

2nd Council Regular Meeting
Monday, March 18, 2024 6:30 PM

City Hall
704 6th Street
St. Paul, NE 68873

Agenda

1. Mayor Mike Feeken calls City Council meeting to order, with the "Pledge of Allegiance" and the "Open Meeting Statement" as required by NE State Statutes 84-1407 through 84-1414; Mayor Feeken also states that the City Council may vote to go into Closed Session on any agenda item as allowed by NE State Statute 84-1410.
2. Submittal of Requests for Future Agenda Items
3. Reserve Time to Speak on an Agenda Item
4. Discuss - Approve / Deny proposals from Olsson and JEO Consulting Group to eliminate the existing drainage route running from Jay Street to Kendall Street on the southeast corner of 4th and Kendall Streets east of the proposed new fire station.

5. Discuss - Approve / Deny JEO Consulting Group plans/specifications, and allowing JEO Consulting Group to advertise for bids regarding the new St. Paul Fire Station.
6. **NOTICE OF HEARING TO BE DETERMINED EXISTENCE OF PUBLIC NUISANCE AND TO ABATE IN WHOLE OR IN PART**
The Mayor and Council shall hear all evidence from the owner or any interested party pertaining to the nuisance at 807 7th Street, more legally described as N 71' of Lots Four (4), Five (5), Six (6), and Seven (7), Block Seventy-Eight (78), Original Town, Howard County, St. Paul, NE.
Discuss - Approve / Deny whether the premise constitutes a public nuisance, and if determined to constitute a public nuisance, to be abated.
 - a. Discuss - Approve Resolution #2024-1, granting days to abate said nuisance after the notice and hearing of 807 7th Street. Failure to abate the nuisance will result in the nuisance being abated by the City and the cost will be assessed upon the premises until the lien is paid in full.
7. **Declaration of Nuisance: (1) 1108 7th Street (Barbara Lyons) and (2) 920 Indian Street (Jannea Rudolf)**
Discuss - Approve / Deny sending the "Notice of Hearing to be Determined Existence of Public Nuisance and to Abate in Whole or in Part" regarding the properties at (1) 1108 7th Street (Lot Eight (8), Block Four (4), Original Town, St. Paul, NE) and (2) 920 Indian Street (Lot Nine (9) & E 6' of Lot Eight (8), Block Six (6), Bartletts Addition, St. Paul, NE).

8. Discuss the City of St. Paul's Department Status updates regarding (possible action): (1) Parks; (2) Cemetery; (3) Streets; and (4) General.
9. Discuss - Approve / Deny road closure on Saturday, March 23, 2024, regarding the St. Paul Chamber of Commerce Easter Egg hunt in the City Park. The road closure consists of Indian Street between 4th and 6th Streets. City barricades are being requested.

10. Discuss - Approve / Deny placing the City of St. Paul's 2022-2023 excess Department funds into the "Insure Cash Sweep" (ICS) accounts at Citizens Bank & Trust: (1) Cemetery \$37,339; (2) Swimming Pool \$19,857; and (3) Library \$11,462.
11. Discuss - Approve / Deny Consent Agenda Items: (1) Treasurer's Report February 2024; (2) March 4, 2024 (regular) Council minutes; (3) Planning Commission Zoning Permits dated March 11, 2024; and (4) March 18, 2024, disbursements.
12. Discuss - Approve / Deny the City of St. Paul's Fire Department billing rates for Year 2024; there is no change from 2023.
13. Discuss - Approve / Deny the City of St. Paul leasing a 2024 E38 R2 Series Bobcat Compact Excavator for one (1) year for the amount of \$8,000, then perhaps purchase thereafter.
14. Discuss - Approve / Deny hiring two (2) seasonal employees for 2024, along with hourly wages;
 - (1) Approve Chris Townsend's (seasonal hire) hourly wage.
15. Discuss - Approve / Deny the City of St. Paul Street Closure application form; Attorney White has approved. Once the cost of the barricades has been approved, the form will be amended to reflect the cost.
16. Utilities Superintendent Helzer updates
17. Chief of Police Howard updates:
 - (1) Lawrence Stump will be coming back to work for the St. Paul Police Dept. as a part-time Police Officer at the hourly wage of \$21. Mr. Stump is a full-time Paramedic for the City of Aurora, NE;
 - (2) St. Paul Police Dept. was awarded a grant (You Text;, You Drive; You Pay) in the amount of \$1,600 from the NE Dept. of Transportation Safety Office; Officer hours consists of: Sergeant Howard 11 hours; Officer Holmes 14 hours; and Officer Robinson 14 hours;
 - (3) St. Paul Police Dept. was awarded the FLIR Scout Monocular (thermal imaging) grant;
 - (4) St. Paul Police Dept. call logs from the past year attached;
18. Mayor Mike Feeken updates:
19. Public Announcements
20. Closed Session: The City of St. Paul reserves the right to go into Closed Session for the prevention of needless injury to the reputation of an individual.
21. Mayor Feeken adjourns City Council meeting.
22. Informational Items:
 - (1) St. Paul Fire and Rescue Updated Roster;
 - (2) Big Iron Realty announces winners of their First Responders and Medical Professionals of 2024; Mike Becker from St. Paul Fire Department was chosen as the winner;
 - (3) City received reimbursement from Mike Nevrivy (\$2,300) regarding the 2022-2023 Keno audit;
23. **This agenda, including supporting documentation, is available for public viewing during normal business hours at the City Office, 704 6th Street, St. Paul, Nebraska.**

The City of St. Paul abides by the Nebraska Open Meetings Act in conducting business. A copy of the Nebraska Open Meetings Act is on display in the meeting room as required by Nebraska State Law.

The Mayor and City Council reserve the right to enter into an Executive Session at any time during the meeting, in accordance with the Nebraska Open Meetings Act, even though the closed session may not be indicated on the Agenda.

It is the intention of the Mayor and City Council to take up the items on the agenda in sequential order. However, the Mayor and City Council reserves the right to take up matters in a different order to accommodate the schedules of the City Council members, person(s) having items on the agenda, and the public. The City of St. Paul reserves the right to adjust the order of items on the agenda.

Anyone wishing to speak may be limited to three (3) to five (5) minutes per person. Please utilize the podium and clearly state your name and address for the record and the agenda topic you wish to speak upon in a professional manner.

AGENDA ITEM REQUEST FORM

Anyone wishing to offer comments or concerns about city matters, or who wants to have an item placed on the City Council agenda must complete this form. The completed form must be submitted to the City Clerk, City of St. Paul, 704 6th Street, St. Paul, NE 68873 no later than Noon on the Wednesday prior to the City Council meeting. If the Wednesday prior to the City Council meeting is a holiday, the deadline is noon on the previous day. The City Council generally meets at 7:00 p.m. on the 1st and 3rd Monday of each month.

City Council Meeting Date: _____

Requested Agenda Item: _____

Please state your comment or concern (please be specific, providing documentation if available):

What action do you want the City Council to take? _____

Will this project/item require City funding? YES ____ NO ____ **If so, how much?** _____

Name (please print): _____

Name (signature): _____

Address: _____

Phone Number: _____

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For City Official Use Only

___ Added to City Council Agenda. Date of City Council meeting: _____

___ Referred to City Council Committee for Recommendation

City Council Action Taken: _____

City Funds Authorized: _____



City of St. Paul, Nebraska

704 6th Street • St. Paul, NE 68873

Phone (308) 754-4483

PUBLIC RECORDS REQUEST

Pursuant to Neb. Rev. Stat. §84-712 et. seq., citizens have the right to examine, and obtain copies of Public Records that are not exempt from disclosure as set forth in Neb. Rev. Stat. §84-712.05. Citizens have a right to obtain a copy of any public record or document regardless of its physical form by making a request to the City's custodian of that record. A public record request shall be submitted in writing through the City Clerk. If the City Clerk is not the custodian of that record, the City Clerk will notify the requesting party of who the custodian of that record is, and where to make the request. The custodian of the record shall have four (4) business days as defined in Neb. Rev. Stat. §84-712(4) to respond to a request, and to provide the requesting party an estimate of the expected cost of the copies and either (a) access to or, if copying equipment is reasonably available, copies of the public record, (b) if there is a legal basis for denial of access or copies, a written denial of the request together with the information specified in Section 84-712.04, or (c) if the entire request cannot with reasonable good faith efforts be fulfilled within four business days after actual receipt of the request due to the significant difficulty or the extensiveness of the request, a written explanation, including the earliest practicable date for fulfilling the request, an estimate of the expected cost of any copies, and an opportunity for the requestor to modify or prioritize the items within the request.

Information Provided By Requestor
Date of Request (mm/dd/yyyy) Submitted to (Department) I am Submitting This Request
Name (Print) Mailing Address (Required)
Telephone (Required) Email Address (Optional) Fax Number (Optional)
Please clearly identify the records requested as specifically as possible, or fully describe the information you want (required).
I request to: (please check all that apply)
If the requested record(s) are not available, how should we respond back to your request?

