

Planning Commission Meeting

Monday, July 8, 2024 12:00 PM

City Hall  
704 6th Street  
St. Paul, NE 68873

## **Agenda**

1. A meeting of the St. Paul Planning Commission was convened in open and public session on the 8th day of July, 2024 at 12:00 p.m. (noon) held in the City Council Chambers, 704 6th Street, St. Paul, Nebraska.
2. Chairman Tyler Solko called the meeting to order at \_\_\_ p.m. with a statement regarding the Open Meeting Act, which is posted on the west wall of the City Council Chambers. Member roll call: Chairman Tyler Solko, Connie Becker, Arvilla Jacobs, Dan Scheer, and Tony Walch, along with Zoning Administrator Matt Helzer and Laura Berthelsen (minutes). Notice of the meeting was posted in four (4) public places. The agenda was sent to the Board members prior to the meeting and was posted in four (4) public places.
3. Discuss - Approve / Deny the June 10, 2024 minutes.
4. Ratify Administrative Approval of Zoning Permit:
  - (a) 2024-22 Dick's Repair - LED wall sign at 823 7th Street
  - (b) 2024-24 Ashley Sperling - fence at 918 Grand Street
5. Discuss - Approve / Deny Zoning Permit application:
  - (a) 2024-23 City of St. Paul - fire station at 1022 4th Street
6. Zoning Administrator Helzer Report
7. Public Comments
8. Adjournment

St. Paul Planning Commission  
June 10, 2024  
Meeting Minutes

A meeting of the St. Paul Planning Commission was convened in open and public session on the 10<sup>th</sup> day of June, 2024 in the Council Chambers at the City office, 704 6<sup>th</sup> Street, St. Paul, Nebraska.

Chairman Solko called the meeting to order at 12:05 p.m. with a statement regarding the Open Meetings Act; which is posted on the west wall of the City Council chambers. The notice of the meeting was published in the Phonograph Herald, a legal newspaper in Howard County, Nebraska. The agenda was sent to the Commission members prior to the meeting, and was posted in four (4) public places. Commission members present: Connie Becker, Arvilla Jacobs, Dan Scheer, Tyler Solko, and Tony Walch. Commission member absent: None. Also present Zoning Administrator Matt Helzer, Laura Berthelsen (minutes).

Commission member Scheer moved to approve the May 13, 2024 meeting minutes. Commission member Jacobs seconded the motion. Commission members Becker, Jacobs, Scheer, Solko, and Walch voted aye, nays none. Motion carried 5/0.

Chairman Solko opened the public hearing at 12:07 p.m. on the request by the St. Paul Development Corporation to vacate Middle Loup Subdivision except for the U.S. Highway 281 right-of-way dedicated with the Middle Loup Subdivision plat.

Brian Friedrichsen with Olsson and Zoning Administrator Matt Helzer spoke on the reasons for vacating Middle Loup Subdivision: right-of-way easements were relocated and the size of some of the lots changed. The outside boundary of the subdivision is essentially the same with any variances being the right-of-way easements which includes the Welcome sign location.

Having no further comments, the public hearing was closed at 12:10 p.m. Commission member Scheer moved to approve the vacation of Middle Loup Subdivision except for the U.S. Highway 281 right-of-way dedicated with the plat. Commission member Becker seconded the motion. Commission members Jacobs, Scheer, Solko, Walch, and Becker voted aye; nays none. Motion carried 5/0. A public hearing will also be held on June 17, 2024 at 6:30 p.m. before the City Council.

Chairman Solko opened the public hearing at 12:11 p.m. regarding the Final Plat of Middle Loup River Subdivision.

Commissioner Scheer questioned the cost of the lots in the subdivision, and raised concerns about taxpayers footing the bill for the subdivision improvements.

Cheri Klinginsmith, Flood Plain Administrator for Howard County, questioned whether an engineering study was conducted per FEMA regulations. She indicated that unless there is a Base Flood Elevation (BFE) on file that says that it is valid "until superceded", an engineering study would be required. Mr. Friedrichsen indicated that the BFE does not have an expiration date. The storm drainage from the subdivision will be diverted into a holding cell in the Outlot of the subdivision.

Upon no further comments, the public hearing was closed at 12:27 p.m. Commission member Walch moved to approve the Final Plat of Middle Loup River Subdivision. Commission member Scheer seconded the motion. Commission members Scheer, Solko, Walch, Becker, and Jacobs voted aye, nays none. Motion carried 5/0. A final public hearing on this matter will be held on June 17, 2024 at 6:30 p.m. before the City Council.

Chairman Solko opened the public hearing at 12:33 p.m. regarding the zoning designations for the lots contained in Middle Loup River Subdivision. These zoning designations are essentially the same as what is in place in the Middle Loup Subdivision. Upon no comment from the public, the public hearing was closed at 12:34 p.m. Commission member Becker moved to approve the zoning designations for the lots contained in Middle Loup River Subdivision. Commission member Jacobs seconded the motion. Commission members Solko, Walch, Becker, Jacobs, and Scheer voted aye; nays none. Motion carried 5/0. A final public hearing on this matter will be held on June 17, 2024 at 6:30 p.m. before the City Council.

Chairman Solko opened the public hearing at 12:34 p.m. pertaining to a request to amend the Redevelopment Plan to allow for tax increment financing (TIF) for Lots 1-20 in Middle Loup River Subdivision. Attorney Andrew Willis was present to explain the amendment to the Redevelopment Plan. The tax increment funding allows for the financing of the infrastructure over time based on the increase in assessed value. The owner of each lot would have a separate agreement with the St. Paul Development Corporation pertaining to the tax increment financing.

Commissioner Scheer again raised concerns about the taxpayers footing the bill for the subdivision improvements and the cost of the lots within the subdivision. In addition, questions were raised as to what would occur if a property owner went out of business before the 15-year time period for tax increment financing period ended, or what would happen if the lots didn't sell.

Mr. Willis and St. Paul Development Corporation Executive Director Parker Klingensmith reiterated the TIF process and how it provided incentives to potential property owners to bring businesses to a community. The business would ideally construct a building for the business, hire local employees and pay property and sales tax.

Upon no further comments, the public hearing was closed at 12:48 p.m. Commission member Scheer moved to deny the amendment to the Redevelopment Plan indicating that \$3.7 million could be left hanging on the taxpayers and he was concerned how it could affect other businesses. Commission Walch indicated he did not understand the issue enough to vote. After further discussion, Commissioner Scheer withdrew his motion.

Commission member Walch moved to amend the Redevelopment Plan to allow tax increment financing (TIF) for Lots 1-20 in Middle Loup River Subdivision. Commission member Solko seconded the motion. Commission members Walch, Becker, Jacobs, and Solko voted aye. Commission member Scheer voted nay. Motion carried 4/1. A public hearing will be held on June 17, 2024 at 6:30 p.m. before the City Council.

Commission member Becker left the meeting at 1:07 p.m.

Commission member Jacobs moved to ratify the administrative approval of the following zoning permits:

- (a) 2024-18 Jason Leth – fence at 1315 Grant Street

- (b) 2024-19 Rick & Suzy Peters – wood deck at 211 Grant Street
- (c) 2024-20 Heather Poss – vinyl fence at 419 8<sup>th</sup> Street
- (d) 2024-21 Casey Beck – deck at 1218 6<sup>th</sup> Street

Commission member Walch seconded the motion. Commission members Jacobs, Scheer, Solko, and Walch voted aye, nays none. Motion carried 4/0.

The meeting was adjourned at 1:12 p.m.

Sincerely,

Matthew T. Helzer  
Zoning Administrator

Tyler Solko  
Chairman

Laura Berthelsen  
Planning Secretary

Zoning Classification B-1

Value \$ 1500<sup>00</sup>

PERMIT NUMBER 2024-22  
FEE \$50.00 CASH CHECK# 1835

**APPLICATION FOR A SIGN PERMIT**

**St. Paul, Nebraska:** DIRECTIONS: Fill in the following information as accurately and completely as possible. This application is not acceptable unless all required information is furnished.

