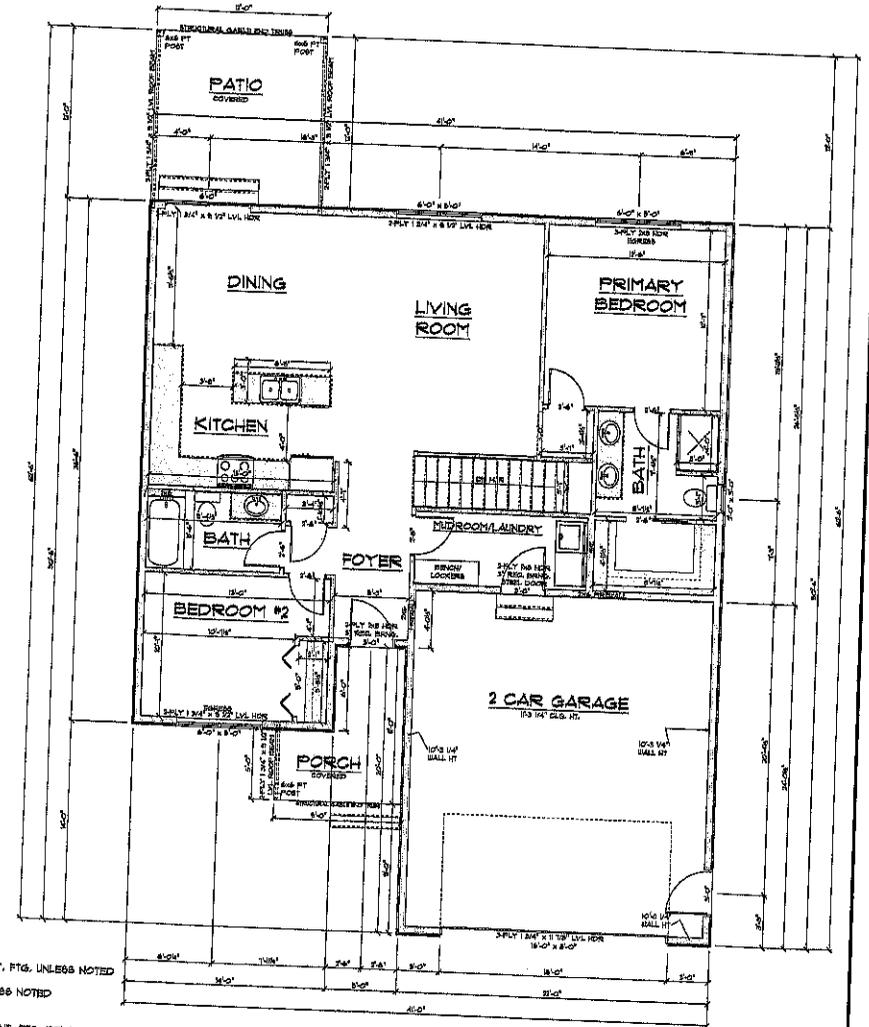
12/1/24

Builders 1-800-392-3656 LUMBER & BUILDING CENTER	RESIDENCE DESIGNED FOR 676 CONSTRUCTION 1404 GRANT ST (SOUTH 1/2) LOT 2 ST PAUL, NE	DRAWN BY PAIGE
	<small>DESIGN IS NOT A WARRANTY, INDEMNITY OR ACCEPTANCE. PERMITS, PLANS AND SPECIFICATIONS TO BE OBTAINED FROM THE APPLICABLE JURISDICTION. ALL PERMITS ARE TO BE OBTAINED BY CONSTRUCTION.</small>	SHEET NO. 1 OF 2

2025-5



BASEMENT/FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"
1248 P&P

NOTES:

FOUNDATION

- FOUNDATION TO BE 6" x 66" CIP FDN W/ 16" x 8" CONT. FTG. UNLESS NOTED
- INTERIOR FRAMING TO BE 2x4 STUDS AT 16" O.C. UNLESS NOTED
- INTERIOR DIMENSIONS ARE STUD TO STUD
- INTERIOR LOAD BEARING WALLS TO HAVE 16" x 8" CONT. FTG. BELOW
- FLOOR SYSTEM TO BE RFP-400 SERIES II 1/8" JOISTS @ 16" O.C. EXCEPT WHERE NOTED OR 12" WEB FLOOR TRUSSES @ 16.3' O.C.
- EXTERIOR POSTS TO BE 6x6 FT W/ 18" x 36" CONG FTG

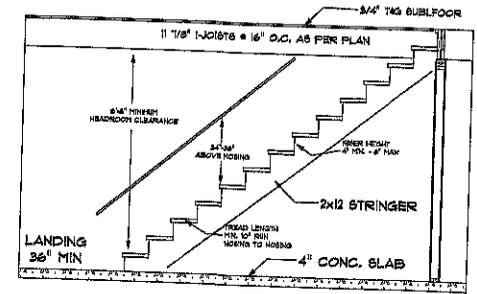
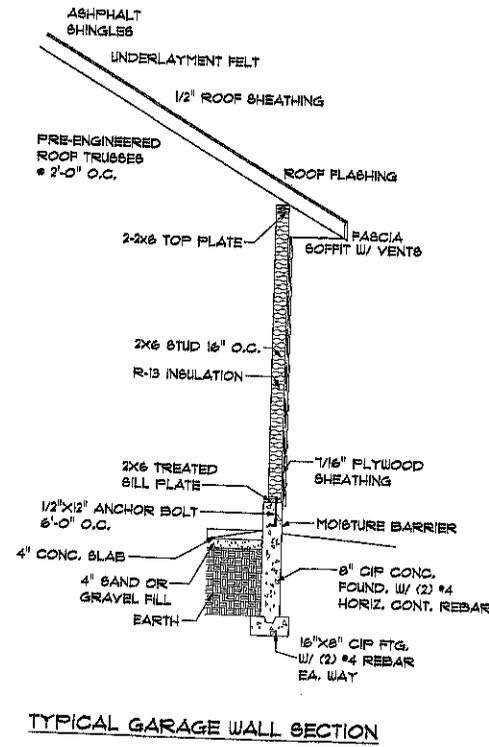
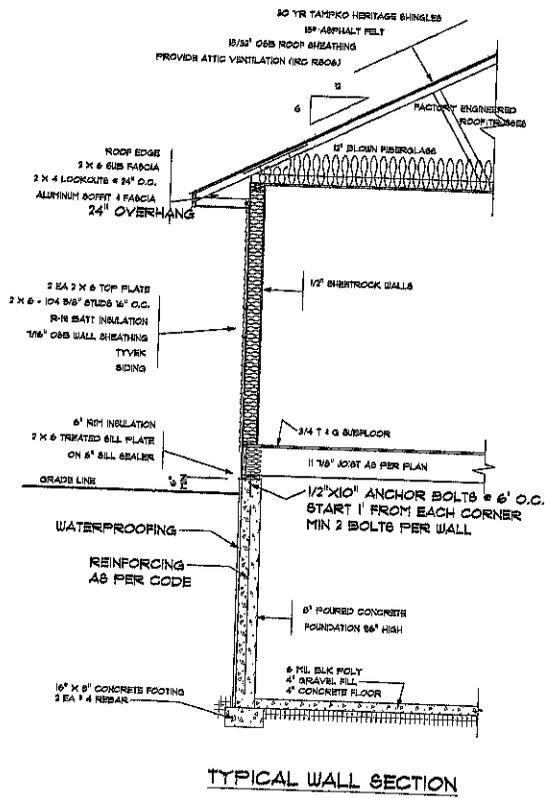
MAIN FLOOR

- EXTERIOR FRAMING TO BE 2x6 STUDS AT 16" O.C.
- EXTERIOR DIMENSIONS ARE SHEATHING TO SHEATHING
- INTERIOR FRAMING TO BE 2x4 STUDS AT 16" O.C. UNLESS NOTED
- INTERIOR DIMENSIONS ARE STUD TO STUD
- INTERIOR CEILING HEIGHT TO BE 9'-1 1/2" UNLESS NOTED
- EXTERIOR POSTS TO BE 6x6 FT
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND LOCATIONS

12/17/24

Builders 1-800-363-8686 LUMBER & BUILDING CENTER <small>DESIGNED BY A PROFESSIONAL ENGINEER OR ARCHITECT. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE. ALL DIMENSIONS ARE TO BE VERIFIED BY CONTRACTOR.</small>	RESIDENCE DESIGNED FOR STB CONSTRUCTION 1044 GRANT ST (SOUTH 1/2) LOT 2 ST PAUL, NE	DRAWN BY: PAGE OF 5 JOB NO.