Requester Signature

Printed Name

For City of St. Paul Use Only:

Date Received: _____

Received by: _____

**City of St. Paul
Citizen Complaint Form**

Name of person making complaint _____

Residential address _____

Postal address _____

Phone Number _____ Email address _____

Complaint Details

Date of Incident _____ Time _____

Location of Incident _____

Who/what is the subject of your complaint? _____

DETAILED summary of your complaint _____

Witness Details (If applicable)

Name of witness(es) _____

Address _____

Phone Number of witness _____

Complaint Outcome

How would you like this issue resolved? _____

Signature of Complainant

Action taken by City



LETTER AGREEMENT FOR PROFESSIONAL SERVICES

March 18, 2024

City of St. Paul
Attn: Mike Feeken
704 6th Street
St. Paul, NE 68873

Re: **LETTER AGREEMENT FOR PROFESSIONAL SERVICES**
Storm Sewer Improvements (the "Project")
Between 4th Street and the Railroad Tracks and Jay Street and Kendall Street

Dear Mr. Feeken:

It is our understanding that the City of St. Paul, Nebraska ("Client") requests Olsson, Inc. ("Olsson") to perform the services described herein pursuant to the terms of this Letter Agreement for Professional Services, Olsson's General Provisions and any exhibits attached hereto (all documents constitute and are referred to herein as the "Agreement") for the Project.

Olsson has acquainted itself with the information provided by Client relative to the Project and based upon such information offers to provide the services described below for the Project. Client warrants that it is either the legal owner of the property to be improved by this Project or that Client is acting as the duly authorized agent of the legal owner of such property. Client acknowledges that it has reviewed the General Provisions and any exhibits attached hereto, which are expressly made a part of and incorporated into the Agreement by this reference. In the event of any conflict or inconsistency between this Letter Agreement, and the General Provisions regarding the services to be performed by Olsson, the terms of the General Provisions shall take precedence.

Olsson shall provide the following services ("Scope of Services") to Client for the Project as more specifically described in "Scope of Services" attached hereto. Should Client request work in addition to the Scope of Services, Olsson shall invoice Client for such additional services (Optional Additional Services) at the standard hourly billing labor rate charged for those employees actually performing the work, plus reimbursable expenses if any. Olsson shall not commence work on Optional Additional Services without Client's prior written approval.

Olsson agrees to provide all of its services in a timely, competent and professional manner, in accordance with applicable standards of care, for projects of similar geographic location, quality and scope.

SCHEDULE FOR OLSSON'S SERVICES

Unless otherwise agreed, Olsson expects to perform its services under the Agreement as follows:

Anticipated Start Date: 2 weeks after signed agreement if need topographic survey
1 week after receiving Fire Barn topographic survey
Anticipated Completion Date: 3 weeks after start date

Olsson will endeavor to start its services on the Anticipated Start Date and to complete its services on the Anticipated Completion Date. However, the Anticipated Start Date, the Anticipated Completion Date, and any milestone dates are approximate only, and Olsson reserves the right to adjust its schedule and any or all of those dates at its sole discretion, for any reason, including, but not limited to, delays caused by Client or delays caused by third parties.

COMPENSATION

Client shall pay to Olsson for the performance of the Scope of Services, the actual hourly labor rates of personnel performing such services on the project times a factor of 3.085, and all actual reimbursable expenses in accordance with the Reimbursable Expense Schedule attached to this agreement. Olsson shall submit invoices on a monthly basis, and payment is due within 30 calendar days of invoice date.

Olsson's Scope of Services will be provided on a time-and-expense basis not to exceed \$27,250.00.

TERMS AND CONDITIONS OF SERVICE

We have discussed with you the risks, rewards and benefits of the Project, the Scope of Services, and our fees for such services and the Agreement represents the entire understanding between Client and Olsson with respect to the Project. The Agreement may only be modified in writing signed by both parties.

Client's designated Project Representative shall be Matt Helzer.

If this Agreement satisfactorily sets forth your understanding of our agreement, please sign in the space provided below. Retain one original for your files and return an executed original to Olsson. This proposal will be open for acceptance for a period of 30 days from the date set forth above, unless changed by us in writing.

OLSSON, INC.

By Brian J. Friedrichsen
Brian Friedrichsen

By Jeff R. Palik
Jeff Palik

By signing below, you acknowledge that you have full authority to bind Client to the terms of the Agreement. If you accept the terms set forth herein, please sign:

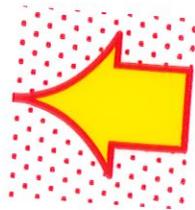
CITY OF ST. PAUL, NEBRASKA

By _____
Signature

Print Name _____

Title _____

Dated _____



Attachments

- General Provisions
- Scope of Services
- Reimbursable Expense Schedule
- Resident Project Representative Duties

SCOPE OF SERVICES

This exhibit is hereby attached to and made a part of the Letter Agreement for Professional Services dated March 18, 2024 between the City of St. Paul, Nebraska ("Client") and Olsson, Inc. ("Olsson") providing for professional services. Olsson's Scope of Services for the Agreement is indicated below.

PROJECT DESCRIPTION AND LOCATION

Project will be located at: Between 4th Street and the Railroad Tracks and Jay Street and Kendall Street

Project Description: Storm Sewer Improvements

SCOPE OF SERVICES

Olsson shall provide the following services (Scope of Services) to Client for the Project:

DESIGN SERVICES

Phase 100 – Site Investigation (\$3,050.00)

Task 101 – Survey

Olsson shall complete a topographic survey of the site to locate above ground structures and site elevations. One-call services will be contacted to locate any underground utility line. These utilities shall be picked up by the onsite survey crew. The field data shall be used to create a topographic surface of the site using AutoCAD Civil 3D. This topographic survey shall be used as the basis for the design. Olsson anticipates 1 trip to complete this work.

Task 102 – Boundary Survey and Title Search

Olsson shall complete a boundary survey for the proposed fire barn lot and locate any existing easements (title search) that may be present. Due to the railroad being within the vicinity, Olsson shall determine the railroad ROW/easement area to be sure not to encroach on the railroad property.

Note: The Phase 100 – Site Investigation services may be able to be eliminated or reduced if Olsson receives the topographic survey with the above referenced items already completed from the work already completed for the fire barn project. Olsson would need this information in AutoCAD Civil 3D format.

Phase 200 – Design Services (\$8,200.00)

Task 201 – Hydraulic Study

Olsson shall complete a hydraulic study of the area to determine the size of storm sewer pipe that will be needed to convey the existing water shed as well as the improvements being made to the fire barn. The results of this study will be presented on plan sheets for the project.

Task 202 – Civil Design

Olsson shall use the gathered or provided topographic survey and hydraulic study to layout and design the storm sewer improvements. Anticipated

improvements will be the addition of storm sewer junction boxes/area inlets and double storm sewer pipe.

Task 203 – QA/QC

Olsson shall complete quality assurance/quality control in-house at the 60% and 90% design levels. Preliminary plans will be submitted to the City staff for review and comments at the 60% and 90% design levels as well.

Task 204 – Final Plans and Specifications

Olsson shall present final plans and specifications to the City to be used during the bid phase portion of the project. The specifications shall include general contract information to be used between the City and contractor.

Task 205 – Opinion of Costs

Olsson shall present the City with an opinion of construction costs for budgeting purposes and to be used as a base line for the bid phase services.

Task 206 – Railroad Permitting

Olsson shall work with the Central Nebraska Railroad/Union Pacific Railroad to obtain the required permits to construct on the railroad property. Other requirements for the railroad during construction will be the responsibility of the contractor.

BID PHASE SERVICES

Phase 300 – Bid Phase Services (\$2,600.00)

Task 301 – Bid Phase Services

Olsson shall work with the City to advertise the project to contractors in the area and whom Olsson is aware of for this type of project. Olsson shall be responsible for answering and contractor questions that may arise during the bid phase of the project. Addendum shall be issued as needed during this phase.

Olsson shall attend the public bid opening to assist the City and take notes of the bids received. After the opening, Olsson shall compile the bids to check for any errors. At this time, Olsson shall contact contractor references if warranted.

Note: The Phase 300 – Bid Phase services may be able to be eliminated or reduced if we are able to change order this work with an existing contractor that is already under contract with the City.

CONSTRUCTION PHASE SERVICES (\$13,400.00)

Phase 400 – Construction Phase Services

Task 401 – Construction Administration

Olsson shall provide staff proportionate to the administrative duty in the performance of administration services during the Construction Phase of the project. Services provided shall include the following:

- Conduct pre-construction meeting between the owner, engineer, contractor, and other parties of interest at a location near the project site. Olsson shall prepare an agenda for the meeting, record, prepare, and distribute minutes. This meeting will include a discussion of the

Contractor's tentative schedule, procedures for transmittal and review of the Contractor's submittals, processing payment applications, critical work sequencing, change order, record documents, and the Contractor's responsibility for safety on site.