Business Owner/Applicant Dick's Repair Property Owner Kevin Woitaszewski

Address 823 7th Street Address 823 7th Street

City, State, Zip St. Paul, NE 68873 Phone Number \_\_\_\_\_

Phone Number 308-754-5388 Cell Phone 308-750-7349

Complete Legal Description of the Property Lots 1+2 Block 78 OT St. Paul

Address of Business 823 7th Street St. Paul, NE 68873

Size of Proposed Sign 20' x 3'

Type of Sign Wall sign LED

Sign Construction/Material Metal + Plastic

Where will sign be located on the property On front (East) side of building

Distance from Front East property line 31' Rear West property line 101'

Distance from Side North property line 46' Second Side South property line 22'

Is there a utility easement on either the back or side property? NO

Approximately when will construction Start 6-24-24 Finish 6-28-24

Contact Utility Superintendent at (308) 754-4483 regarding Inspection. Matt Helzer Date of visit 6-19-24  
(Matt Helzer's signature)

Recommendations needed before approval: \_\_\_\_\_

**For Office Use Only:**

Is the proposed use permitted within this zoning district? X YES \_\_\_\_\_ NO

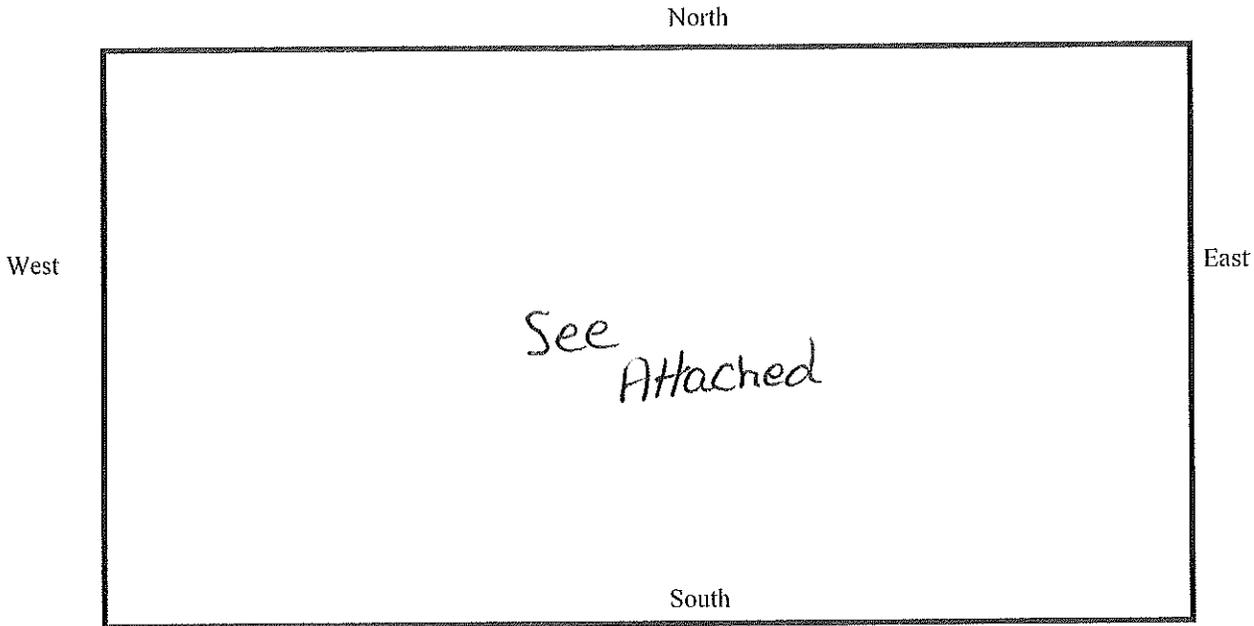
Does the proposed use meet all the required setback distances? X YES \_\_\_\_\_ NO

Is a conditional use required for the proposed use? \_\_\_\_\_ YES X NO

Has a Conditional Use Permit been issued for this proposed use? \_\_\_\_\_ YES X NO

If yes, when does it expire? \_\_\_\_\_

Site Plan Sketch:



Street Name: North boundary \_\_\_\_\_ South boundary \_\_\_\_\_  
 Street Name: West boundary \_\_\_\_\_ East boundary \_\_\_\_\_

Indicate, by drawing, the shape and dimensions of the land, shape and dimensions of all existing and proposed building and structures and the distances from the proposed building and structures to all lot lines (from road frontages, side and rear lot lines). Show the location of roads fronting the property. **MUST CALL DIGGERS HOTLINE @ 811 BEFORE DIGGING – CONSTRUCTION ON UTILITY EASEMENTS IS NOT PERMITTED.**

The above information is, to the best of my knowledge, true and accurate. It is understood and agreed that any error, misstatement or misrepresentation of fact, either with or without intention on my part, such as might, if known, cause a refusal of this application, or any alteration or change in plans made without the approval of the Zoning Administrator subsequent to the issuance of the Permit, shall constitute sufficient grounds for the revocation of such permit. This permit is valid for one (1) year from approval date and work must be started within the first 6 months.

The signature also indicates permission granted to the Zoning Administrator to inspect the construction site in which this permit is granted at any time until construction is completed.

Signature of Business Owner [Signature] Date 6-19-24

Signature of Property Owner [Signature] Date 6-19-24

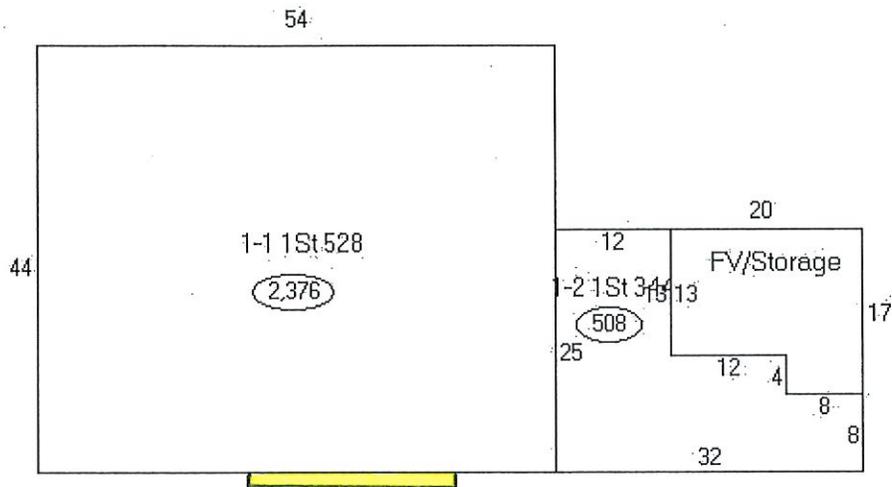
For Office Use Only:

Permit is Approved  Denied  Matthew T Helzer Date 6/19/24  
 Zoning Administrator

Reasons for Denial: \_\_\_\_\_  
 \_\_\_\_\_  
Admin Approval  
per § 11.1.1

2024-22

Parcel #: 470997261



Indian Street

7th Street

-- Denotes common wall.

2024-22



Zoning Classification R2 Value \$ 3,000.<sup>00</sup>

PERMIT NUMBER 2024-24  
FEE \$25.00 CASH  CHECK# \_\_\_\_\_ CC \_\_\_\_\_  
*pd 7/1/24*

**APPLICATION FOR A FENCE PERMIT**

**St. Paul, Nebraska:** DIRECTIONS: Fill in the following information as accurately and completely as possible. This application is not acceptable unless all required information is furnished.