2025-5

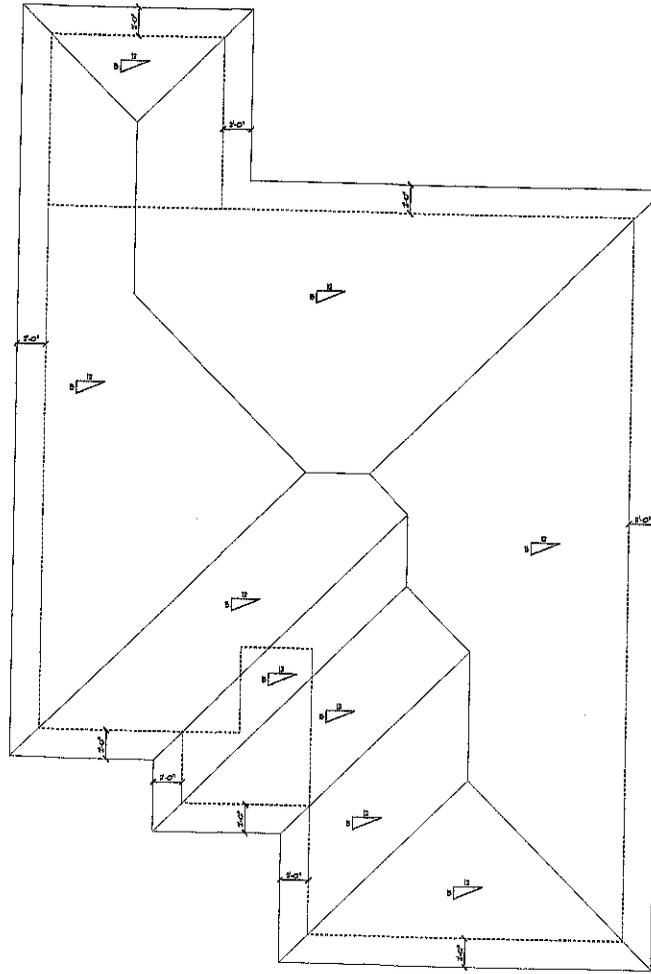


DETAILS
SCALE: 1/2" = 1'-0"

12/17/24

Builders 1-308-382-8886 LUNEBER 4 BUILDING CENTER	RESIDENCE DESIGNED FOR	DRAWN BY
	618 CONSTRUCTION 1404 GRANT ST (SOUTH 1/2) LOT 2 ST PAUL, MN	PAGE 4 OF 8 JOB 113
<small> BUILDING IS NOT A PROFESSIONAL ENGINEERING OR ARCHITECTURAL PLAN. THEREFORE, IT IS SUBJECT TO THE CODES, ORDINANCES AND REGULATIONS ALL APPLICABLE AND TO BE VERIFIED BY CONTRACTOR. </small>		<small> DRAW HERE AND ASSESS TO THE OWNER. </small>

2025-5



ROOF LAYOUT
SCALE: 1/4" = 1'-0"

12/1/24

Bülders 1-508-382-8656 LUMBER & BUILDING CENTER	RESIDENCE DESIGNED FOR	DATE: 11/1/24
	876 CONSTRUCTION 1404 GRANT ST (SOUTH 1/2) LOT 2 ST PAUL, NE	PAGE 5 OF 5 JOB NO:
<small>ALL DIMENSIONS ARE PROFESSIONAL DIMENSIONS BY ARCHITECTURAL SPECIFICATIONS AND SHALL GOVERN OVER ALL OTHERS. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND ALL APPLICABLE LOCAL CODES.</small>	<small>THIS PLAN AND JAMES IS THE WORK OF THE ARCHITECT.</small>	

2025-5

N-LINE



LAND
SURVEYING

P.O. BOX 173
Central City, NE 68628
Phone: 308-848-3601

BRYAN'S ADDITION REPLAT OF LOT 3, IN LOT C, BRYAN'S ADDITION ADMINISTRATIVE PLAT

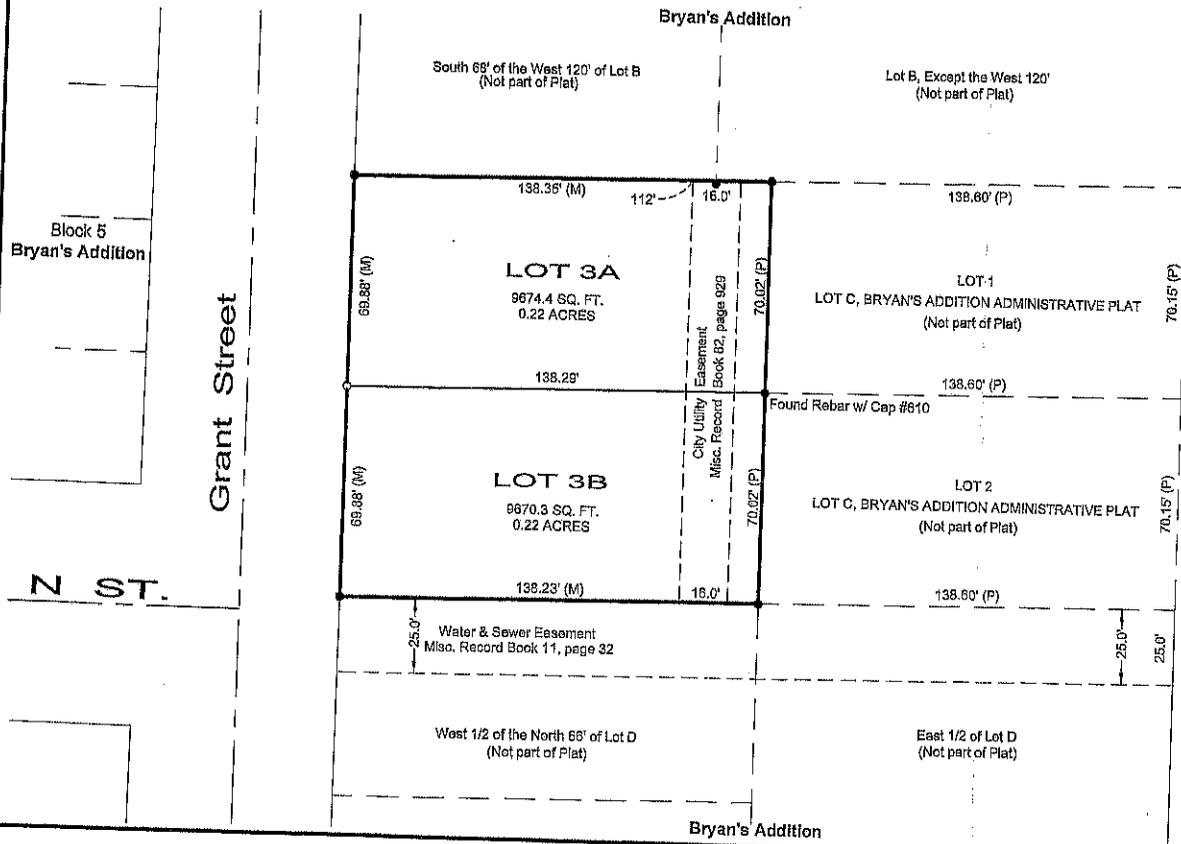
Sheet 1 of 2

A REPLAT OF LOT 3, IN LOT C, BRYAN'S ADDITION, ST. PAUL, NEBRASKA
TO THE CITY OF SAINT PAUL, NEBRASKA

Nebraska
Survey Record Repository
RECEIVED
#5.00
OCT 20 2022
HOWARD
1689-290 1/2

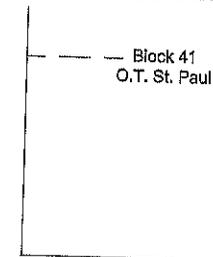
BRYAN'S ADDITION REPLAT OF LOT 3, IN LOT C, BRYAN'S ADDITION ADMINISTRATIVE PLAT DESCRIPTION:

All of Lot 3 in Lot C, Bryan's Addition Administrative Plat of Lot C, Bryan's
Addition to St. Paul, Howard County, Nebraska.