- Review Contractor's submittals and other data submitted as required by the construction contract documents.
- Process payment requests and change orders. Olsson shall forward requests to the Client with recommendation regarding disposition for payment. A total of 1 pay request and 1 change order is anticipated.
- Due to the quick nature of this work, Olsson does not anticipate any progress meetings for this project.
- Respond to field questions from onsite observer and other stakeholders.
- Final completion inspections at the end of the project.
- Prepare record drawings based on data provided by the Contractor.
- Warranty inspection completed 11-months after the final completion to certify compliance with the warranty requirements of the contract.

Task 402 – Construction Observation & Testing

Olsson shall provide an RPR (see Exhibit B) to serve as the Construction Administrator's liaison with the Owner and Contractor, to assist in facilitating effective communications, monitor and report the status of construction, verify the quantities of work which are the basis of the payment requests from the Contractor, document changes in the work, and help ensure that the work is constructed in accordance with the contract documents. On-site testing services will be provided for soil density and concrete. Laboratory testing will be provided for concrete compressive strength. Olsson anticipates part-time observation and testing for this project (15 hours per week for 4 weeks).

Task 403 – Construction Staking

Olsson shall provide construction staking for the components of the project. Olsson shall work with the Contractor on specific staking requirements such as offset distances and distances along alignments. Olsson anticipates 1 trip to the site to complete the staking.

Should Client request work in addition to the Scope of Services, Olsson shall invoice Client for such additional services (Optional Additional Services) at the standard hourly billing labor rate charged for those employees actually performing the work, plus reimbursable expenses if any. Olsson shall not commence work on Optional Additional Services without Client's prior written approval.

Olsson agrees to provide all of its services in a timely, competent and professional manner, in accordance with applicable standards of care, for projects of similar geographic location, quality and scope.



REIMBURSABLE EXPENSE SCHEDULE

The expenses incurred by Olsson or Olsson's independent professional associates or consultants directly or indirectly in connection with the Project shall be included in periodic billing as follows:

<u>Classification</u>	<u>Cost</u>
Automobiles (Personal Vehicle)	\$0.67/mile*
Suburban's and Pick-Ups	\$0.75/mile*
Automobiles (Olsson Vehicle)	\$95.00/day
Other Travel or Lodging Cost	Actual Cost
Meals	Actual Cost
Printing and Duplication including Mylars and Linens	
In-House	Actual Cost
Outside	Actual Cost+10%
Postage & Shipping Charges for Project Related Materials including Express Mail and Special Delivery	Actual Cost
Film and Photo Developing	Actual Cost+10%
Telephone and Fax Transmissions	Actual Cost+10%
Miscellaneous Materials & Supplies Applicable to this Project	Actual Cost+10%
Copies of Deeds, Easements or other Project Related Documents	Actual Cost+10%
Fees for Applications or Permits	Actual Cost+10%
Sub-Consultants	Actual Cost+10%
Taxes Levied on Services and Reimbursable Expenses	Actual Cost

*Rates consistent with the IRS Mileage Rate Reimbursement Guidelines (Subject to Change).

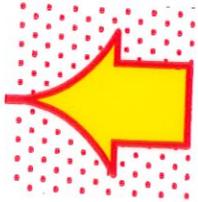
St. Paul Fire Barn Storm Sewer Cost Estimate

3/18/2024

No	Item	Unit	Quantity	Unit Cost	Price
1	Mobilization/Demobilization	LS	1	\$22,400.00	\$ 22,400.00
2	36" RC Storm Sewer Pipe (Dual)	LF	700	\$ 115.00	\$ 80,500.00
3	Storm Sewer Junction Box	EA	3	\$15,000.00	\$ 45,000.00
4	Remove Existing FES	EA	4	\$ 1,000.00	\$ 4,000.00
5	Earthwork	LS	1	\$15,000.00	\$ 15,000.00
6	Railroad Permits	LS	1	\$ 5,000.00	\$ 5,000.00

Total \$171,900.00
Contingency (10%) \$ 17,190.00
Engineering (16%) \$ 27,504.00

Construction Total \$216,594.00



**A LISTING OF THE DUTIES, RESPONSIBILITIES
AND LIMITATIONS OF AUTHORITY OF THE
RESIDENT PROJECT REPRESENTATIVE**

ENGINEER shall furnish a Resident Project Representative (RPR), assistants and other field staff to assist ENGINEER in observing performance of the work of CONTRACTOR.

Through more extensive on-site observations of the work in progress and field checks of materials and equipment by the RPR and assistants, ENGINEER shall endeavor to provide further protection for OWNER against defects and deficiencies in the work of CONTRACTOR; but, the furnishing of such services will not make ENGINEER responsible for or give ENGINEER control over construction means, methods, techniques, sequences or procedures or for safety precautions or programs, or responsibility for CONTRACTOR's failure to perform the Work in accordance with Contract Documents and in particular the specific limitations set forth in the Agreement as applicable.

The duties and responsibilities of the RPR are limited to those of ENGINEER in ENGINEER's agreement with the OWNER and in the construction Contract Documents, and are further limited and described as follows:

A. General

RPR is ENGINEER's agent at the site, will act as directed by and under the supervision of ENGINEER, and will confer with ENGINEER regarding RPR's actions. RPR's dealing in matters pertaining to the on-site work shall in general be with ENGINEER and CONTRACTOR keeping OWNER advised as necessary. RPR's dealing with subcontractor shall only be through or with the full knowledge and approval of CONTRACTOR. RPR shall generally communicate with OWNER with the knowledge of and under the direction of ENGINEER.

B. Duties and Responsibilities of RPR

1. Schedules: Review the progress schedule, schedule of Shop Drawing submittals and schedule of values prepared by CONTRACTOR and consult with ENGINEER concerning acceptability.
2. Conferences and Meetings: Attend meeting with CONTRACTOR, such as preconstruction conferences, progress meetings, job conferences and other project-related meetings, and prepare and circulate copies of minutes thereof.
3. Liaison:
 - a. Serve as ENGINEER's liaison with CONTRACTOR, working principally through CONTRACTOR's superintendent and assist in understanding the intent of the Contract Documents; and assist the ENGINEER in serving as OWNER's liaison with CONTRACTOR when CONTRACTOR's operations affect OWNER's on-site operations.
4. Shop Drawings and Samples:
 - a. Record date of receipt of Shop Drawings and samples.
 - b. Receive samples which are furnished at the site by CONTRACTOR, and notify ENGINEER of availability of samples for examination.
 - c. Advise ENGINEER and CONTRACTOR of the commencement of any Work requiring a Shop Drawing or sample if the submittal has not been approved by ENGINEER.

5. Review of Work, Rejection of Defective Work, Inspections and Tests:
 - a. Conduct on-site observations of the Work in progress to assist ENGINEER in determining if the Work is in general proceeding in accordance with the Contract Documents.
 - b. Report to ENGINEER whenever RPR believes that any Work is unsatisfactory, faulty or defective or does not conform to the Contract Documents, or has been damaged, or does not meet the requirements of any inspection, test or approval required to be made; and advise ENGINEER of Work that RPR believes should be corrected or rejected or should be uncovered for observation, or requires special testing, inspection or approval.
 - c. Verify that tests, equipment and systems startups and operating and maintenance training are conducted in the presence of appropriate personnel, and that CONTRACTOR maintains adequate records thereof; and observe, record and report to ENGINEER appropriate details relative to the test procedures and startups.
 - d. Accompany visiting inspectors representing public or other agencies having jurisdiction over the Project, record the results of these inspections and report to ENGINEER.
6. Interpretation of Contract Documents: Report to ENGINEER when clarifications and interpretations of the Contract Documents are needed and transmit to CONTRACTOR clarifications and interpretations as issued by ENGINEER.
7. Modifications: Consider and evaluate CONTRACTOR's suggestions for modifications in Drawings and Specifications and report with RPR's recommendations to ENGINEER. Transmit to CONTRACTOR decisions as issued by ENGINEER.
8. Records:
 - a. Maintain at the job site orderly files for correspondence, reports of job conferences, Shop Drawings and samples, reproductions of original Contract documents including all Work Directive Changes, Addenda, Change Orders, Field Orders, additional Drawings issued subsequent to the execution of the Contract, ENGINEER's clarifications and interpretations of the Contract Documents, progress reports, and other Project related documents.
 - b. Keep a diary or log book, recording CONTRACTOR hours on the job site, weather conditions, data relative to questions of Work Directive Changes, Change Orders or changed conditions, list of job site visitors, daily activities, decisions, observations in general, and specific observations in more detail as in the case of observing test procedures; and send copies to ENGINEER.
9. Reports:
 - a. Furnish ENGINEER periodic reports as required of progress of the Work and of CONTRACTOR's compliance with the progress schedule and schedule of Shop Drawing and sample submittals.
 - b. Consult with ENGINEER in advance of scheduled major tests, inspections or start of important phases of the Work.
 - c. Draft proposed Change Orders and Work Directive Changes, obtaining backup material from CONTRACTOR and recommend to ENGINEER Change Orders, Work Directive Changes, and Field Orders.
 - d. Report immediately to ENGINEER and OWNER upon the occurrence of any accident.
10. Payment Requests: Review applications for payment with CONTRACTOR for compliance with the established procedure for their submission and forward with recommendations to ENGINEER, noting particularly the relationship of the payment requested to the schedule of values, Work completed and materials and equipment delivered at the site but not incorporated in the Work.