Property Owner Ashley Sporing Contractor SELF

Address 918 Grand Street Address \_\_\_\_\_

City, State, Zip St. Paul NE 68873 Phone Number \_\_\_\_\_

Phone Number 308-233-1915 Cell Phone \_\_\_\_\_

Complete Legal Description of the Property Parcel # 471010797 and 471010886

Address of Fence Site same Is Fence new or replacing a current fence? NEW

Size and Type (material) of Fence 6' vinyl fence 250 sqft

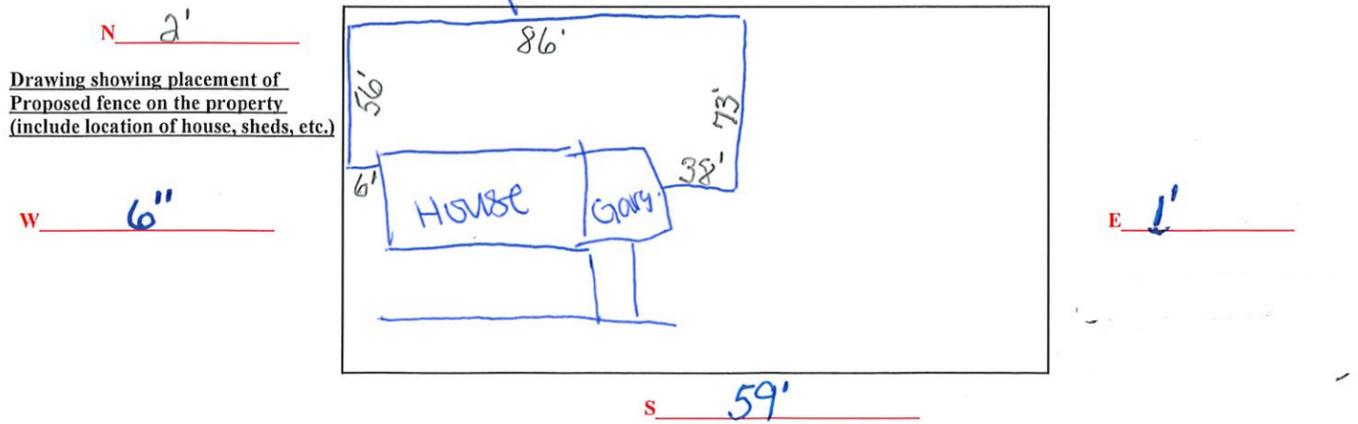
Approximately when will the construction: Start 7/4/24 Finish 7/10/24

Contact Utility Superintendent at (308) 754-4483 regarding Inspection Matt Helzer Date of visit 7-3-24  
*(Matt Helzer's signature)*

Recommendations needed before approval: \_\_\_\_\_

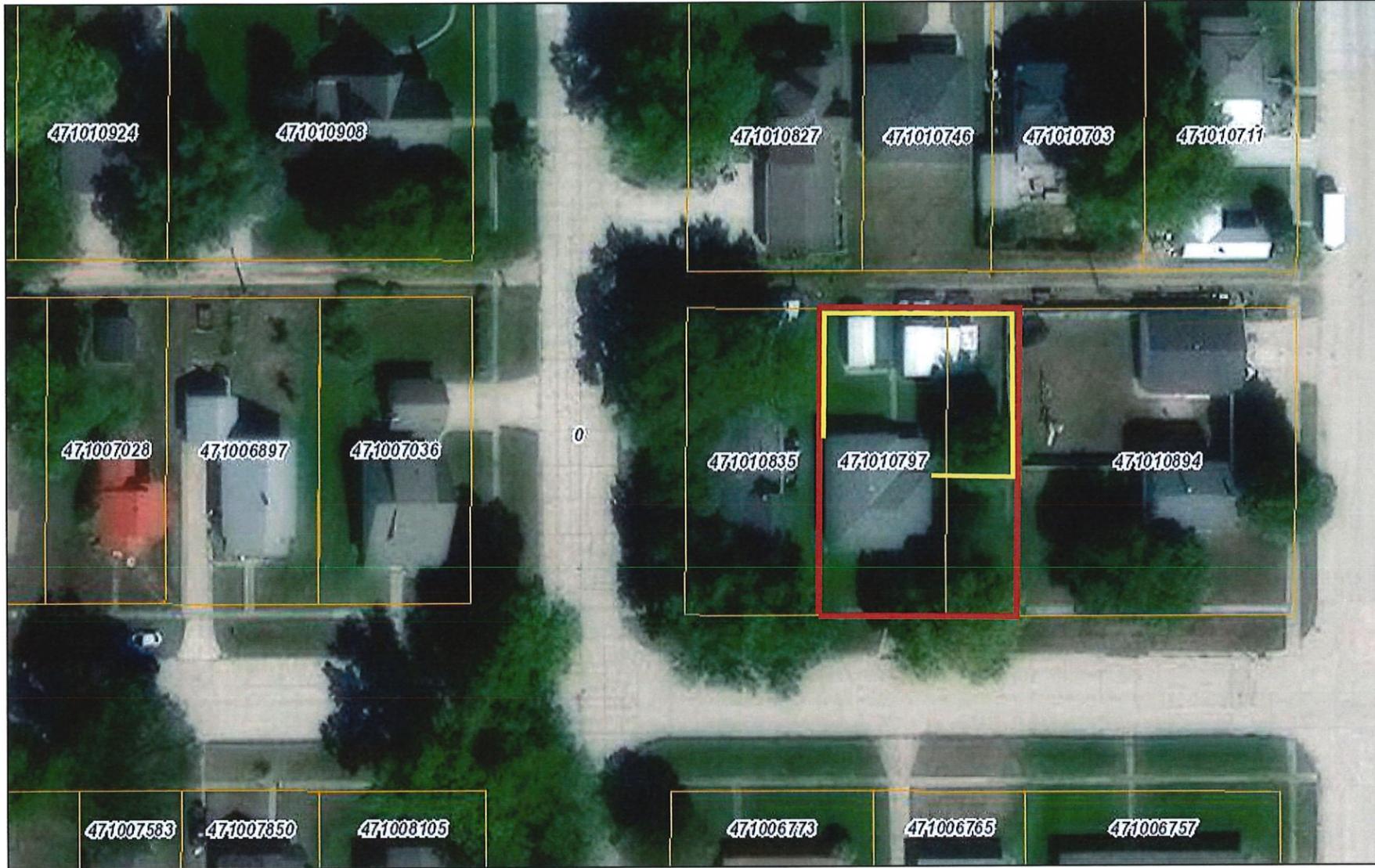
**MUST CALL DIGGERS HOTLINE @ 811 BEFORE DIGGING – CONSTRUCTION ON UTILITY EASEMENTS IS NOT PERMITTED. The above information is, to the best of my knowledge, true and accurate. It is understood and agreed that any error, misstatement or misrepresentation of fact, either with or without intention on my part, such as might, if known, cause a refusal of this application, or any alteration or change in plans made without the approval of the Zoning Administrator subsequent to the issuance of the Permit, shall constitute sufficient grounds for the revocation of such permit. This permit is valid for one (1) year from approval date. The signature also indicates permission granted to the Zoning Administrator to inspect the site in which this permit is granted at any time until completed.**

Signature of Applicant Ashley Sporing Date 7/1/24



**For Office Use Only:**  
Permit is Approved \_\_\_\_\_ Denied \_\_\_\_\_ Date \_\_\_\_\_  
Zoning Administrator

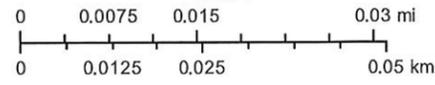
Reasons for Denial: \_\_\_\_\_



July 2, 2024

DISCLAIMER: This map is not intended for conveyances, nor is it a legal survey. The information is presented on a best-efforts basis, and should not be relied upon for making financial, survey, legal or other commitments.

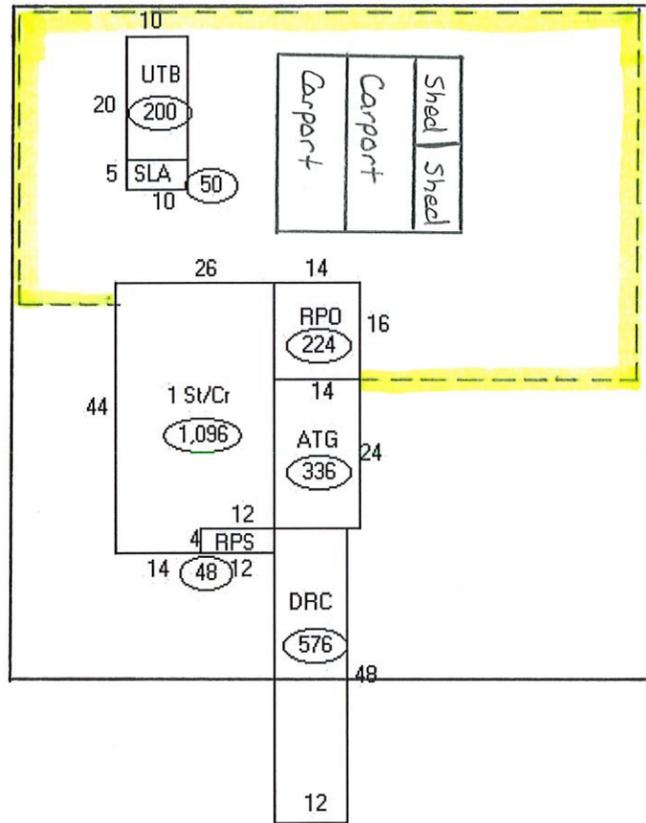
1:951



Parcels

2024-24

Alley



Grand Street

2024-24

OFFICIAL SURVEY RECORD  
ST. PAUL, HOWARD CO., NEBR.