RECORD DESCRIPTION:

Book 22, page 1072 and 1073: Lot 3 in Lot C, Bryan's Addition Administrative
Plat of Lot C, Bryan's Addition to St. Paul, Howard County, Nebraska.



Legend

- = Corner Set 1/2" x 24" Rebar w/ Cap #610
- = Corner Found (5/8" Rebar or See Description)
- (M) = Measured Distance
- (D) = Deeded Distance
- (R) = Record Distance



Scale: 1" = 40'

N STREET

STATE OF NEBRASKA
HOWARD COUNTY
FILED FOR RECORD SS.

Block 56
O.T. St. Paul

MO _____ DAY _____ 20____
AT _____ O'CLOCK _____ M. RECORDED
IN SURVEY BOOK _____ OF PAGE _____
BY _____ COUNTY CLERK

DATE OF SURVEY 7/11/2022

JOB NUMBER 21164.2

Zoning Classification HC

PERMIT NUMBER 2025-6
FEE \$50.00 CASH CHECK# CC

**APPLICATION FOR PERMIT TO MOVE A BUILDING (House / Garage)
or Demolition**

St. Paul, Nebraska: DIRECTIONS: Fill in the following information as accurately and completely as possible. This application is not acceptable unless all required information is furnished.

Property Owner Lavern Miller Contractor Reynolds Construction

Address 106 Jay St. Address 2204 2nd Ave, Boems, NE 68820

City, State, Zip St. Paul, Ne 68873 Phone Number 308-750-3174

Phone Number 308-750-2702 - Patty Cell Phone 308-750-3174

Complete Legal Description of the Property Lots 3+4 Block 72 OT St. Paul

Address of current Site 106 Jay Street Address of new location

Type of Structure to be moved Trailerhouse

Approximately when will the moving: Start March 2025 Finish April 2025

Contact Utility Superintendent at (308) 754-4483 regarding Inspection Matt Helzer Date of visit 2-25-25
(Matt Helzer's signature)

Recommendations needed before approval: Asbestos inspection has been scheduled. A report will be submitted to the City after completed

MUST CALL DIGGERS HOTLINE @ 811 BEFORE DIGGING – CONSTRUCTION ON UTILITY EASEMENTS IS NOT PERMITTED. The above information is, to the best of my knowledge, true and accurate. It is understood and agreed that any error, misstatement or misrepresentation of fact, either with or without intention on my part, such as might, if known, cause a refusal of this application, or any alteration or change in plans made without the approval of the Zoning Administrator subsequent to the issuance of the Permit, shall constitute sufficient grounds for the revocation of such permit. This permit is valid for one (1) year from approval date.

The signature also indicates permission granted to the Zoning Administrator to inspect the site in which this permit is granted at any time until completed.

Signature of Applicant Patty Wilson Date 2/10/25

Treasurer certificate must be attached showing taxes are paid prior to moving the building(s).

For Office Use Only: Attach the Treasurer Certificate

Permit is Approved Denied Date
Zoning Administrator

Reasons for Denial:

2025-6

Treasurer's Certificate

Prior to demolishing or removing any building or structure from property within the City limits, all taxes and liens must be paid on the property. The City of St. Paul requires the Howard County Treasurer to certify that all taxes on the property are paid, and that no liens exist on the property.

Type of Structure(s) to be Demolished / Moved Trailer house

Property Address: 106 Jay St.

Legal Description of Property: Lots 3 + 4, Block 72 Original Town
St. Paul

I hereby certify that no taxes are due on the above-described property.

Date: 2-11-25

Howard County Treasurer's Office

By: Sara Roy
Sara Roy (Printed Name)

2025-6

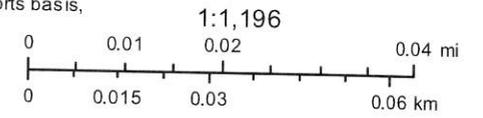




February 25, 2025
16:44 PM

DISCLAIMER: This map is not intended for conveyances, nor is it a legal survey. The information is presented on a best-efforts basis, and should not be relied upon for making financial, survey, legal or other commitments.

 Parcels



Zoning Classification HC

Value \$ \$300,000

PERMIT NUMBER 2025-7

FEE \$100.00 CASH _____ CHECK# 4417

paid 2/14/25

APPLICATION FOR A COMMERCIAL ZONING PERMIT

St. Paul, Nebraska: DIRECTIONS: Fill in the following information as accurately and completely as possible. This application is not acceptable unless all requirement information is furnished.

Property Owner CHRIS MEYER Contractor SAME

Address 1406 BRUCE STREET Address SAME

City, State, Zip ST. PAUL NE. 68873 Phone Number SAME

Phone Number SAME Cell Phone 308-750-5941

Complete Legal Description of the Property PART OF LOTS 1,2,3,4,5 & 6 BLOCK 8 OT ST. PAUL

Address of Construction Site 301 Kendall Street

(If none, one must be registered with City of St. Paul or the 911 center.) Is property in the Flood Plain? No

Proposed Structure & Use COMMERCIAL BUSINESS CONDO'S Dimension of Structure 40x224

Plans Submitted to Fire Marshall Office

Distance from Front property line 25' - NORTH Distance from Rear Property Line 15' - South

Distance from Side Property Line 10' - EAST Distance from Second Side Property Line 13' - West

Is there a utility easement on either the back or side property? No If so attach a copy of neighbor approval.

Approximately when will construction Start March 2025 Finish Nov. 2025

Contact Utility Superintendent at (308) 754-4483 regarding Set-Back Inspection. Matt Helzer Date of visit 1-10-2025
(Matt Helzer's signature)

Recommendations needed before approval: _____

(One Mile radius outside city limits) If the structure is a residence on less than 10 acres indicate the date this property was platted as a separate parcel _____ and the Name of the Lot Split or Subdivision _____

For Office Use Only:

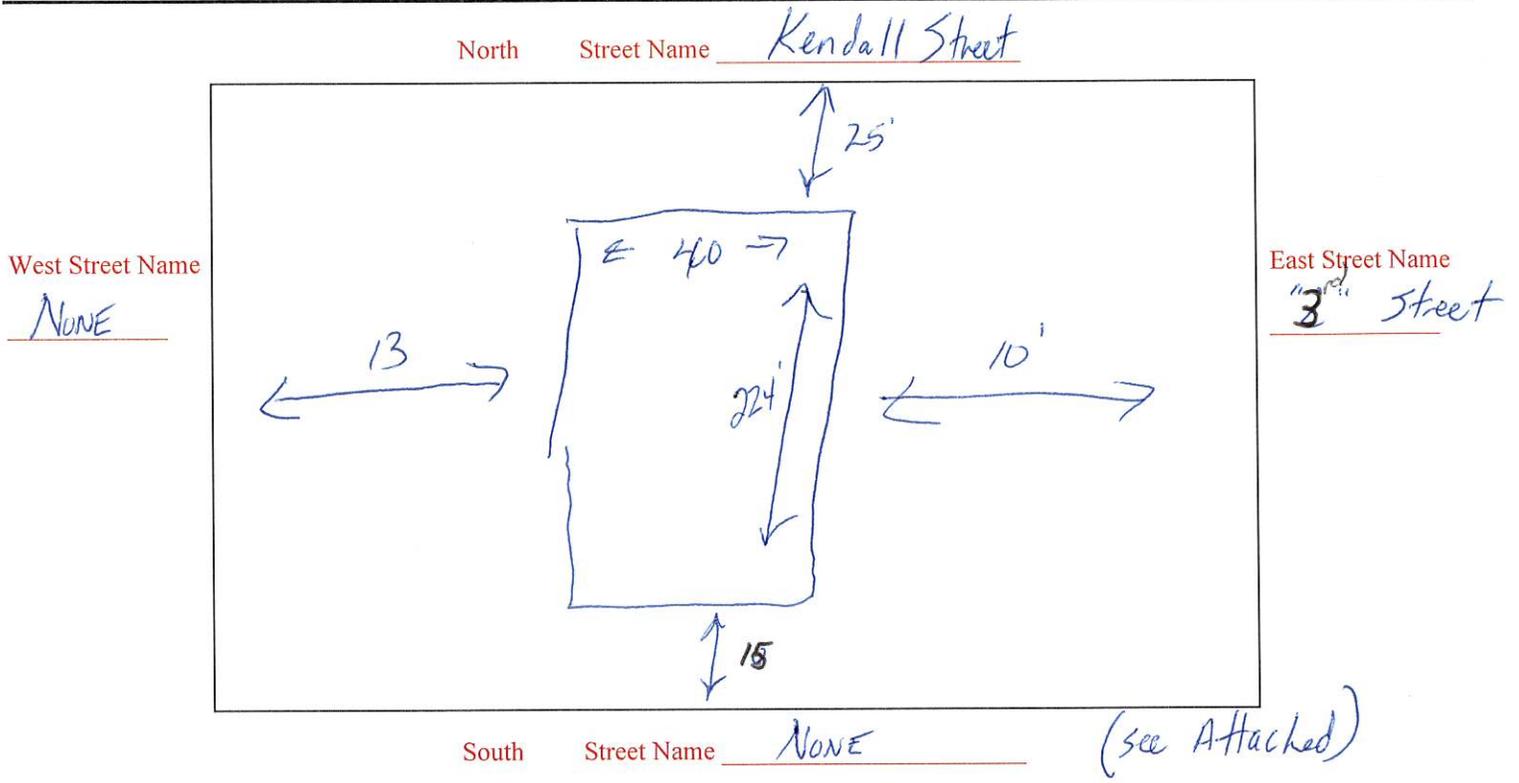
Is the proposed use permitted within this zoning district? YES _____ NO _____