11. Certificates, Maintenance and Operation Manuals: During the course of the Work, verify that certificates, maintenance and operation manuals and other data required to be assembled and furnished by CONTRACTOR are applicable to the items actually installed and in accordance with the Contract Documents, and have this material delivered to ENGINEER for review and forwarding to OWNER prior to final payment for the Work.
12. Completion:
 - a. Before ENGINEER issues a Certificate of Substantial Completion, submit to CONTRACTOR a list of observed items requiring completion or correction.
 - b. Conduct final inspection in the company of ENGINEER, OWNER, and CONTRACTOR and prepare a final list of items to be completed or corrected.
 - c. Observe that all items on final list have been completed or corrected and make recommendations to ENGINEER concerning acceptance.

C. Limitations of Authority

Resident Project Representative:

1. Shall not authorize any deviation from the Contract Documents or substitution of materials or equipment, unless authorized by ENGINEER.
2. Shall not exceed limitations of ENGINEER's authority as set forth in the Agreement or the Contract Documents.
3. Shall not undertake any of the responsibilities of CONTRACTOR, subcontractors or CONTRACTOR's superintendent.
4. Shall not advise on, issue directions relative to or assume control over any aspect of the means, methods, techniques, sequences or procedures of construction unless such advice or directions are specifically required by the Contract Documents.
5. Shall not advise on, issue directions regarding or assume control over safety precautions and programs in connection with the Work.
6. Shall not accept Shop Drawing or sample submittals from anyone other than CONTRACTOR.
7. Shall not authorize OWNER to occupy the Project in whole or in part.
8. Shall not participate in specialized field or laboratory tests or inspections conducted by others except as specifically authorized by ENGINEER.

GENERAL PROVISIONS

These General Provisions are attached to and made a part of the respective Letter Agreement or Master Agreement, dated March 18, 2024 between the City of St. Paul, Nebraska ("Client") and Olsson, Inc. ("Olsson") for professional services in connection with the project or projects arising under such Letter Agreement or Master Agreement (the "Project(s)").

As used herein, the term "this Agreement" refers to these General Provisions, the applicable Letter Agreement or Master Agreement, and any other exhibits or attachments thereto as if they were part of one and the same document.

SECTION 1—OLSSON'S SCOPE OF SERVICES

Olsson's scope of services for the Project(s) is set forth in the applicable Letter Agreement or Master Agreement ("Scope of Services").

SECTION 2—ADDITIONAL SERVICES

2.1 Unless otherwise expressly included, Scope of Services does not include the categories of additional services set forth in Sections 2.2 and 2.3.

2.2 If Client and Olsson mutually agree for Olsson to perform any optional additional services as set forth in this Section 2.2 ("Optional Additional Services"), Client will provide written approval of the agreed-upon Optional Additional Services, and Olsson shall perform or obtain from others such services and will be entitled to an increase in compensation at rates provided in this Agreement. Olsson may elect not to perform all or any of the Optional Additional Services without cause or explanation:

2.2.1 Preparation of applications and supporting documents for governmental financial support of the Project(s); preparation or review of environmental studies and related services; and assistance in obtaining environmental approvals.

2.2.2 Services to make measured drawings of or to investigate existing conditions of facilities.

2.2.3 Services resulting from changes in the general scope, extent or character of the Project(s) or major changes in documentation previously accepted by Client where changes are due to causes beyond Olsson's control.

2.2.4 Services resulting from the discovery of conditions or circumstances which were not contemplated by Olsson at the commencement of this Agreement. Olsson shall notify Client of the newly discovered conditions or circumstances and Client and Olsson shall renegotiate, in good faith, the compensation for this Agreement, if amended terms cannot be agreed upon, Olsson may terminate this Agreement and Olsson shall be paid for its services through the date of termination.

2.2.5 Providing renderings or models.

2.2.6 Preparing documents for alternate bids requested by Client.

2.2.7 Analysis of operations, maintenance or overhead expenses; value engineering; the preparation of rate

schedules; earnings or expense statements; cash flow or economic evaluations or; feasibility studies, appraisals or valuations.

2.2.8 Furnishing the services of independent professional associates or consultants for work beyond the Scope of Services.

2.2.9 Services necessary due to the Client's award of more than one prime contract for the Project(s); services necessary due to the construction contract containing cost plus or incentive-savings provisions; services necessary in order to arrange for performance by persons other than the prime contractor; or those services necessary to administer Client's contract(s).

2.2.10 Services in connection with staking out the work of contractor(s).

2.2.11 Services during out-of-town travel or visits to the site beyond those specifically identified in this Agreement.

2.2.12 Preparation of operating and maintenance manuals.

2.2.13 Services to redesign some or all of the Project(s).

2.2.14 Preparing to serve or serving as a consultant or witness or assisting Client with any litigation, arbitration or other legal or administrative proceeding.

2.2.15 Services relating to Construction Observation, Certification, Inspection, Construction Cost Estimating, project observation, construction management, construction scheduling, construction phasing or review of Contractor's performance means or methods.

2.3 Whenever, in its sole discretion, Olsson determines additional services as set forth in this Section 2.3 are necessary to avoid a delay in the completion of the Project(s) ("Necessary Additional Services"), Olsson shall perform or obtain from others such services without waiting for specific instructions from Client, and Olsson will be entitled to an increase in compensation for such services at the standard hourly billing rate charged for those employees performing the services, plus reimbursable expenses, if any:

2.3.1 Services in connection with work directive changes and/or change orders directed by the Client to any contractors.

2.3.2 Services in making revisions to drawings and specifications occasioned by the acceptance of substitutions proposed by contractor(s); services after the award of each contract in evaluating and determining the acceptability of an unreasonable or excessive number of substitutions proposed by contractor(s); or evaluating an unreasonable or extensive number of claims submitted by contractor(s) or others in connection with the Project(s).

2.3.3 Services resulting from significant delays, changes or price increases occurring as a direct or indirect result of material, equipment or energy shortages.

2.3.4 Additional or extended services during construction made necessary by (1) work damaged during construction, (2) a defective, inefficient or neglected work by any contractor, (3) acceleration of the progress schedule involving services beyond normal working hours, or (4) default by any contractor.

SECTION 3—CLIENT'S RESPONSIBILITIES

3.1. Client shall provide all criteria and full information as to Client's requirements for the Project(s); designate and identify in writing a person to act with authority on Client's behalf in respect of all aspects of the Project(s); examine and respond promptly to Olsson's submissions; and give prompt written notice to Olsson whenever Client observes or otherwise becomes aware of any defect in the Olsson's services.

3.2 Client agrees to pay Olsson the amounts due for services rendered and expenses within thirty (30) days after Olsson has provided its invoice for such services. In the event Client disputes any invoice item, Client shall give Olsson written notice of such disputed item within fifteen (15) days after receipt of such invoice and shall pay to Olsson the undisputed portion of the invoice according to the provisions hereof. If Client fails to pay any invoiced amounts when due, interest will accrue on each unpaid amount at the rate of thirteen percent (13%) per annum from the date due until paid according to the provisions of this Agreement. Interest shall not be charged on any disputed invoice item which is finally resolved in Client's favor. Payment of interest shall not excuse or cure any default or delay in payment of amounts due.

3.2.1 If Client fails to make any payment due Olsson for services and expenses within thirty (30) days after receipt of Olsson's statement therefore, Olsson may, after giving seven (7) days written notice to Client, suspend services to Client under this Agreement until Olsson has been paid in full all amounts due for services, expenses and charges and Client will not obtain any license to any Work Product or be entitled to retain or use any Work Product pursuant to Section 7.1 unless and until Olsson has been paid in full and Client has fully satisfied all of its obligations under this Agreement.

3.3 Payments to Olsson shall not be withheld, postponed or made contingent on the construction, completion or success of the Project(s) or upon receipt by the Client of offsetting reimbursements or credit from other parties who may have caused the need for additional services. No withholdings, deductions or offsets shall be made from Olsson's compensation for any reason unless and until Olsson has been found to be legally liable for such amounts.

3.4 Client shall also do the following and pay all costs incident thereto:

3.4.1 Furnish to Olsson any existing and/or required borings, probings or subsurface explorations; hydrographic surveys; laboratory tests or inspections of samples, materials or equipment; appropriate professional interpretations of any of the foregoing; environmental assessment and impact statements; property, boundary, easement, right-of-way, topographic or utility surveys; property descriptions; and/or zoning or deed restrictions; all of which Olsson may rely upon in performing services hereunder.

3.4.2 Guarantee access to and make all provisions for Olsson to enter upon public and private property reasonably necessary to perform its services on the Project(s).

3.4.3 Provide such legal, accounting, independent cost estimating or insurance counseling services as may be required for the Project(s); any auditing service required in respect of contractor(s)' applications for payment; and/or any inspection services to determine if contractor(s) are performing the work legally.

3.4.4 Provide engineering surveys to establish reference points for construction unless specifically included in Olsson's Scope of Services.