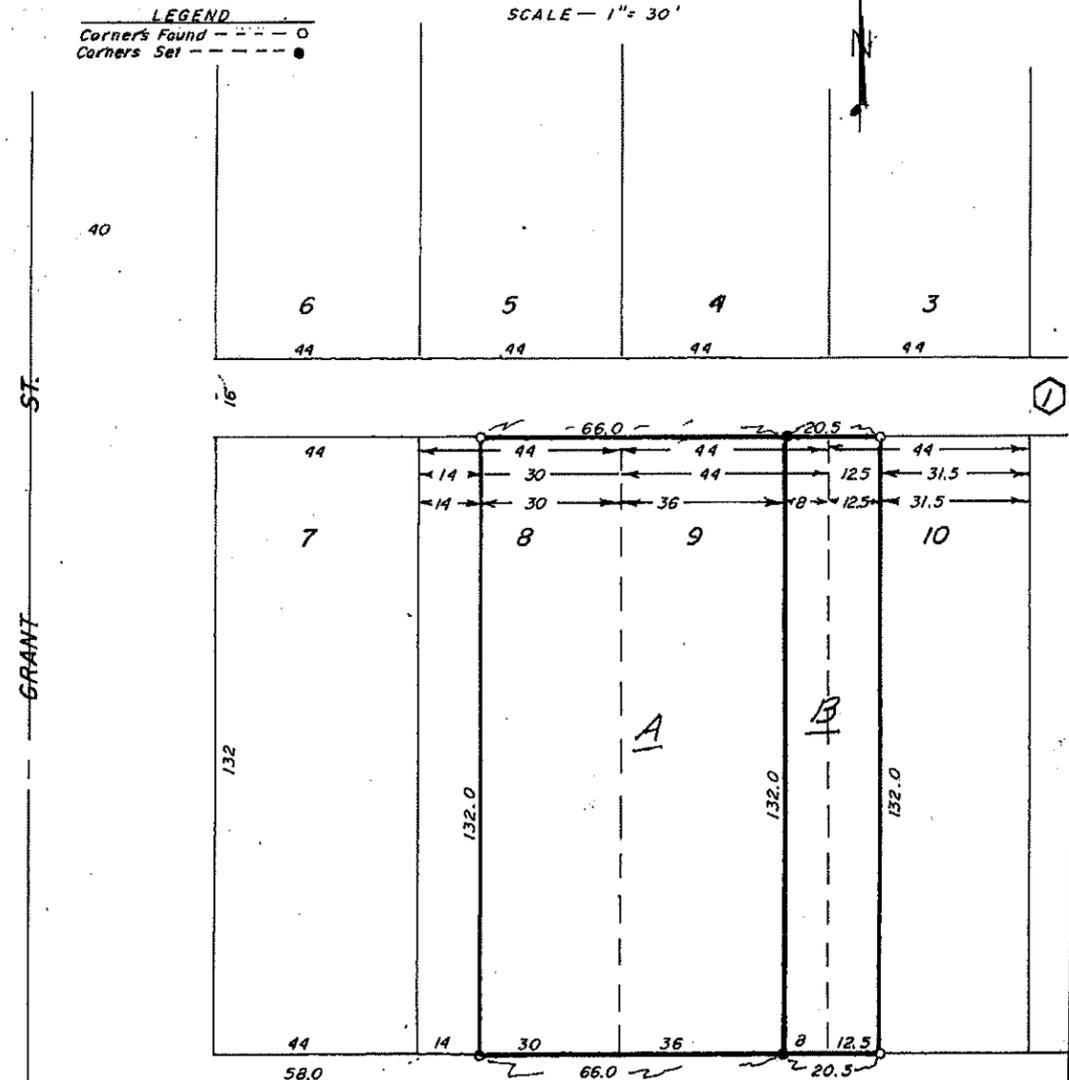
AL DEARMONT *Sheet 1 of 1 Sheets*  
ENGINEERING & SURVEYING  
ST. PAUL, NEBR. 68873

**A SURVEY OF** The East 30 feet of Lot 8, All of Lot 9, and All of Lot 10 Except the East 31.5 feet, all in Block 1, Military Add to St. Paul, Howard Co. Nebr.

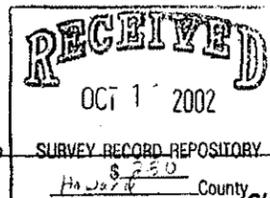
Devided into Part "A" The East 30 feet of Lot 8, and the West 36 feet of Lot 9, Block 1 Military Add. to St. Paul, Howard Co. Nebr.

and Part "B" All of Lot 9 Except the West 36 feet, and All of Lot 10 Except the East 31.5 feet, All in Block 1, Military Add to St. Paul, Howard Co. Nebr.

DATE SURVEYED JULY, 26 2002 SURVEYOR'S JOB NO. 02-1501



LAND SURVEYOR'S SEAL



GRAND ST.

586-413

Signed This 26 Day of July 2002

*A.W. Dearmont*  
A.W. DEARMONT E1489 L.S. 208

JOB NO. 02-1501

Zoning Classification HC

Value \$ 2,000,000

PERMIT NUMBER 2024-23

FEE \$100.00

CASH \_\_\_\_\_

CHECK# \_\_\_\_\_

Waived

**APPLICATION FOR A COMMERCIAL ZONING PERMIT**

St. Paul, Nebraska: DIRECTIONS: Fill in the following information as accurately and completely as possible. This application is not acceptable unless all requirement information is furnished.

Property Owner City of St. Paul, Nebraska Contractor Bierman Contracting, Inc.

Address 704 6th Street Address PO Box 1887  
2560 E 29th Avenue, Columbus, NE 68601

City, State, Zip St. Paul, NE 68873 Phone Number 402-564-4749

Phone Number 308-754-4483 Cell Phone 402-615-1146

Complete Legal Description of the Property Parcel ID: 471002220  
T.14, R.10W., Section 3 Part of lots 7,8,9,10,11,&12 Block 8 OTST Paul

Address of Construction Site 1022 4th Street, St. Paul, NE 68873

(If none, one must be registered with City of St. Paul or the 911 center.) *Is property in the Flood Plain?* No

Proposed Structure & Use Fire Station 6 Bays Dimension of Structure 75'-0" x 149'-8"

Plans Submitted to Fire Marshall Office Yes, submitted by JEO

Distance from Front property line North 25' Distance from Rear Property Line East 34'

Distance from Side Property Line West 20' Distance from Second Side Property Line South 90'

Is there a utility easement on either the back or side property? No If so attach a copy of neighbor approval.