Does the proposed use meet all the required setback distances? YES _____ NO _____

Is a conditional use required for the proposed use? YES _____ NO _____

Has a Conditional Use Permit been issued for this proposed use? YES _____ NO _____
If yes, when does it expire? _____

Site Plan Sketch:



Indicate, by drawing, the shape and dimensions of the land, shape and dimensions of all existing and proposed building and structures and the distances from the proposed building and structures to all lot lines (from road frontages, side and rear lot lines). Show the location of roads fronting the property. **MUST CALL DIGGERS HOTLINE @ 811 BEFORE DIGGING – CONSTRUCTION ON UTILITY EASEMENTS IS NOT PERMITTED. NEW CONSTRUCTION MUST CALL Electrical Inspector, Kim Farnstrom 308-728-7612**

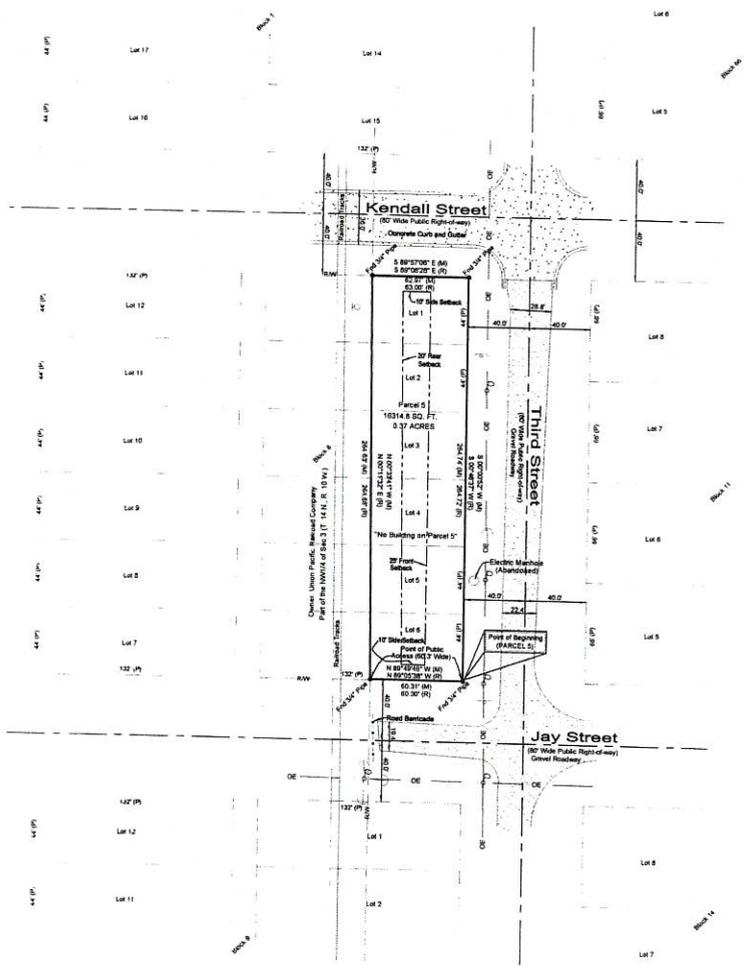
The above information is, to the best of my knowledge, true and accurate. It is understood and agreed that any error, misstatement or misrepresentation of fact, either with or without intention on my part, such as might, if known, cause a refusal of this application, or any alteration or change in plans made without the approval of the Zoning Administrator subsequent to the issuance of the Permit, shall constitute sufficient grounds for the revocation of such permit. This permit is valid for one (1) year from approval date and work must be started within the first 6 months.

The signature also indicates permission granted to the Zoning Administrator to inspect the construction site in which this permit is granted at any time until construction is completed and a Certificate of Occupancy is issued.

Signature of Applicant *Chen Mfy* Date 2-14-2025

For Office Use Only:
 Permit is Approved _____ Denied _____ Zoning Administrator Signature _____ Date _____
 Reasons for Denial: _____

2025-7



ZONING INFORMATION

ITEM	REQUIRED	OBSERVED	District	Light Industrial District (L-1)
Permitted Use	Agriculture	Agriculture	Source of Information:	St. Paul Clerks Office
Minimum Lot Area	5,000 Sqft	16,315 Sqft	Address:	704 6th Street, St. Paul, NE
Minimum Frontage	None	264.7'	Person Contacted:	Connie Jo Bock
Minimum Lot Width	50'	80.3'	Date Contacted:	2/28/2011
Maximum Building Coverage	None	0%	Phone / Fax Number:	308-854-4483
Minimum Setbacks	Front: 25'	None	Email address:	None
Side:	10'	None	Notes:	Parking Note - 1 space for every 2 persons employed or intended to be employed on such lot
Rear:	20'	None		
Maximum Building Height	45'	None		
Parking Regular	Note	0		
Parking Handicap	None	0		
Total	N/A	0		

FLOOD NOTE:
By graphic setting only, this property is in Zone X(1) "1" of the Flood Insurance Rate Map, Community Panel No. 3109320522, which bears an effective date of October 19, 2004 and is not in a Special Flood Hazard Area. As shown on the FEMA website (http://msc.fema.gov) by FIRMAets created on February 24, 2011, we have learned this community does currently participate in the program. No field surveying was performed to determine the zone and an elevation certificate may be needed to verify the determination. It is recommended that the Flood Insurance Management Agency, Zone "1" are Areas determined to be outside the 0.2 % annual chance floodplain.

STATEMENT OF ENCROACHMENTS

There are no encroachments that affect Parcel 4.

MISCELLANEOUS NOTES

- MN1 Some features shown on this plat may be shown out of scale for clarity.
- MN2 Dimensions on this plat are expressed in feet and decimal parts thereof unless otherwise noted. Bearings are referred to an assumed meridian and are used to denote angles only. Monuments were found at points where indicated.
- MN3 - Indicates iron pin or pipe found as noted.
- MN4 The basis of bearings for this survey is North 00°30'00" East on the West Line of Block 24 and Block 25, St. Paul Original Town, located in the 20th S Section 3, Township 14 North, Range 10 West, Howard County, Nebraska, as evidenced by monuments found.
- MN5 There are no marked parking spaces on the subject property.
- MN6 There are no observed evidences of earth moving work, building construction or building additions within recent months on subject property.
- MN7 There are no observed evidences of any changes in street right-of-way lines that are either completed or proposed, and no observed evidences of recent street or sidewalk construction or repairs on subject property.
- MN8 There are no observed evidences of the site use as a solid waste dump, sump, or sanitary landfill on subject property.
- MN9 The property has pedestrian and vehicular access to Third Street, Elm Street, Grand Street, Farnam Street, Howard Avenue, and Fourth Street which is a dedicated public roadway.
- MN10 There are no observed evidences of the location of cemeteries and burial grounds on subject property.