3.4.5 Furnish approvals and permits from all governmental authorities having jurisdiction over the Project(s).

3.4.6 If more than one prime contractor is to be awarded the contract for construction, designate a party to have responsibility and authority for coordinating and interfacing the activities of the various prime contractors.

3.4.7 All fees and other amounts payable by Client under this Agreement are exclusive of taxes and similar assessments. Without limiting the foregoing, Client is responsible and liable for all sales, service, use, and excise taxes, and any other similar taxes, duties, and charges of any kind imposed by any federal, state, county or local governmental authority on any amounts payable by Client under this Agreement, other than any taxes imposed on Olsson's income. In the event any governmental authority assesses Olsson for taxes, duties, or charges of any kind in connection with Scope of Services provided by Olsson to Client, Olsson shall be entitled to submit an invoice to Client, its successors or assigns, for the amount of said assessment and related interest and penalties. Client shall pay such invoice in accordance with Olsson's standard payment terms.

3.5 Client shall pay all costs incident to obtaining bids or proposals from contractor(s).

3.6 Client shall pay all permit application review costs for government authorities having jurisdiction over the Project(s).

3.7 Contemporaneously with the execution of this Agreement, Client shall designate in writing an individual to act as its duly authorized Project(s) representative.

3.8 Client shall bear sole responsibility for:

3.8.1 Jobsite safety. Neither the professional activities of Olsson, nor the presence of Olsson or its employees or sub-consultants at the Project shall impose any duty on Olsson relating to any health or safety laws, regulations, rules, programs or procedures.

3.8.2 Notifying third parties including any governmental agency or prospective purchaser, of the existence of any hazardous or dangerous materials located in or around the Project(s) site.

3.8.3 Providing and updating Olsson with accurate information regarding existing conditions, including the existence of hazardous or dangerous materials, proposed

Project(s) site uses, any change in Project(s) plans, and all subsurface installations, such as pipes, tanks, cables and utilities within the Project(s) site.

3.8.4 Providing and assuming all responsibility for: interpretation of contract documents; Construction Observations; Certifications; Inspections; Construction Cost Estimating; project observations; construction management; construction scheduling; construction phasing; and review of Contractor's performance, means and methods. Client waives any claims against Olsson and releases Olsson from liability relating to or arising out of such services and agrees, to the fullest extent permitted by law, to indemnify and hold Olsson harmless from any and all damages, liabilities or costs, including reasonable attorneys' fees and defense costs, relating to such actions and services.

3.9 Client releases Olsson from liability for any incorrect advice, judgment or decision based on inaccurate information furnished by Client or others.

3.10 If reasonable precautions will be inadequate to prevent foreseeable bodily injury or death to persons resulting from a material or substance, including hazardous materials, encountered on the site, Olsson may immediately stop work in the affected area and report the condition to Client. Client shall be solely responsible for retaining independent consultant(s) to determine the nature of the material and to abate or remove the material. Olsson shall not be required to perform any services or work relating to or in the area of such material until the material has been removed or rendered harmless and only after approval, if necessary of the government agency with jurisdiction.

SECTION 4—MEANING OF TERMS

4.1 The "Cost of Construction" of the entire Project(s) (herein referred to as "Cost of Construction") means the total cost to Client of those portions of the entire Project(s) designed and specified by Olsson, but it will not include Olsson's compensation and expenses, the cost of land, rights-of-way, or compensation for or damages to, properties unless this Agreement so specifies, nor will it include Client's legal, accounting, insurance counseling or auditing services, or interest and financing charges incurred in connection with the Project(s) or the cost of other services to be provided by others to Client pursuant to Section 3.

4.2 The "Salary Costs": Used as a basis for payment mean salaries and wages (base and incentive) paid to all Olsson's personnel engaged directly on the Project(s), including, but not limited to, engineers, architects, surveyors, designers, draftsmen, specification writers, estimators, other technical and business personnel; plus the cost of customary and statutory benefits, including, but not limited to, social security contributions, unemployment, excise and payroll taxes, workers' compensation, health and retirement benefits, sick leave, vacation and holiday pay and other group benefits.

4.3 "Certify" or "a Certification": If included in the Scope of Services, such services shall be limited to a statement of Olsson's opinion, to the best of Olsson's professional knowledge, information and belief, based upon its periodic observations and reasonable review of reports and tests created by Olsson or provided to Olsson. Olsson shall not be responsible for constant or exhaustive observation of the work. Client

understands and agrees that any certifications based upon discrete sampling observations and that such observations indicate conditions that exist only at the locations and times the observations were performed. Performance of such observation services and certification does not constitute a warranty or guarantee of any type, since even with diligent observation, some construction defects, deficiencies or omissions in the work may occur. Olsson shall have no responsibility for the means, methods, techniques, sequences or procedures selected by the contractor(s) or for the contractor's safety precautions and programs nor for failure by the contractor(s) to comply with any laws or regulations relating to the performance or furnishing of any work by the contractor(s). Client shall hold its contractor(s) solely responsible for the quality and completion of the Project(s), including construction in accordance with the construction documents. Any duty under this Agreement is for the sole benefit of the Client and not for any third party, including the contractor(s) or any subcontractor(s). Olsson shall sign pre-printed form certifications only if (a) Olsson approves the form of such certification prior to the commencement of its services, (b) such certification is expressly included in the Scope of Services, (c) the certification is limited to a statement of professional opinion and does not constitute a warranty or guarantee, express or implied. It is understood that any certification by Olsson shall not relieve the Client or the Client's contractors of any responsibility or obligation they may have by industry custom or under any contract.

4.4 "Opinion of Probable Cost": An opinion of probable construction cost made by Olsson. In providing opinions of probable construction cost, it is recognized that neither the Client nor Olsson has control over the costs of labor, equipment or materials, or over the contractor's methods of determining prices or bidding. The opinion of probable construction costs is based on Olsson's reasonable professional judgment and experience and does not constitute a warranty, express or implied, that the contractor's bids or the negotiated price of the work on the Project(s) will not vary from the Client's budget or from any opinion of probable cost prepared by Olsson.

4.5 "Day": A calendar day of 24 hours. The term "days" shall mean consecutive calendar days of 24 hours each, or fraction thereof.

4.6 "Construction Observation": If included in the Scope of Services, such services during construction shall be limited to periodic visual observation and testing of the work to determine that the observed work generally conforms to the contract documents. Olsson shall not be responsible for constant or exhaustive observation of the work. Client understands and agrees that such visual observations are discrete sampling procedures and that such procedures indicate conditions that exist only at the locations and times the observations were performed. Performance of Construction Observation services does not constitute a warranty or guarantee of any type, since even with diligent observation, some construction defects, deficiencies or omissions in the work may occur. Olsson shall have no responsibility for the means, methods, techniques, sequences or procedures selected by the contractor or for the contractor's safety precautions and programs nor for failure by the contractor to comply with any laws or regulations relating to the performance or furnishing of any work by the contractor. Client shall hold its contractor(s) solely responsible for the quality and completion of the Project(s), including construction in accordance with the construction documents. Any duty under this Agreement is for the sole benefit of the Client and not for

any third party, including the contractor or any subcontractor. Client, or its designees shall notify Olsson at least twenty-four (24) hours in advance of any field tests and observations required by the construction documents.

4.7 "Inspect" or "Inspection": If included in the Scope of Services, such services shall be limited to the periodic visual observation of the contractor's completed work to permit Olsson, as an experienced and qualified professional, to determine that the observed work, generally conforms to the contract documents. Olsson shall not be responsible for constant or exhaustive observation of the work. Client understands and agrees that such visual observations are discrete sampling procedures and that such procedures indicate conditions that exist only at the locations and times the observations were performed. Performance of such observation services does not constitute a warranty or guarantee of any type, since even with diligent observation, some construction defects, deficiencies or omissions in the work may occur. Olsson shall have no responsibility for the means, methods, techniques, sequences or procedures selected by the contractor(s) or for the contractor's safety precautions and programs nor for failure by the contractor(s) to comply with any laws or regulations relating to the performance or furnishing of any work by the contractor(s). Client shall hold its contractor(s) solely responsible for the quality and completion of the Project(s), including construction in accordance with the construction documents. Any duty under this Agreement is for the sole benefit of the Client and not for any third party, including the contractor(s) or any subcontractor(s). Client, or its designees, shall notify Olsson at least twenty-four (24) hours in advance of any inspections required by the construction documents.

4.8 "Record Documents": Drawings prepared by Olsson upon the completion of construction based upon the drawings and other data furnished to Olsson by the Contractor and others showing significant changes in the work on the Project(s) made during construction. Because Record Documents are prepared based on unverified information provided by others, Olsson makes no warranty of the accuracy or completeness of the Record Documents.

SECTION 5—TERMINATION

5.1 Either party may terminate this Agreement, for cause upon giving the other party not less than seven (7) calendar days written notice of default for any of the following reasons; provided, however, that the notified party shall have the same seven (7) calendar day period in which to cure the default:

5.1.1 Substantial failure by the other party to perform in accordance with the terms of this Agreement and through no fault of the terminating party;

5.1.2 Assignment of this Agreement or transfer of the Project(s) by either party to any other entity without the prior written consent of the other party;

5.1.3 Suspension of the Project(s) or Olsson's services by the Client for more than ninety (90) calendar days, consecutive or in the aggregate.