Approximately when will construction Start July 15, 2024 Finish May 30, 2025

Contact Utility Superintendent at (308) 754-4483 regarding Set-Back Inspection. Matt Helzer Date of visit 7-1-24  
*(Matt Helzer's signature)*

Recommendations needed before approval: \_\_\_\_\_

(One Mile radius outside city limits) If the structure is a residence on less than 10 acres indicate the date this property was platted as a separate parcel \_\_\_\_\_ and the Name of the Lot Split or Subdivision \_\_\_\_\_

**For Office Use Only:**

Is the proposed use permitted within this zoning district? YES  NO \_\_\_\_\_

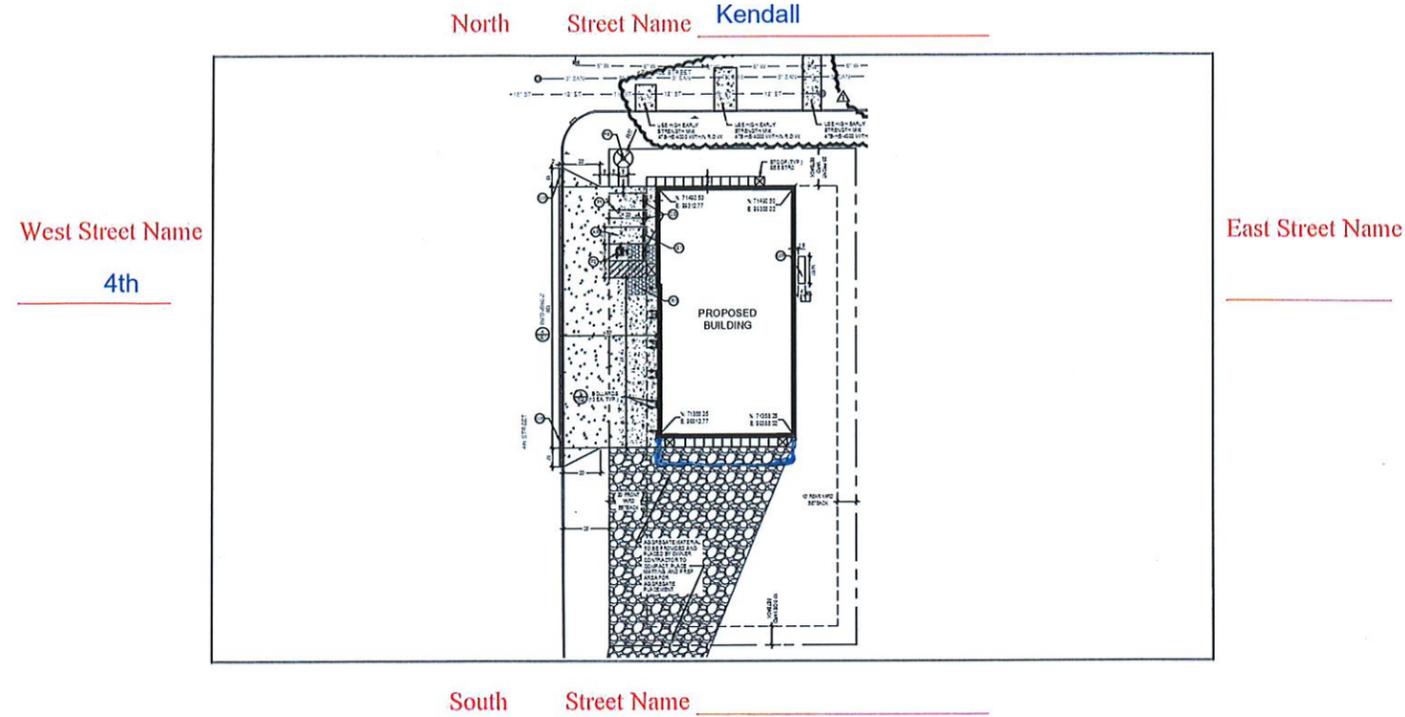
Does the proposed use meet all the required setback distances? YES  NO \_\_\_\_\_

Is a conditional use required for the proposed use? YES \_\_\_\_\_ NO

Has a Conditional Use Permit been issued for this proposed use? YES \_\_\_\_\_ NO   
If yes, when does it expire? \_\_\_\_\_

PERMIT NUMBER 2024-23

Site Plan Sketch: See attached site plan provided by JEO / Below is a snap shot of the site plan for reference.



Indicate, by drawing, the shape and dimensions of the land, shape and dimensions of all existing and proposed building and structures and the distances from the proposed building and structures to all lot lines (from road frontages, side and rear lot lines). Show the location of roads fronting the property. **MUST CALL DIGGERS HOTLINE @ 811 BEFORE DIGGING – CONSTRUCTION ON UTILITY EASEMENTS IS NOT PERMITTED. NEW CONSTRUCTION MUST CALL Electrical Inspector, Kim Farnstrom 308-728-7612**

The above information is, to the best of my knowledge, true and accurate. It is understood and agreed that any error, misstatement or misrepresentation of fact, either with or without intention on my part, such as might, if known, cause a refusal of this application, or any alteration or change in plans made without the approval of the Zoning Administrator subsequent to the issuance of the Permit, shall constitute sufficient grounds for the revocation of such permit. This permit is valid for one (1) year from approval date and work must be started within the first 6 months.

**The signature also indicates permission granted to the Zoning Administrator to inspect the construction site in which this permit is granted at any time until construction is completed and a Certificate of Occupancy is issued.**

Signature of Applicant Matt Heavin Date 6/28/2024

**For Office Use Only:**

Permit is Approved \_\_\_\_\_ Denied \_\_\_\_\_ Date \_\_\_\_\_

Zoning Administrator Signature

Reasons for Denial: \_\_\_\_\_

2024-23

SITE LAYOUT LEGEND

- PROPOSED 8" CONCRETE (DOT 47B-400PSI OR NDOT 47B-HE-400PSI)
- PROPOSED 5" SIDEWALK (NDOT 47B-400PSI)
- PROPOSED 4" FABRIC (NO. AGGREGATE PROVIDED BY OWNER) MRAFI 140N FABRIC (TO BE PROVIDED BY CONTRACTOR)
- 6" COMPACTED CRUSHED ROCK BELOW PAVING
- SETBACK LINE
- 6" CONCRETE INTEGRAL CURB

PAVING NOTES

1. ALL DIMENSIONS ARE TO EDGE OF CONCRETE OR PROPERTY LINE UNLESS NOTED OTHERWISE.
2. CONCRETE PAVEMENT JOINTS SHALL NOT BE LESS THAN 12" AND SHALL BE SQUARE OR NEARLY SO. THE LENGTH OF THE PANEL SHALL NOT EXCEED 15 TIMES THE WIDTH.
3. CONTRACTOR TO PLACE EXPANSION MATERIAL WHERE CONCRETE ABUTS BUILDING.
4. WHERE APPLICABLE, JOINTS SHALL MATCH EXISTING JOINT PATTERN.
5. ALL JOINTS SHALL BE SAWN AND SEALED WITH HOT POLYURETHANE TO WITHIN 1/4" OF CONCRETE SURFACE.
6. SIDEWALK JOINT SHALL BE SQUARE AND LARGER THAN PAVEMENT PANELS.
7. ALL SIDEWALKS SHALL BE CONSTRUCTED WITH 1% MAX CROSS SLOPE AND 0.5% MAX RUNNING SLOPE UNLESS PARALLEL AND MATCHING EXISTING STREET GRADE.
8. SUBGRADE SHALL BE MOIST PRIOR TO THE POURING OF CONCRETE.
9. ALL REBAR SHALL BE EPOXY COATED.
10. THE BARS SHALL BE UTILIZED AT ALL LOCATIONS WHERE PROPOSED CONCRETE IS TYPED INTO EXISTING CONCRETE. THE BARS SHALL BE #4 IN LENGTH AND PLACED AT 30" O.C. AT 90 DEGREE TO THE SLAB.
11. EXPANSION JOINT SHALL BE INSTALLED WHERE DRIVEWAYS, SIDEWALKS ABUT AND SEALED STREET PAVEMENT SEALED WITH HOT POLYURETHANE.
12. ALL CONCRETE SHALL BE FINISHED WITH A MET BURR OR CANVAS DRA.
13. ALL CONCRETE PAVEMENT SHALL HAVE MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI WHEN TESTED IN ACCORDANCE WITH ASTM C873. CONCRETE MAX SHALL BE TYPE 47B TRADITIONAL MAX PER NDOT STANDARD SPECIFICATIONS. CEMENT SHALL BE TYPE I/F. CONCRETE MIX DESIGN SHALL HAVE A MINIMUM OF 5% FREE WATER. CONTRACTOR SHALL HAVE FIELD TESTS CONDUCTED AND 3 CONCRETE CYLINDERS COLLECTED BY A QUALIFIED TESTING LAB FOR EVERY 100 CUBIC YARDS OR FOR EACH DAY POUR. UNLESS APPROVED OTHERWISE BY OWNER, CONTRACTOR SHALL PROVIDE CONCRETE FIELD COMPRESSIVE TEST RESULTS TO THE OWNER. AIR CONTENT SHALL BE BETWEEN 5% AND 8% MAX WATER/CEMENT RATIO SHALL BE 45%.
14. PAVEMENT MARKINGS SHALL BE YELLOW PERMANENT PAVEMENT MARKING PAINT. APPLY PER MANUFACTURER'S RECOMMENDATIONS.
15. PERMANENT PAVEMENT MARKING PAINT SHALL BE AS PER NDOT APPROVED PRODUCTS LIST AND NDOT SECTION 403.02 OR APPROVED EQUIVALENT.
16. HAND CAP MARKINGS SHALL BE PER MUTCD STANDARDS.
17. CURB RAMP TO COMPLY WITH NDOT STANDARD PLAN NO. 303, LATEST REVISION.

GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL SITE CONDITIONS.
2. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF MUTCD.
3. CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES FOR ANY RELOCATION OF EXISTING UTILITIES.

SITE IMPROVEMENTS LEGEND

- ADA ACCESSIBLE PAINT STRIPPINGS
- 6" BICE YELLOW PAINT STRIPPINGS
- DIAGONAL 6" BICE YELLOW PAINT STRIPPINGS AT 2 O.C.
- ADA
- CURB STOP
- WRAP CURB DOWN EXISTING 2" IN 12"
- 25 FLAG POLE
- CONCRETE MECHANICAL PAD
- 6" COMPACTED CRUSHED ROCK TO AROUND STRUCTURAL STOOP BELOW PAVING. TYPICAL @ PAVING. AVOID AS MUCH AS POSSIBLE THE CRUSHED ROCK IS JUST AROUND THE STRUCTURAL STOOP AS SHOWN ON THE DRAWINGS.



ST. PAUL FIRE AND RESCUE  
NEW FIRE STATION  
4TH & KENDALL STREET  
ST. PAUL, NEBRASKA 68873



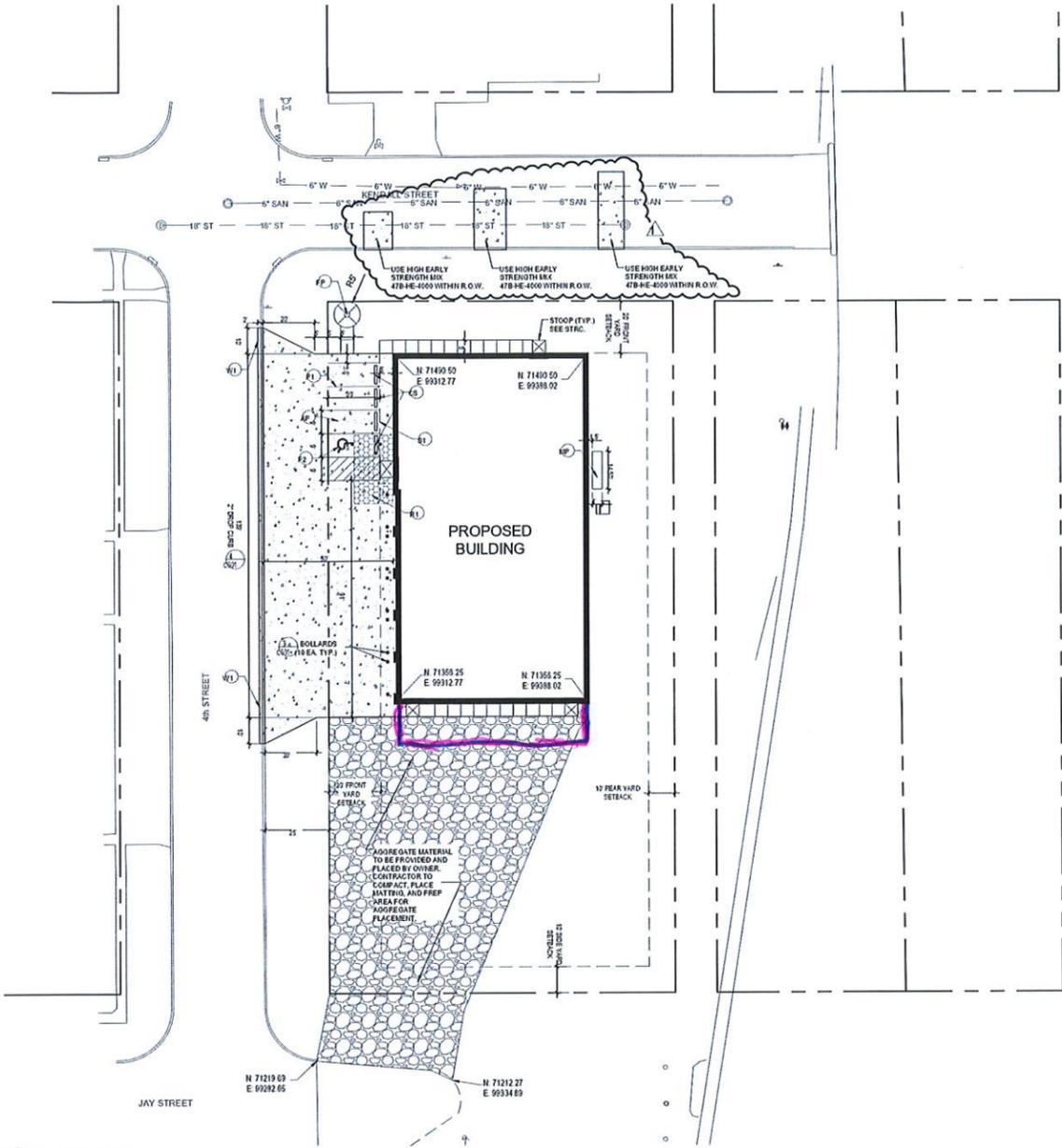
PROJECT: 04420224 - ADDITION

DATE: 08/20/24  
PROJECT: 04420224  
DRAWN BY: JAC  
CHECKED BY: JAC

SITE LAYOUT PLAN



Sheet C201

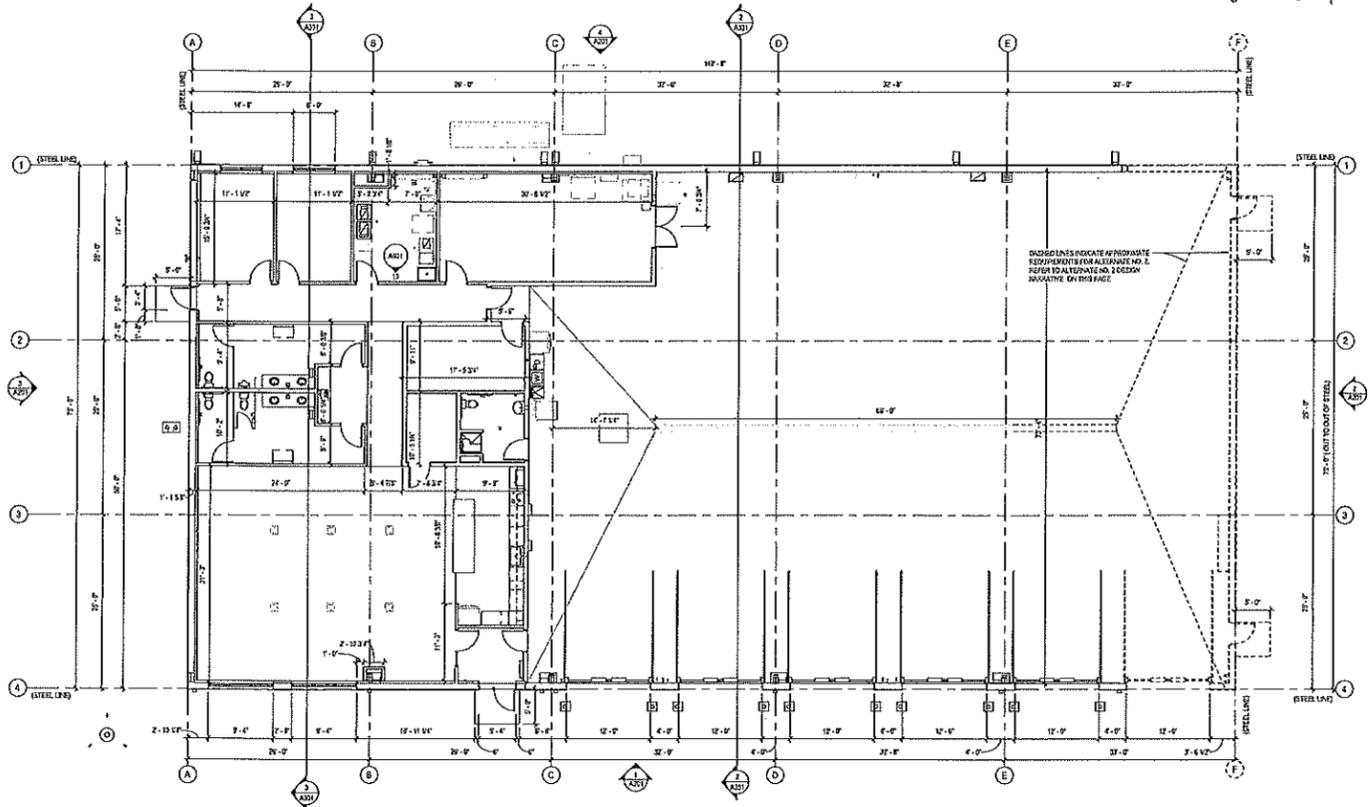


SITE LAYOUT PLAN

PROJECT: 04420224 - ADDITION  
 DATE: 08/20/24  
 PROJECT: 04420224  
 DRAWN BY: JAC  
 CHECKED BY: JAC



2024-23



FLOOR PLAN - ALTERNATE NO. 2  
1/8" = 1'-0"

- ALTERNATE NO. 2 SECTION INFORMATION:**
- IF THE ALTERNATE IS ACCEPTED, THE WALL WORK WITH THE GENERAL CONTRACTOR TO GET THE MOST ACCURATE DIMENSIONS AND REGISTER AND PRODUCE THESE (SEE PAGE FOR CONSTRUCTION).
- ONE APPARATUS BAY WILL BE ADDED TO THE SOUTH SIDE OF THE BUILDING. HEIGHT IS 10 FEET LONGER. GRIDLINE F WILL NEED TO BE MOVED TO CLEAR A NEW DISTANCE OF 32 FEET FROM GRIDLINE E AND F. THE NEW OVERALL BUILDING LENGTH FROM GRIDLINE A - F WILL BE 130'-0".
- THIS ALTERNATE WILL ALSO INCLUDE:
- EXTENDING THE CURB WALL ALONG GRIDLINE Y AND Z
  - EXTENDING THE FLOOR SLAB
  - EXTENDING THE ROOF PANEL TO 65'-0"
  - LENGTHENING ALL WALL PANELS, UPPER PANELS, ROOF PANELS, GROUND GUARDS AND OUTLETS TO MATCH THE NEW SIZE.
  - ADDING ONE OVERHEAD GARAGE DOOR OPERATOR.
  - EXTENDING THE FOOTING/STIFF FOUNDATION ACCORDINGLY.
- MECHANICAL**
- SHEET M101 - FLOOR PLAN - PLUMBING**
    - ADD COMPRESSED AIR PIPING FOR COMPRESSOR AIR GROUP TO NEW BAY AND ADDITIONAL VALVE AND GAUGED COMPRESSED AIR PIPING FOR FUTURE CONNECTION.
    - ADD DOMESTIC COLD WATER GROUP TO NEW BAY FOR HOSE REEL, WALL MOUNTED, AND TRUCK FILL CONNECTION.
    - INCREASE LENGTH OF TRUCK DRAIN IN APPARATUS BAY.
    - INCREASE LENGTH OF DOMESTIC WATER PIPES TO ACCOMMODATE HOSE REEL AND WALL MOUNTED DRIP.
    - INCREASE LENGTH OF GAS PIPING TO ACCOMMODATE NEW RADIANT HEAT BURNER LOCATIONS.
  - SHEET R001 - FLOOR PLAN - HVAC**
    - INCREASE AMOUNT OF LEAKAGE TRAYS OF 18" BY 18" COPR AND 6" BY 6" COPR.
    - INCREASE SIZE OF CONCRETE AND BRICK COILS TO 12" TO ACCOMMODATE ADDITIONAL 100 COPR.