ITEMS CORRESPONDING TO SCHEDULE B

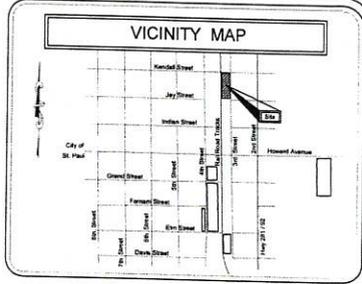
- 13 Subject to reservations of mineral interests as shown in Deed recorded in Book 88, Page 1487; Deed recorded in Book 89, Page 1474; Deed recorded in Book 89, Page 1221 and Patent recorded in Book F, Page 590. (This item affects the property and is blanked in nature over Parcel 1, Parcel 2, Parcel 3, Parcel 4, Parcel 5, Parcel 6 and Parcel 7, and therefore is not plotted hereon.)

UTILITY NOTES

- UN1 The location of Utilities shown hereon are from observed evidences of above ground appurtenances only. The surveyor was not provided with underground plans or surface ground markings to determine the location of any subsurface uses.
- UN2 From observed above ground appurtenances only as shown hereon, electric, storm sewer, and/or service is available for the subject property within the public road right of ways of Grand Street and Farnam Street.
- UN3 Before digging in this area, call "One Call" 1-800-331-5666 for field locations (request for ground markings) of underground utility lines.

LEGEND OF SYMBOLS & ABBREVIATIONS

⊙	Power Pole	N	North	EC	Encroachment
⊙	Light Pole	S	South	P.P.No.	Permanent Parcel Number
⊙	Electric Box	E	East	L.A.	Landscaped Area
⊙	Sanitary Sewer Manhole	W	West	R/W	Right-of-way
⊙	Storm Sewer Manhole	°	Degrees	Q	Centroid
⊙	Water Valve	'	Feet or Minutes	FO	Fiber Optic Riser
⊙	Storm Catch Basin	"	Inches or Seconds	AE	Air Condition Unit
⊙	Sign	Rec.	Record	MR	Rail Road Signal
⊙	Guy Wire	(M)	Measured	⊙	Grain Dryer Fan
⊙	Fire Hydrant	(R)	Recorded	⊙	Electric Riser
⊙	Bullard Post	(P)	Platted	⊙	Telephone Riser
⊙	Railroad Track Switch	Δ	Section Corner	⊙	Gas Pedestal Riser
		•	Found Corner		
		o	Set Corner		



RECORD LEGAL DESCRIPTION
Parcel 4:
A part of Lots One (1), Two (2), Three (3), Four (4), Five (5), Six (6), in Block Eight (8) of the Original Town of St. Paul, in the Northwest Quarter (NW 1/4) of Section Three (3), Township Fourteen (14) North, Range Ten (10) West of the 2nd P.M., in the City of St. Paul, Howard County, Nebraska and more particularly described as follows:
Beginning at the southeast corner of said Block Eight (8); thence N 89° 05' 30" W along and upon the south line of said Block Eight (8), a distance of Sixty and Three Tenths (63.3) feet; thence S 02° 11' 30" E a distance of Two Hundred Sixty Four and Sixty Eight Hundredths (264.68) feet to a point on the north line of said Block Eight (8); thence S 88° 08' 20" E along and upon the north line of said Block Eight (8), a distance of Sixty Three (63) feet to the northeast corner of said Block Eight (8); thence S 02° 40' 30" W along and upon the east line of said Block Eight (8), a distance of Two Hundred Sixty Four and Seventy Two Hundredths (264.72) feet to the point of beginning.

The above description parcel is the same land described in Fidelity National Title Insurance Company, Commitment Number 20105301 bearing an effective date of December 20, 2010, 8:00 a.m.

SURVEY DESCRIPTION

Parcel 4:
A part of Lot 1, Lot 2, Lot 3, Lot 4, Lot 5, and Lot 6 in Block 8 of the Original Town of St. Paul, in the Northwest Quarter (NW 1/4) of Section 3, Township 14 North, Range 10 West of the 2nd P.M., in the City of St. Paul, Howard County, Nebraska and more particularly described as follows:
Beginning at a found 3/4" pipe on the southwest corner of said Block 8; thence North 89° 05' 30" West on the South line of said Block 8 a distance of 63.31 feet to a found 3/4" pipe on the East Right-of-way line of the Union Pacific Railroad; thence North 02° 11' 30" West on said East Right-of-way line a distance of 264.62 feet to a found 3/4" pipe on the North line of said Block 8; thence South 88° 08' 20" East on said North line a distance of 62.97 feet to a found 3/4" pipe on the Northwest Corner of said Block 8; thence South 02° 40' 30" West on the East line of said Block 8 a distance of 264.74 feet to the point of beginning containing an area of 16314.6 square feet or 0.38 acre more or less.

The above description parcel is the same land described in Fidelity National Title Insurance Company, Commitment Number 20105301 bearing an effective date of December 20, 2010, 8:00 a.m.

Surveyor's Office: JAMES L. BLODGETT SURVEYORS
Date: OCT 28 2011
Sheet: 250
County: HANCOCK
ID#1-385

I hereby certify that this (and) surveying instrument was prepared by me and the related survey work was performed by me or under my direct personal supervision and that I am a duly Registered Land Surveyor under the laws of the State of Nebraska.

James L. Blodgett
License Number 810
Full Surveyor Certificate on Sheet 1 of 5



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ALTA/ACSM LAND TITLE SURVEY
PREPARED FOR:
GAVILON PROJECT
DATE: Revised March 23, 2011
NETWORK PROJECT NO. 201001787-020
SHEET 4 OF 5

Bock & Clark's National Surveyors Network
National Coordinators of ALTA/ACSM Land Title Surveys
537 North Cleveland, Marshall, Rockwell, Omaha, NE 68102
Phone: (800) SURVEYS (778-4397), Fax: (330) 865-8008 www.bockandclark.com