5.2 In the event of a "for cause" termination of this Agreement by either party, the Client shall, within fifteen (15) calendar days after receiving Olsson's final invoice, pay Olsson for all services rendered and all reimbursable costs incurred by

Olsson up to the date of termination, in accordance with the payment provisions of this Agreement.

5.2.1 In the event of a "for cause" termination of this Agreement by Client and (a) a final determination of default is entered against Olsson under Section 6.2 and (b) Client has fully satisfied all of its obligations under this Agreement, Olsson shall grant Client a limited license to use the Work Product pursuant to Section 7.1.

5.3 The Client may terminate this Agreement for the Client's convenience and without cause upon giving Olsson not less than seven (7) calendar days written notice. In the event of any termination that is not the fault of Olsson, the Client shall pay Olsson, in addition to payment for services rendered and reimbursable costs incurred, for all expenses reasonably incurred by Olsson in connection with the orderly termination of this Agreement, including but not limited to demobilization, reassignment of personnel, associated overhead costs, any fees, costs or expenses incurred by Olsson in preparing or negotiating any proposals submitted to Client for Olsson's Scope of Services or Optional Additional Services under this Agreement and all other expenses directly resulting from the termination and a reasonable profit of ten percent (10%) of Olsson's actual costs (including overhead) incurred.

SECTION 6—DISPUTE RESOLUTION

6.1. Mediation

6.1.1 All questions in dispute under this Agreement shall be submitted to mediation. On the written notice of either party to the other of the election to submit any dispute under this Agreement to mediation, each party shall designate their representatives and shall meet within ten (10) days after the service of the notice. The parties themselves shall then attempt to resolve the dispute within ten (10) days of meeting.

6.1.2 Should the parties themselves be unable to agree on a resolution of the dispute, and then the parties shall appoint a third party who shall be a competent and impartial party and who shall be acceptable to each party, to mediate the dispute. Any third party mediator shall be qualified to evaluate the performance of both of the parties, and shall be familiar with the design and construction progress. The third party shall meet to hear the dispute within ten (10) days of their selection and shall attempt to resolve the dispute within fifteen (15) days of first meeting.

6.1.3 Each party shall pay the fees and expenses of the third party mediator and such costs shall be borne equally by both parties.

6.2 Arbitration or Litigation

6.2.1 Olsson and Client agree that from time to time, there may be conflicts, disputes and/or disagreements between them, arising out of or relating to the services of Olsson, the Project(s), or this Agreement (hereinafter collectively referred to as "Disputes") which may not be resolved through mediation. Therefore, Olsson and Client agree that all Disputes shall be resolved by binding arbitration or litigation at the sole discretion and choice of Olsson. If Olsson chooses arbitration, the arbitration proceeding shall proceed in accordance with the Construction Industry Arbitration Rules of the AAA.

6.2.2 Client hereby agrees that Olsson shall have the right to include Client, by consolidation, joinder or other manner, in any arbitration or litigation involving Olsson and a subconsultant or subcontractor of Olsson or Olsson and any other person or entity, regardless of who originally initiated such proceedings.

6.2.3 If Olsson chooses arbitration or litigation, either may be commenced at any time prior to or after completion of the Project(s), provided that if arbitration or litigation is commenced prior to the completion of the Project(s), the obligations of the parties under the terms of this Agreement shall not be altered by reason of the arbitration or litigation being conducted. Any arbitration hearings or litigation shall take place in Lincoln, Nebraska, the location of Olsson's home office.

6.2.4 Except to the extent prohibited by law, the prevailing party in any arbitration or litigation relating to any Dispute shall be entitled to recover from the other party those reasonable attorney fees, costs and expenses incurred by the prevailing party in connection with the Dispute. In the event of a Dispute involving a Claim (as hereinafter defined) against Olsson, Olsson shall be considered the "prevailing party" if Client is awarded materially less than the full amount of damages claimed by the Client in connection with the Dispute. In all other Disputes, "prevailing party" shall mean the party (if any) who obtains all, or substantially all, of the relief requested by that party in connection with the Dispute.

6.3 Certification of Merit

Client agrees that it will not assert any claim, including but not limited to, professional negligence, negligence, breach of contract, misconduct, error, omission, fraud, or misrepresentation ("Claim") against Olsson, or any Olsson subconsultant, unless Client has first provided Olsson with a sworn certificate of merit affidavit setting forth the factual and legal basis for such Claim (the "Certificate"). The Certificate shall be executed by an independent engineer ("Certifying Engineer") currently licensed and practicing in the jurisdiction of the Project site. The Certificate must contain: (a) the name and license number of the Certifying Engineer; (b) the qualifications of the Certifying Engineer, including a list of all publications authored in the previous 10 years and a list of all cases in which the Certifying Engineer testified within the previous 4 years; (c) a statement by the Certifying Engineer setting forth the factual basis for the Claim; (d) a statement by the Certifying Engineer of each and every act, error, or omission that the Certifying Engineer contends supports the Claim or any alleged violation of any applicable standard of care; (e) a statement by the Certifying Engineer of all opinions the Certifying Engineer holds regarding the Claim or any alleged violation of any applicable standard of care; (f) a list of every document related to the Project reviewed by the Certifying Engineer; and (g) a list of every individual who provided Certifying Engineer with any information regarding the Project. The Certificate shall be provided to Olsson not less than thirty (30) days prior to any arbitration or litigation commenced by Client or not less than ten (10) days prior to the initial response submitted by Client in any arbitration or litigation commenced by someone other than Client. The Certificate is a condition precedent to the right of Client to assert any Claim in any litigation or arbitration and Client's failure to timely provide a Certificate to Olsson will be grounds for automatic dismissal of the Claim with prejudice. In any such instance, Olsson shall be entitled to an award of attorney's fees, costs, and expenses.

SECTION 7—MISCELLANEOUS

7.1 Reuse of Documents

All documents, including drawings, specifications, reports, boring logs, maps, field data, data, test results, information, recommendations, or opinions prepared or furnished by Olsson (and Olsson's independent professional associates and consultants) pursuant to this Agreement ("Work Product"), are all Olsson's instruments of service, do not constitute goods or products, and are copyrighted works of Olsson. Olsson shall retain an ownership and property interest in such Work Product whether or not the Project(s) is completed. If Client has fully satisfied all of its obligations under this Agreement, Olsson shall grant Client a limited license to use the Work Product and Client may make and retain copies of Work Product for use in connection with the Project(s); however, such Work Product is for the exclusive use and benefit of Client or its agents in connection with the Project(s), are not intended to inform, guide or otherwise influence any other entities or persons with respect to any particular business transactions, and should not be relied upon by any entities or persons other than Client or its agents for any purpose other than the Project(s). Such Work Product is not intended or represented to be suitable for reuse by Client or others on extensions of the Project(s) or on any other Project(s). Client will not distribute or convey such Work Product to any other persons or entities without Olsson's prior written consent which shall include a release of Olsson from liability and indemnification by the third party. Any reuse of Work Product without written verification or adaptation by Olsson for the specific purpose intended will be at Client's sole risk and without liability or legal exposure to Olsson, or to Olsson's independent professional associates or consultants, and Client shall indemnify and hold harmless Olsson and Olsson's independent professional associates and consultants from all claims, damages, losses and expenses including attorneys' fees arising out of or resulting therefrom. Any such verification or adaptation of Work Product will entitle Olsson to further compensation at rates to be agreed upon by Client and Olsson.

7.2 Electronic Files

By accepting and utilizing any electronic file of any Work Product or other data transmitted by Olsson, the Client agrees for itself, its successors, assigns, insurers and all those claiming under or through it, that by using any of the information contained in the attached electronic file, all users agree to be bound by the following terms. All of the information contained in any electronic file is the work product and instrument of service of Olsson, who shall be deemed the author, and shall retain all common law, statutory law and other rights, including copyrights, unless the same have previously been transferred in writing to the Client. The information contained in any electronic file is provided for the convenience to the Client and is provided in "as is" condition. The Client is aware that differences may exist between the electronic files transferred and the printed hard-copy original signed and stamped drawings or reports. In the event of a conflict between the signed original documents prepared by Olsson and the electronic files, which may be transferred, the signed and sealed original documents shall govern. Olsson specifically disclaims all warranties, expressed or implied, including without limitation, and any warranty of merchantability or fitness for a particular purpose with respect to any electronic files. It shall be Client's responsibility to confirm the accuracy of the information contained in the electronic file and that it accurately reflects the information needed by the Client. Client

shall not retransmit any electronic files, or any portion thereof, without including this disclaimer as part of any such transmissions. In addition, Client agrees, to the fullest extent permitted by law, to indemnify and hold harmless Olsson, its officers, directors, employees and sub consultants against any and all damages, liabilities, claims or costs, including reasonable attorney's and expert witness fees and defense costs, arising from any changes made by anyone other than Olsson or from any reuse of the electronic files without the prior written consent of Olsson.