    - INCREASE SIZE OF APPARATUS BAY OUTSIDE AIR LOUVERS TO ACCOMMODATE ADDITIONAL 100 COPR.
    - INCREASE LENGTH OF FLEXIBLE HOSE PIPING TO ACCOMMODATE NEW DUCT.
- ELECTRICAL**
- SHEET E101 - FLOOR PLAN - LIGHTING AND FIRE ALARMS**
    - ADD TO THE MAIN BY LIGHTING FIXTURES FOR APPARATUS BAY EXTENDED SOUTH WALL. CONNECT TO CIRCUIT 41 AND CONTROLS.
    - ADD 10 LED LIGHT FIXTURES ABOVE OVERHEAD GARAGE DOOR. CONNECT TO CIRCUIT 41 AND CONTROLS.
    - MOVE 20' OF EXIT LIGHTING FIXTURES TO BE OVER EXTENDED SOUTH EXIT DOORS.
    - MOVE 20' OF EXIT LIGHTING FIXTURES TO BE OVER EXTENDED SOUTH EXIT DOORS. CONNECT TO CIRCUIT 41 AND CONTROLS.
    - MOVE 10' OF EXIT LIGHTING FIXTURES TO BE OVER EXTENDED SOUTH EXIT DOORS. CONNECT TO CIRCUIT 41 AND CONTROLS.
    - MOVE 10' OF EXIT LIGHTING FIXTURES TO BE OVER EXTENDED SOUTH EXIT DOORS. CONNECT TO CIRCUIT 41 AND CONTROLS.
    - MOVE 10' OF EXIT LIGHTING FIXTURES TO BE OVER EXTENDED SOUTH EXIT DOORS. CONNECT TO CIRCUIT 41 AND CONTROLS.
    - MOVE 10' OF EXIT LIGHTING FIXTURES TO BE OVER EXTENDED SOUTH EXIT DOORS. CONNECT TO CIRCUIT 41 AND CONTROLS.
    - MOVE 10' OF EXIT LIGHTING FIXTURES TO BE OVER EXTENDED SOUTH EXIT DOORS. CONNECT TO CIRCUIT 41 AND CONTROLS.
  - SHEET E201 - FLOOR PLAN - POWER AND SPECIAL SYSTEMS**
    - ADD ELECTRICAL CONNECTION FOR THE ADDITIONAL OVERHEAD GARAGE DOOR OPERATOR MOTOR. DUPLICATE CONNECTIONS AND NOTES TO MATCH OTHER OVERHEAD GARAGE DOOR LOCATIONS. CONNECT TO CIRCUIT 41.
    - ADD 10 DUPLEX GPO RECEPTACLE AT 4' AFF ON THE WEST WALL BETWEEN OVERHEAD GARAGE DOORS 43 AND 44. CONNECT TO CIRCUIT 41.
    - ADD 10 DUPLEX GPO RECEPTACLE AT 4' AFF ON THE EAST WALL OF THE EXTENDED BAY. CONNECT TO CIRCUIT 41.
    - ADD 10 DUPLEX RECEPTACLE MOUNTED AT THE CEILING FOR COORD REEL. ALIGN WITH OTHER CEILING RECEPTABLES IN THE APPARATUS BAY. CONNECT TO CIRCUIT 41.
    - ON THE SOUTHWEST CORNER WALL, MOVE RECEPTABLE, COMMUNICATION OUTLET, GPO, 2, 20' AFF, 10' TO EXTENDED SOUTH WALL.
    - MOVE ELECTRICAL FOR CASCADE MACHINE TO SAME LOCATION IN THE CORNER OF THE EXTENDED BAY.
- DEET 011**
- INCREASE PAVEMENT REMOVAL AND CURB CUT BY FURTHER SOUTH FOR PARKING AREA.
- DEET 021**
- DESIGN THE PARKING AREA IF SOUTH.
  - IF LESS AGGREGATE PARKING ON THE SOUTH SIDE.
- DEET 031**
- ADJUST GRADING AROUND SOUTH SIDE OF BUILDING.
- DEET 041**
- ADJUST LOC TO THE SOUTHWEST OF THE BUILDING.
  - ADJUST SLOPE TO THE SOUTHWEST OF THE BUILDING.
  - ADJUST SLOPE TO THE SOUTHWEST OF THE BUILDING.
- DEET 051**
- ADJUST LINE AND SPACING SOUTH EAST CORNER OF BUILDING.
  - ADD 10' OF 2" DIA. STAINLESS STEEL ROOF DRAIN.
  - ADD 1 ROOF DRAIN TO STAINLESS STEEL CONNECTION.
- DEET 061**
- FOUNDATION & PIER AT GRID F WILL MATCH FOUNDATION PIER AT GRID A.