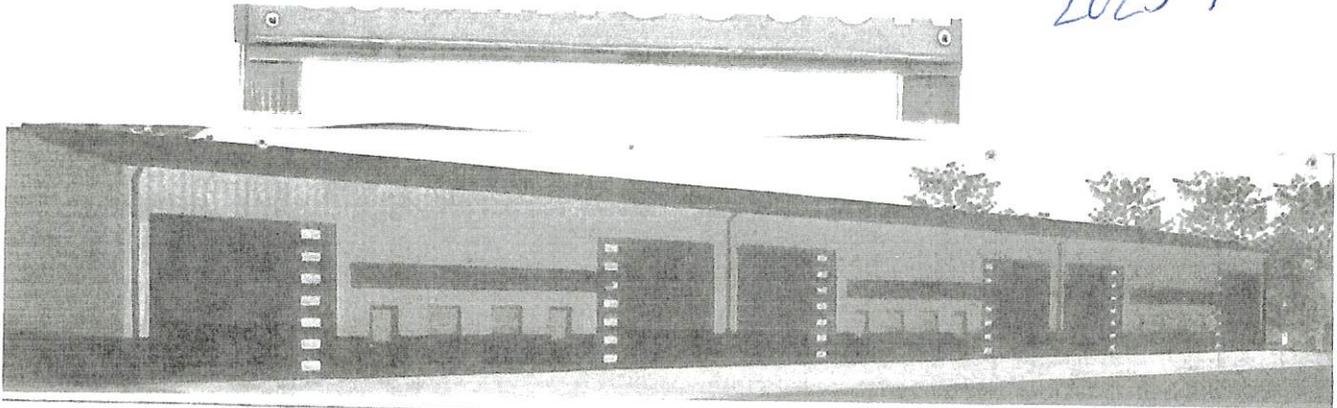


2025-7

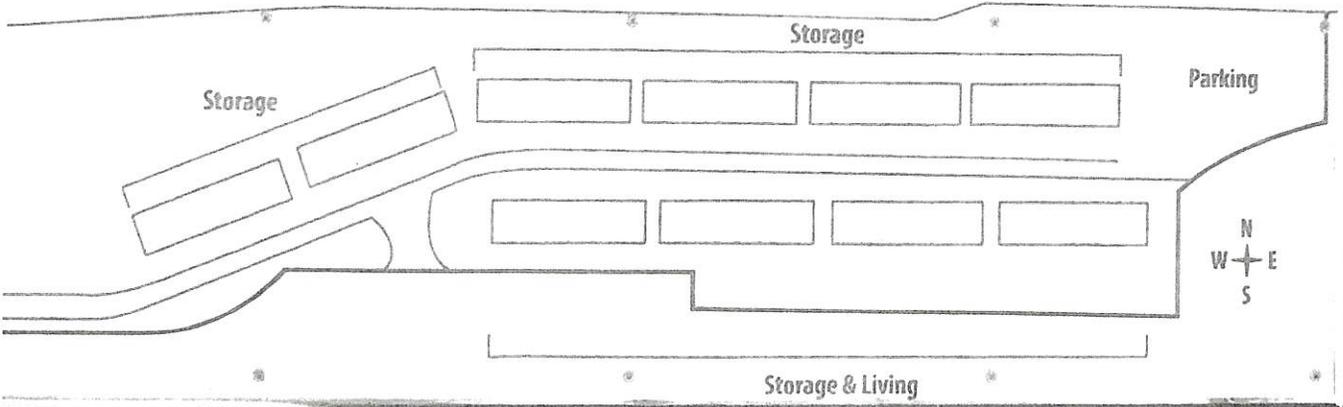
EXAMPLE A



2025-7



U.S. HIGHWAY 6



Sh
C

With

- 36' x
- 18' S
- Fully
- 18' x
- with
- Elec
- Con

FO
pt
©

EXAMPLE B

APPROVED

2025-7

City of St. Paul
Planning and Zoning Commission
August 29, 2016
7:00 p.m.

A meeting of the St. Paul Planning and Zoning Commission was convened in Open and Public session on the 29th of August, 2016 at 7:00 p.m. held at the City Hall, St. Paul, Nebraska.

Chairman Charles Schmid called the meeting to order at 7:00 p.m. with a statement regarding the Open Meeting Act, which is posted on the west wall of the room. Member roll call: Chairman Schmid, Wilber Medbery, Tim Wood, Planning & Zoning Administrator Matt Helzer & Acting Secretary Valerie Killinger. Absent: Arvilla Jacobs & Connie Becker. The agenda was delivered to the board members prior to the meeting and posted in four public places.

Medbery moved to approve the minutes of the July 25, 2016. Seconded by Wood. Motion carried with roll call vote of all ayes, nays none.

Chairman Schmid presented the following zoning permits for approval:

2016-43 Howard County Ministerial to build a 24'x50' Food Pantry building
Medbery moved to waive the fee for the nonprofit organization, seconded by Wood. Motion carried with roll call vote of all ayes, nays none.

2016-44 Secure Storage 100' x40' storage unit building

Discussion of the permits followed and how they fit on their particular lots. Both permits had representatives to discuss plans.

Wood moved to add permit #2016-45 Brad & Kim Jacobs to add a covered deck 12'x26'.
Seconded by Medbery, motion carried with roll call vote of all ayes, nays none.

Medbery moved to approve permits 2016-43, 2016-44 (using 2.2.04) & 2016-45, seconded by Wood. Motion carried with roll call vote of all ayes, nays none.

Zoning Administrator Matt Helzer discussed erecting a car port in the I-1 (Light Industrial) district. Acting Secretary Val Killinger was instructed to talk to JEO Consulting about the situation. Schmid moved to get advice from JEO Consulting regarding the recent court changes in Adult entertainment regulations & a retainer with them vs an hourly rate for assistance, seconded by Medbery. Motion carried with roll call vote of all ayes, nays none. Discussion regarding the upcoming Conference in Grand Island given by the P & Z State Board. Val Killinger is authorized to attend and will check with the two members whom were absent. Upon the information from JEO Consulting, we may need to have an extra meeting in September.

Chairman Schmid set the next meeting to be September Monday, 26, 2016 at 7:00 p.m.

The meeting was adjourned by Chairman Schmid at 8:15 p.m.

Jul,
Billis
to JEO
need to
be monitor
because of
cost.

2025-7

Application HC Value \$ 20,000
911 Diggers Hotline before designing

PERMIT NUMBER 2016-44
FEE \$ 40 - CASH CHECK# 12072

APPLICATION FOR A COMMERCIAL ZONING PERMIT

St. Paul, Nebraska: DIRECTIONS: Fill in the following information as accurately and completely as possible. This application is not
acceptable unless all requirement information is furnished.

Property Owner Secure Storage Contractor Lowell Poland
Address 335 Wallace Address 335 Wallace
City, State, Zip ST PAUL NE 68873 Phone Number 750-2161
Phone Number 750-2161 Cell Phone

Complete Legal Description of the Property Lot 14 Secure Storage to St Paul.
Address of Construction Site 3rd St. (will set) 302 Kendall
(If none, one must be registered with City of St. Paul or the 911 center.) In the Flood Plain NO?

Proposed Structure & Use Storage Dimension of Structure 40X 100 -15 FT SIDE WALLS
Distance from Front property line 20

Rear Property Line 10 Side Property Line 10 Second Side Line 10 Between other buildings (Min 10') YES

Is there a utility easement on either the back or side property? NO If so attach a copy of neighbor approval.

Approximately when will construction Start 3 Finish 7

To Whom Should the Improvements be assessed? SECURE STORAGE

Contact Utility Superintendent at (308) 754-4483 regarding Set-Back Inspection. Matt Helzer Date of visit 8-25-16
(Matt Helzer's signature)

Recommendations needed before approval: Property Pins are located

(One Mile radius outside city limits) If the structure is a residence on less than 10 acres indicate the date this property was platted as a separate parcel and the Name of the Lot Split or Subdivision,

For Office Use Only:

Is the proposed use permitted within this zoning district? X YES NO
Does the proposed use meet all the required setback distances? X YES NO
Is a conditional use required for the proposed use? YES X NO
Has a Conditional Use Permit been issued for this proposed use? YES X NO
If yes, when does it expire?

ARTICLE 2 – APPLICATION OF REGULATIONS

2025-7

2.1 GENERAL

In their interpretation and application, the provisions of this Ordinance, adopted for the promotion of the public health, safety, morals, or general welfare, shall be held to be minimum requirements, and shall apply uniformly to each class or kind of structure or land, except as hereinafter provided. Whenever the provisions of this Ordinance require a greater width or size of yards, courts or other open spaces, or require a lower height of buildings or structures, or require a greater percentage of a lot to be left unoccupied, or impose other higher standards than are required in any other Ordinances or regulations, the provisions of this Ordinance shall govern. Similarly, where the provisions of any other Ordinance require a greater width or size of yards, courts or other open spaces, or require a lower height of buildings or structures, or require a greater percentage of a lot to be left unoccupied, or impose other higher standards than are required by this Ordinance, the provisions of such other Ordinance or regulations shall govern.

2.2 SCOPE OF REGULATIONS

- 2.2.01 No building or structure shall hereafter be erected or altered to exceed the height or bulk, to accommodate or house a greater number of families, to occupy a greater percentage of lot area, to have narrower or smaller rear yards, front yards, side yards or other open spaces than herein required, or in any manner contrary to the provisions of this Ordinance.
- 2.2.02 No building, structure, or land shall hereafter be used or occupied, and no building or structure or part thereof shall hereafter be erected, constructed, reconstructed, replaced, moved or structurally altered except in conformity with all of the regulations herein specified for the zoning district in which it is located.
- 2.2.03 After a county road has been classified as a minimum maintenance road or is an unimproved road, no permits for residential dwellings, mobile home, or manufactured home shall be issued for construction on any property adjoining such classified road, unless by conditional use.
- 2.2.04 Any lot, portion of a lot, two or more contiguous lots, combination or contiguous lots or portions of contiguous lots under the same ownership or record on the effective date of this Ordinance shall, under this Ordinance, be considered a single lot and shall not be separated or subdivided in any way unless all lots created or remaining from such separation or subdivision shall meet or exceed the minimum lot area, lot width, and lot frontage requirements of the zoning district in which such lot, portion of a lot, two or more contiguous lots, combination of contiguous lots or portions of contiguous lots is/are located.