7.3 Opinion of Probable Cost

Since Olsson has no control over the cost of labor, materials, equipment or services furnished by others, or over the contractor(s)' methods of determining prices, or over competitive bidding or market conditions, Olsson's Opinion of Probable Cost provided for herein is made on the basis of Olsson's experience and qualifications and represent Olsson's best judgment as an experienced and qualified professional engineer, familiar with the construction industry. Client acknowledges and agrees that Olsson cannot and does not guarantee proposals or bids and that actual total Project(s) or construction costs may reasonably vary from Olsson's Opinion of Probable Cost. If prior to the bidding or negotiating phase Client wishes greater assurance as to total Project(s) or construction costs, Client shall employ an independent cost estimator as provided in paragraph 3.4.3. If Olsson's Opinion of Probable Cost was performed in accordance with its standard of care and was reasonable under the total circumstances, any services performed by Olsson to modify the contract documents to bring the construction cost within any limitation established by Client will be considered Optional Additional Services and paid for as such by Client. If, however, Olsson's Opinion of Probable Cost was not performed in accordance with its standard of care and was unreasonable under the total circumstances and the lowest negotiated bid for construction of the Project(s) unreasonably exceeds Olsson's Opinion of Probable Cost, Olsson shall modify its work as necessary to adjust the Project(s)' size, and/or quality to reasonably comply with the Client's budget at no additional cost to Client. Under such circumstances, Olsson's modification of its work at no cost shall be the limit of Olsson's responsibility with regard to any unreasonable Opinion of Probable Cost.

7.4 Prevailing Wages

It is Client's responsibility to determine whether the Project(s) is covered under any prevailing wage regulations. Unless Client specifically informs Olsson in writing that the Project(s) is a prevailing wage project and is identified as such in the Scope of Services, Client agrees to reimburse Olsson and to defend, indemnify and hold harmless Olsson from and against any liability, including costs, fines and attorneys' fees, resulting from a subsequent determination that the Project(s) was covered under any prevailing wage regulations.

7.5 Samples

All material testing samples shall remain the property of the Client. If appropriate, Olsson shall preserve samples obtained no longer than forty-five (45) days after the issuance of any document that includes the data obtained from those samples. After that date, Olsson may dispose of the samples or return them to Client at Client's cost.

7.6 Standard of Care

Olsson will strive to perform its services in a manner consistent with that level of care and skill ordinarily exercised by members of Olsson's profession providing similar services in the same locality under similar circumstances at the time Olsson's services are performed. This Agreement creates no other representation, warranty or guarantee, express or implied.

7.7 Force Majeure

Any delay in the performance of any of the duties or obligations of either party hereto (except the payment of money) shall not be considered a breach of this Agreement and the time required for performance shall be extended for a period equal to the period of such delay, provided that such delay has been caused by or is the result of any acts of God, acts of the public enemy, insurrections, riots, embargoes, labor disputes, including strikes, lockouts, job actions, boycotts, fires, explosions, floods, shortages of material or energy, or other unforeseeable causes beyond the control and without the fault or negligence of the party so affected. The affected party shall give prompt notice to the other party of such cause, and shall take promptly whatever reasonable steps are necessary to relieve the effect of such cause.

7.8 Equal Employment Opportunity

Olsson and any sub-consultant or subcontractor shall abide by the requirements of 41 CFR 60-1.4(a), 60-300.5(a) and 60-741.5(a). These regulations prohibit discrimination against qualified individuals based on their status as protected veterans or individuals with disabilities, and prohibit discrimination against all individuals based on their race, color, religion, sex, sexual orientation, gender identity or national origin. Moreover, these regulations require that covered prime contractors and subcontractors take affirmative action to employ and advance in employment individuals without regard to race, color, religion, sex, sexual orientation, gender identity, national origin, disability or veteran status.

7.9 Confidentiality

In performing this Agreement, the parties may disclose to each other written, oral, electronic, graphic, machine-readable, tangible or intangible, non-public, confidential or proprietary data or information in any form or medium, including but not limited to: (1) information of a business, planning, marketing, conceptual, design, or technical nature; (2) models, tools, hardware, software or source code; and (3) any documents, videos, photographs, audio files, data, studies, reports, flowcharts, works in progress, memoranda, notes, files or analyses that contain, summarize or are based upon any non-public, proprietary or confidential information (hereafter referred to as the "Information"). The Information is not required to be marked as confidential.

7.9.1 Therefore, Olsson and Client agree that the party receiving Information from the other party to this Agreement (the "Receiving Party") shall keep Information confidential and not use the Information in any manner other than in the performance of this Agreement without prior written approval of the party disclosing Information (the "Disclosing Party") unless Client is a public entity and the release of Information is required by law or legal process.

7.9.2 Prior to the start of construction on the Project, the existence of discussions between the parties, the purpose of this Agreement, and this Agreement shall be considered Information subject to the confidentiality provisions of this Agreement.

7.9.3 Notwithstanding anything to the contrary herein, the Receiving Party shall have no obligation to preserve the confidentiality of any Information which:

7.9.3.1 was previously known to the Receiving Party free of any obligation to keep it confidential; or

7.9.3.2 is or becomes publicly available by other than unauthorized disclosures; or

7.9.3.3 is independently developed by the Receiving Party without a breach of this Agreement; or

7.9.3.4 is disclosed to third parties by the Disclosing Party without restrictions; or

7.9.3.5 is received from a third party not subject to any confidentiality obligations.

7.9.4 In the event that the Receiving Party is required by law or legal process to disclose any of Information of the Disclosing Party, the Receiving Party required to disclose such Information shall provide the Disclosing Party with prompt oral and written notice, unless notice is prohibited by law (in which case such notice shall be provided as early as may be legally permissible), of any such requirement so that the Disclosing Party may seek a protective order or other appropriate remedy.

7.9.5 Notwithstanding anything to the contrary herein (or to the contrary of any existing or future nondisclosure, confidentiality or similar agreement between the parties), Olsson is authorized, to use, display, reproduce, publish, transmit, and distribute Information (including, but not limited to, videos and photographs of the Project) on and in any and all formats and media (including, but not limited to, Olsson's internet website) throughout the world and in all languages in connection with or in any manner relating to the marketing, advertising, selling, qualifying, proposing, commercializing, and promotion of Olsson and/or its services and business and in connection with any other lawful purpose of Olsson. In the event of any conflict or inconsistency between the provisions of this section and any other prior or future nondisclosure, confidentiality or similar agreement between the parties, the terms of this section shall take precedence.

7.9.6 Nothing contained in this Agreement shall be construed as altering any rights that the Disclosing Party has in the Information exchanged with or disclosed to the Receiving Party, and upon request, the Receiving Party will return all Information received in tangible form to the Disclosing Party, or at the Receiving Party's option, destroy all such Information. If the Receiving Party exercises its option to destroy the Information, the Receiving Party shall certify such destruction to the Disclosing Party.

7.9.7 The parties acknowledge that disclosure or use of Information in violation of this Agreement could cause irreparable harm for which monetary damages may be difficult to ascertain or constitute an inadequate remedy. Each party therefore agrees that the Disclosing Party shall be entitled in

addition to its other rights to seek injunctive relief for any violation of this Agreement.

7.9.8 The obligations of confidentiality set forth herein shall survive termination of this Agreement but shall only remain in effect for a period of one (1) year from the date the Information is first disclosed.

7.10 Damage or Injury to Subterranean Structures or Utilities, Hazardous Materials, Pollution and Contamination

7.10.1 To the extent that work pursuant to this Agreement requires any sampling, boring, excavation, ditching or other disruption of the soil or subsurface at the Site, Olsson shall confer with Client prior to such activity and Client will be responsible for identifying, locating and marking, as necessary, any private subterranean structures or utilities and Olsson shall be responsible for arranging investigation of public subterranean structures or utilities through an appropriate utility one-call provider. Thereafter, Olsson shall take all reasonable precautions to avoid damage or injury to subterranean structures or utilities which were identified by Client or the one-call provider. Olsson shall not be responsible for any damage, liability or costs, for any property damage, injury or economic loss arising or allegedly arising from damages to subterranean structures or utilities caused by subsurface penetrations in locations approved by Client and/or the one call provider or not correctly shown on any plans, drawings or utility clearance provided to Olsson, except for damages caused by the negligence of Olsson in the use of such information.

7.10.2 It is understood and agreed that any assistance Olsson may provide Client in the disposal of waste materials shall not result in Olsson being deemed as a generator, arranger, transporter or disposer of hazardous materials or hazardous waste as defined under any law or regulation. Title to all samples and waste materials remains with Client, and at no time shall Olsson take title to the above material. Client may authorize Olsson to execute Hazardous Waste Manifest, Bill of Lading or other forms as agent of Client. If Client requests Olsson to execute such documents as its agent, the Hazardous Waste Manifest, Bill of Lading or other similar documents shall be completed in the name of the Client. Client agrees to indemnify and hold Olsson harmless from any and all claims that Olsson is a generator, arranger, transporter, or disposer of hazardous waste as a result of any actions of Olsson, including, but not limited to, Olsson signing a Hazardous Waste Manifest, Bill of Lading or other form on behalf of Client.