JEO ARCHITECTURE P.C.  
160.723.811

St. Paul Fire and Rescue  
New Fire Station  
4th & Grand Street  
St. Paul, Nebraska 68673



DATE: 08/2024  
PROJECT NO.: 2024-23  
DRAWN BY: JEO  
CHECKED BY: JEO

Floor Plan - Alternate No. 2

A101A

2024-23

**Laura Berthelsen**

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**From:** sfm.plans@nebraska.gov  
**Sent:** Monday, May 6, 2024 8:34 AM  
**To:** nbea.compliance@nebraska.gov; cityofstpaulwebsite@gmail.com;  
todd.wright@nebraska.gov; jmeyer@jeo.com; kyle.woodgate@nebraska.gov;  
cbrodersen@jeo.com; SFMinspections@nebraska.gov  
**Subject:** Plan Review Completed for: St. Paul Fire and Rescue New Fire Station  
**Attachments:** NSFM PI Code Review PDF - 5-6-2024.pdf; NSFM PI Plan Submittal Application -  
04112-24 - 4-18-2024.tif

Plan Review has been completed and Inspection is needed for the following:

Project/FacilityName: **St. Paul Fire and Rescue New Fire Station**  
Location: **1050 4th St**  
**St. Paul , NE 68873**  
County: **Howard**

*Your Opinion Matters!*

Please take this brief survey regarding your recent business with the Plans Division at the NE State Fire Marshal's Office.

CLICK HERE: [Plans Division Survey](#)

2024-23



NEBRASKA STATE FIRE MARSHAL  
PLANS DIVISION



# Code Review

5/3/2024	Code Review Number: 04112-24	
<b>Submitting Party</b> Jarred Meyer JEO Consulting Group, Inc 2000 Q St, Suite 500 Lincoln, NE 68503-	<b>Location</b> St. Paul Fire and Rescue New Fire Station 1050 4th St St. Paul 68873	<b>Owner</b> City of St Paul, Nebraska  308-754-4483 cityofstpaulwebsite@gmail.com

Your items have been reviewed for compliance with the Nebraska State Fire Marshal Act.

\* Approval is conditional upon conformance with comments listed in remarks.

Building - Final Plans

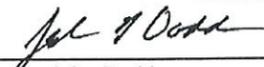
### REMARKS:

Review applies to a new single story 75' x 135' building as shown only.

Occupancy Type – New Separated Assembly (12) & Storage (42) Occupancy  
Meeting (102) Estimated Occupant Load - 182 @ 7 sq. ft. per person  
Codes Referenced - 2012 NFPA 1 / 2012 Life Safety Code (LSC) / 2009 NFPA 241 / 2010 Nebraska Accessibility  
Guidelines (NAG)  
Fire Protection Features Provided – Total Sprinkler, Fire Alarm, Range Hood, & Fire Extinguishers  
Site Plan Submitted? - YES (on-site inspector shall determine compliance of existing conditions)  
Construction Type – V (000)

1. Interior wall and ceiling finish material shall be Class A, Class B, or Class C throughout. LSC 12/42.3.3
2. Shop drawings for the fire alarm, fire sprinkler, underground fire mains, range hood, and fire suppression systems shall be submitted under a separate cover (including a separate application, fee, and plan) for review. Title 153, Chapter 21 03.01
3. Range or cooktop location of controls shall be arranged as to not require reaching across burners. NAG 804.6.4

PLEASE CONTACT OFFICE INDICATED BELOW FOR A FINAL INSPECTION.  
FINAL APPROVAL IS REQUIRED PRIOR TO OCCUPANCY OR USE

SIGNED: 

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Reviewed By	John Dodds 246 S 14th St Lincoln, NE 68508-1804 john.dodds@nebraska.gov 402-631-7814	Contact for Inspection:	District A 246 S. 14th St, Suite 1 Lincoln, NE 68508 68508 402-471-2590
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# Nebraska State Fire Marshal's Agency

## Plan Submittal Application

2024-23

# NEBRASKA

Good Life. Great Safety.

STATE FIRE MARSHAL AGENCY



**(\*) REQUIRED FIELD TO BE COMPLETED. INCOMPLETE FIELDS WILL RESULT IN A REJECTION LETTER (\*)**

### Select to proceed \*

- Existing Customer (You have submitted plans previously)
- New Customer (First time submitting plans to State)

### Submitting Party Information

<b>Submitting Party*</b> JEO Consulting Group, Inc	<b>Address*</b> 2000 Q St, Suite 500		
<b>Contact Person*</b> Jarred Meyer	<b>City*</b> Lincoln	<b>State*</b> NE	<b>Zip*</b> 68503-
<b>Contact Email*</b> jmeyer@jeo.com	<b>Contact Phone*</b> 402-239-5383		

### Additional Individuals Receiving Code Review

<b>Owner Name*</b> City of St Paul, Nebraska	<b>Owner Phone*</b> 308-754-4483
<b>Owner Email Address*</b> cityofstpaulwebsite@gmail.com	<b>Architect Email Address</b> (if different than submitting party) cbrodersen@jeo.com
<b>Contractor Email Address</b> (if different than submitting party)	<b>Other Email Address</b>

### Location Information

EX. 123 W Main St N  
**Number = 123, Prefix = W, Street Name = Main, Type = St, Suffix = N**

Number	Prefix	Street Name*	Type	Suffix
1050		4th	St	

<b>Location Address</b> 1050 4th St	<b>City*</b> St Paul, Nebraska	<b>County</b> Howard
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### Project Information

**Project/Facility Name** (if submitting for multiple buildings/projects, a unique name is needed. IE: ABC Apartments - Building A, Building B etc.)\*  
St. Paul Fire and Rescue New Fire Station

**Buildings Intended Use** (ex. Education, Restaurant, etc.)  
Fire Station 2024-23

**State Owned?**  YES  NO  
**Est. Start Date\*** 06/03/2024  
**Est. Completion Date\*** 06/28/2025

**If Health Care – Please complete the following:**

<b>Licensure Type?</b>	<b>CMS Certified?</b>
<input type="radio"/> YES <input type="radio"/> NO	<input type="radio"/> YES <input type="radio"/> NO

**Plans Submitted to Local Authority for Review For Accessibility?\***  
 YES  NO

If a Preliminary Code Review has been previously reviewed and approved, please indicate the Code Review number here:

If payment was made online, please indicate the Online Payment Order ID number:

**Type of Plan\***  
Building – Final Plans

**Project Description\***  
New

**Number of Levels** (including Sub Levels)  
1

**Construction Type:** (ex. IIB or VB)  
 New  Existing  
VB

**Fire Protection Features (If Provided)**

<input checked="" type="checkbox"/> Total Sprinkler	<input type="checkbox"/> Partial Sprinkler	<input checked="" type="checkbox"/> Range Hood System	<input checked="" type="checkbox"/> Fire Alarm System	<input checked="" type="checkbox"/> Fire Extinguishers	<input type="checkbox"/> Other
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**Est. Project Cost\***  
\$1,800,000.00

The *Estimated Project Cost* includes the total value of construction work being preformed covered under this application. The total value of the sprinkler systems, range hoods, fire alarms, and underground fire mains are not included in the project cost and shall be covered under a separate submission.

**Construction Documents**

Upload Construction Document(s) here. Max individual file size is 4 GB. All uploads **must** be grouped by category (Architectural in one file, shop drawings in one file, Specs in one file, Calculations in one file, etc.). Files that are not combined may result in significant delays in your processing time, larger files will take a bit to appear after upload.

**\*NOTE:** File(s) must be uploaded to Submit application.

**Attachments (2)**

NSFM PI Construction Documents\*

Missing: Attached document has been deleted.

Missing: Attached document has been deleted.

Plans that do not bear the seal of a State Registered Engineer or Architect may be in violation of State Law.  
Do the submitted plans bear the seal of a State Registered Engineer or Architect?  
 Yes  No

License Number

A-3491

2024-23