2.3 ZONING STANDARDS

No building, structure, or part thereof shall hereafter be erected or altered, unless a variance is granted:

- 2.3.01 To reduce any required yard setbacks
2.3.02 To exceed the height or bulk

Zoning Classification B-3 Value \$ 2398⁶⁹

PERMIT NUMBER 2025-8
FEE \$25.00 CASH CHECK# CC
paid 2/18/25

APPLICATION FOR A FENCE PERMIT

St. Paul, Nebraska: DIRECTIONS: Fill in the following information as accurately and completely as possible. This application is not acceptable unless all required information is furnished.

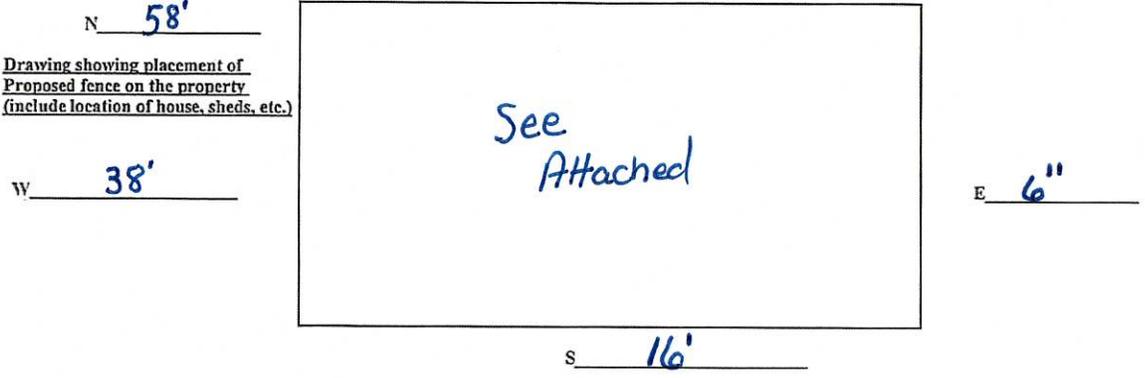
Property Owner Cassandra Christenson Contractor American Fence
Address 222 6th st Address 1605 N Shady Bend Ct
City, State, Zip St Paul NE 68873 Phone Number 308-395-0793
Phone Number 308-219-1037 Cell Phone 308-249-7854
Complete Legal Description of the Property W 1/2 of Lot 7+8 Block 108 OT St Paul
Address of Fence Site same Is Fence new or replacing a current fence? New
Size and Type (material) of Fence: 4' Gal chain link
Approximately when will the construction: Start Feb 24 Finish Feb 24

Contact Utility Superintendent at (308) 754-4483 regarding inspection Matt Helzer Date of visit 2-14-25
(Matt Helzer's signature)

Recommendations needed before approval: _____

MUST CALL DIGGERS HOTLINE @ 811 BEFORE DIGGING - CONSTRUCTION ON UTILITY EASEMENTS IS NOT PERMITTED. The above information is, to the best of my knowledge, true and accurate. It is understood and agreed that any error, misstatement or misrepresentation of fact, either with or without intention on my part, such as might, if known, cause a refusal of this application, or any alteration or change in plans made without the approval of the Zoning Administrator subsequent to the issuance of the Permit, shall constitute sufficient grounds for the revocation of such permit. This permit is valid for one (1) year from approval date. The signature also indicates permission granted to the Zoning Administrator to inspect the site in which this permit is granted at any time until completed.

Signature of Applicant [Signature] Date 2-7-25



For Office Use Only:
Permit is Approved _____ Denied _____ Date _____
Zoning Administrator
Reasons for Denial: _____

2025-8

AMERICAN FENCE COMPANY

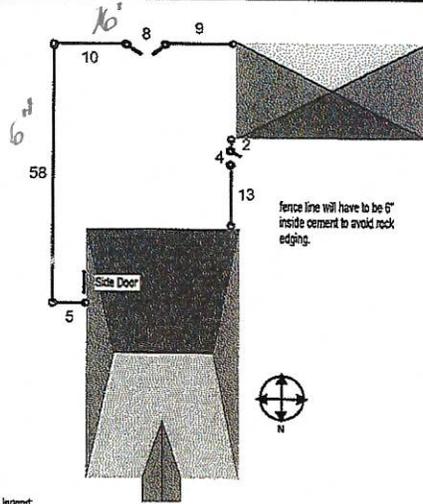
Omaha | Lincoln | Grand Island | Kearney | Sioux City | Des Moines | Cedar Rapids | Sioux Falls | Rapid City | Rochester
 AmeriFence: Kansas City | Madison | American Security & Gate : Fargo

ADDRESS **1605 N. Shady Bend Rd., Grand Island, NE 68802**
PH: (308) 395-0793

SALESMAN **Patrick Donovan**

DATE 2/6/2025 PHONE: (308) 219-1037 CELL _____
 CUSTOMER Casandra Christenson WORK _____
 PROJECT LOCATION: 222 6th St
 CITY St Paul STATE NE ZIP 68873
 BILLING ADDRESS: _____ AFC JOB# _____
 CITY _____ STATE _____ ZIP _____
 EMAIL CHRISTENSON.CAS@GMAIL.COM

PHONE 308-249-7856		
PGRAR25-0019-A		
STYLE DRAWING	HEIGHT	LENGTH
4' Galv	4.0'	97.0'
PROJECT TOTAL		



Fence style legend:
 This drawing is not to scale.
 Chainlink

GATE INFORMATION		
4' wide x 4' tall	<input checked="" type="checkbox"/> SS	<input type="checkbox"/> DD
8' wide x 4' tall	<input type="checkbox"/> SS	<input checked="" type="checkbox"/> DD
	<input type="checkbox"/> SS	<input type="checkbox"/> DD
	<input type="checkbox"/> SS	<input type="checkbox"/> DD

Fence Price \$2,398.69

OPTIONAL ITEMS BELOW ARE NOT INCLUDED IN FENCE PRICE

ESTIMATED SURVEY	\$0.00
SPRINKLER INS.	\$200.00
DIRT HAUL	\$144.00
OPTIONAL ITEMS SUB TOTAL	\$0.00

OFFICE USE ONLY	DATE	_____
	TYPE	_____
	AMOUNT	_____

DESCRIPTION OF CASANDRA CHRISTENSON PROJECT		QUOTE IS GOOD FOR 14 DAYS	
Fence 1: 97' of 4' Galvanized Chain link fence with bottom tension wire and top rail with one 4' wide x 4' tall single swing gate and one 8' wide x 4' tall double drive gate. Posts will be driven 3" into ground.			
On the back and or second page of this proposal are very important terms and conditions that we are requesting that you review. If you do not have these terms and conditions; do not execute and contact your sales rep. Upon your review, if you have any questions please contact us. After review and agreement, please sign below indicating that you have fully read, understood and agree with the terms and conditions stated above. <u>We impose a surcharge of 3% on all credit cards that is not greater than our cost of acceptance.</u>			
AFC REPRESENTATIVE: Patrick Donovan	DATE 2/6/2025	CUSTOMER SIGNATURE: <u>Casandra Christenson</u>	DATE 2/6/2025 02:48 PM
Please provide Billing Email Address:		christenson.cas@gmail.com	

2015-8

OFFICIAL SURVEY RECORD
 West Half of Lot 7 and Lot 8, Block 108, Original
 Town of St. Paul, Howard County, Nebraska

N-LINE



LAND SURVEYING

P.O. BOX 173
 Central City, NE 68826
 Phone: 308-946-3601

Survey Record Repository

RECEIVED

\$ 2.50

AUG 31 2017

HOWARD

1334-722

Legend

- = Corner Set 1/2" x 24" Rebar w/ Cap #610
- × = Calculated Point
- = Corner Found (See Description)
- (M) = Measured Distance
- (P) = Platted Distance

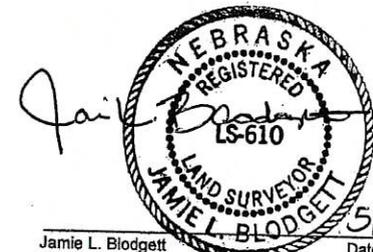
Scale: 1" = 60'



Legal Description:

West Half of Lot Seven (7) and Lot Eight (8), Block One Hundred - Eight (108), Original Town of St. Paul, Howard County, Nebraska.

I hereby certify that this land surveying document was prepared by me and the related survey work was performed by me or under my direct personal supervision and that I am a duly Registered Land Surveyor under the laws of the State of Nebraska.



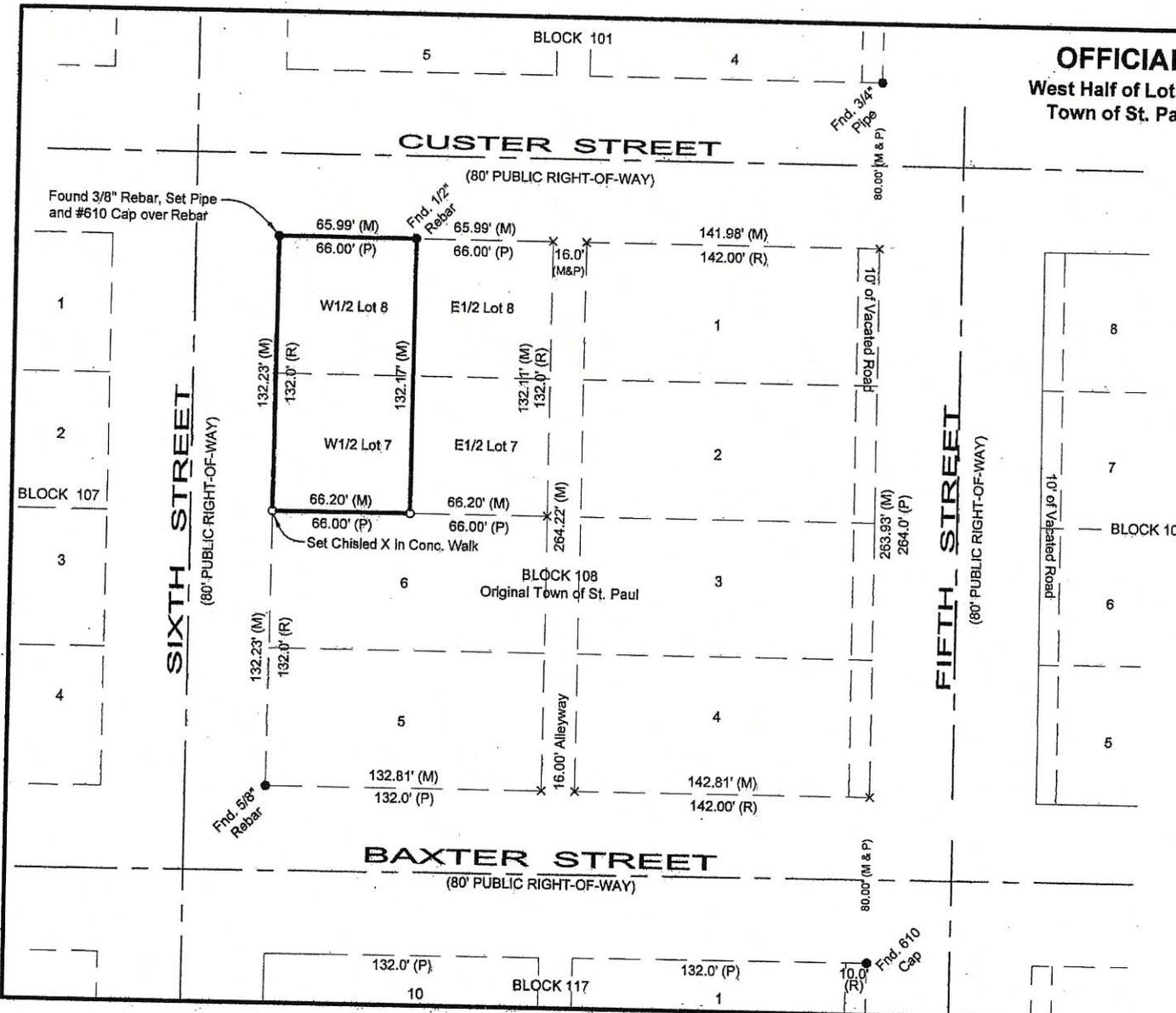
Jamie L. Blodgett
 License Number 610
 Pages covered by this seal 1

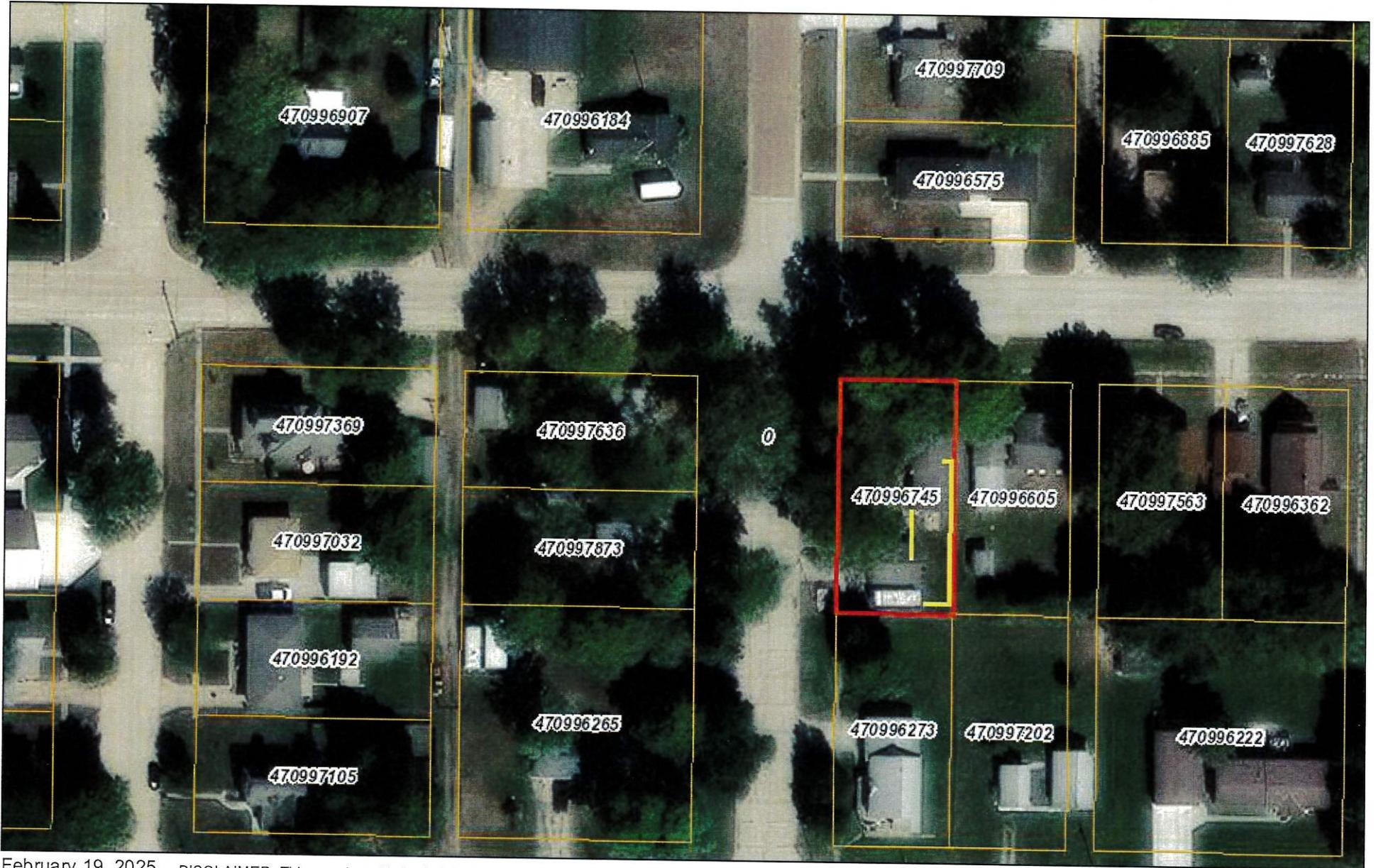
Date:

5/25/2017

DATE OF SURVEY 5/18/2017

JOB NUMBER 17082





February 19, 2025
14:34 PM

DISCLAIMER: This map is not intended for conveyances, nor is it a legal survey. The information is presented on a best-efforts basis, and should not be relied upon for making financial, survey, legal or other commitments.

 Parcels