7.10.3 At any time, Olsson can request in writing that Client remove samples, cuttings and hazardous substances generated by the Project(s) from the project site or other location. Client shall promptly comply with such request, and pay and be responsible for the removal and lawful disposal of samples, cuttings and hazardous substances, unless other arrangements are mutually agreed upon in writing.

7.10.4 Client shall release Olsson of any liability for, and shall defend and indemnify Olsson against any and all claims, liability and expense resulting from operations under this Agreement on account of injury to, destruction of, or loss or impairment of any property right in or to oil, gas, or other mineral substance or water, if at the time of the act or omission causing such injury, destruction, loss or impairment, said substance had not been reduced to physical possession above the surface of

the earth, and for any loss or damage to any formation, strata, reservoir beneath the surface of the earth.

7.10.5 Notwithstanding anything to the contrary contained herein, it is understood and agreed by and between Olsson and Client that the responsibility for pollution and contamination shall be as follows:

7.10.5.1 Unless otherwise provided herein, Client shall assume all responsibility for, including control and removal of, and protect, defend and save harmless Olsson from and against all claims, demands and causes of action of every kind and character arising from pollution or contamination (including naturally occurring radioactive material) which originates above the surface of the land or water from spills of fuels, lubricants, motor oils, pipe dope, paints, solvents, ballast, bilge and garbage, except unavoidable pollution from reserve pits, wholly in Olsson's possession and control and directly associated with Olsson's equipment.

7.10.5.2 In the event a third party commits an act or omission which results in pollution or contamination for which either Olsson or Client, for whom such party is performing work, is held to be legally liable, the responsibility therefore shall be considered as between Olsson and Client, to be the same as if the party for whom the work was performed had performed the same and all of the obligations regarding defense, indemnity, holding harmless and limitation of responsibility and liability, as set forth herein, shall be specifically applied.

7.11 Controlling Law and Venue

The parties agree that this Agreement and any legal actions concerning its validity, interpretation or performance shall be governed by the laws of the State of Nebraska. It is further agreed that any legal action between the parties arising out of this Agreement or the performance of services shall be brought in a court of competent jurisdiction in Nebraska.

7.12 Subconsultants

Olsson may utilize as necessary in its discretion subconsultants and other subcontractors. Olsson will be paid for all services rendered by its subconsultants and other subconsultants as set forth in this Agreement.

7.13 Assignment

7.13.1 Client and Olsson each are hereby bound and the partners, successors, executors, administrators and legal representatives of Client and Olsson (and to the extent permitted by paragraph 7.13.2 the assigns of Client and Olsson) are hereby bound to the other party to this Agreement and to the partners, successors, executors, administrators and legal representatives (and said assigns) of such other party, in respect of all covenants, agreements and obligations of this Agreement.

7.13.2 Neither Client nor Olsson shall assign, sublet or transfer any rights under or interest in (including, but without limitation, moneys that may become due or moneys that are due) this Agreement without the written consent of the other, except to the extent that any assignment, subletting or transfer is mandated by law or the effect of this limitation may be restricted by law. Unless specifically stated to the contrary in any written consent to an assignment, no assignment will release or

discharge the assignor from any duty or responsibility under this Agreement. Nothing contained in this paragraph shall prevent Olsson from employing such subconsultants and other subcontractors as Olsson may deem appropriate to assist in the performance of services under this Agreement.

7.13.3 Nothing under this Agreement shall be construed to give any rights or benefits in this Agreement to anyone other than Client and Olsson, and all duties and responsibilities undertaken pursuant to this Agreement will be for the sole and exclusive benefit of Client and Olsson and not for the benefit of any other party. There are no third-party beneficiaries of this Agreement.

7.14 Indemnity

Olsson and Client mutually agree, to the fullest extent permitted by law, to indemnify and hold each other harmless from any and all damages, liabilities or costs, including reasonable attorneys' fees and defense costs, relating to third party personal injury or third party property damage and arising from their own negligent acts, errors or omissions in the performance of their services under this Agreement, but only to the extent that each party is responsible for such damages, liabilities or costs on a comparative basis of fault.

7.15 Limitation on Damages

7.15.1 Notwithstanding any other provision of this Agreement, and to the fullest extent permitted by law, neither party's individual employees, principals, officers or directors shall be subject to personal liability or damages arising out of or connected in any way to the Project(s) or to this Agreement.

7.15.2 Notwithstanding any other provision of this Agreement, and to the fullest extent permitted by law, neither Client nor Olsson, their respective officers, directors, partners, employees, contractors or subconsultants shall be liable to the other or shall make any claim for any delay damages, any punitive damages or any incidental, indirect or consequential damages arising out of or connected in any way to the Project(s) or to this Agreement. This mutual waiver of delay damages and consequential damages shall include, but is not limited to, disruptions, accelerations, inefficiencies, increased construction costs, increased home office overhead, loss of use, loss of profit, loss of business, loss of income, loss of reputation or any other delay or consequential damages that either party may have incurred from any cause of action including, but not limited to, negligence, statutory violations, misrepresentation, fraud, deceptive trade practices, breach of fiduciary duties, strict liability, breach of contract and/or breach of strict or implied warranty. Both the Client and Olsson shall require similar waivers of consequential damages protecting all the entities or persons named herein in all contracts and subcontracts with others involved in the Project(s).

7.15.3 Notwithstanding any other provision of this Agreement, Client agrees that, to the fullest extent permitted by law, Olsson's total liability to the Client for any and all injuries, claims, losses, expenses, damages, or claims expenses of any kind arising from any services provided by or through Olsson under this Agreement, shall not exceed the amount of Olsson's fee earned under this Agreement. Client acknowledges that such causes include, but are not limited to, negligence, statutory violations, misrepresentation, fraud, deceptive trade practices, breach of fiduciary duties, strict liability, breach of contract

and/or breach of strict or implied warranty. This limitation of liability shall apply to all phases of Olsson's services performed in connection with the Project(s), whether subsequent to or prior to the execution of this Agreement.

7.16 Entire Agreement/Severability

This Agreement supersedes all prior communications, understandings and agreements, whether oral or written. Amendments to this Agreement must be in writing and signed by the Client and Olsson. If any part of this Agreement is found to conflict with applicable law, such part alone shall be null and void and considered stricken, but the remainder of this Agreement shall be given full force and effect.

Connie Beck

From: Brian Friedrichsen <bfriedrichsen@olsson.com>
Sent: Wednesday, March 13, 2024 10:47 AM
To: Connie Beck; Matt Helzer
Subject: St. Paul Fire Barn Drainage Improvements - Letter Agreement & Cost Estimate
Attachments: St. Paul Drainage Improvements Letter Agreement.pdf; Project Cost Estimate.pdf

Connie/Matt,

Attached please find the Olsson letter agreement to complete the work from design through construction on the storm sewer improvements behind the proposed fire barn. I have also included a cost estimate to complete the project. Keep in mind, we may be able to save some dollars on both the engineering fees and construction costs if we are able to use some existing information and tie this in to an already existing project. I will plan on being in attendance at your meeting on Monday to answer any questions that the council may have.

Thanks,

Brian J. Friedrichsen, PE

Project Engineer / Civil

D 308.398.2946

C 308.750.4326

201 E. Second Street
Grand Island, NE 68801
O 308.384.8750



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[View Legal Disclaimer](#)

Connie Beck

From: Andrew Wilshusen <awilshusen@jeo.com>
Sent: Tuesday, March 12, 2024 3:28 PM
To: Matt Helzer
Cc: Connie Beck
Subject: St. Paul Storm Sewer Improvements Agreement & Construction Estimate
Attachments: 240947 - St. Paul Storm Sewer Agreement.pdf; St Paul Fire Hall Storm Sewer Cost Estimate 3-12-2024.pdf

Matt,

Attached you will find two separate documents.

The first one is JEO's Agreement. This agreement covers project management, project design, bidding, and construction services for the storm sewer improvements.

The second attachment is the opinion of cost for only the construction amount of the project.

Let me know if this will be on the agenda for Monday's council meeting. I am more than happy to attend the meeting, present the agreement/cost opinion, and answer any questions.

Can you please confirm you received the email and the attachments.

Thanks!

Andrew Wilshusen | *Transportation Project Manager*

o: 402.474.8793 | m: 402.768.1120 | e: awilshusen@jeo.com
JEO Consulting Group | 308 W. 3rd St | Grand Island, NE 68801





**AGREEMENT
BETWEEN OWNER AND ENGINEER
FOR
PROFESSIONAL SERVICES**

THIS IS AN AGREEMENT effective as of _____ between City of St. Paul ("Owner") and JEO Consulting Group, Inc. ("Engineer").

Owner's project, of which Engineer's services under this Agreement are a part, is generally identified as follows:

St. Paul Storm Sewer Improvements ("Project").

JEO Project Number: 240947.00

Owner and Engineer further agree as follows:

ARTICLE 1 - SERVICES OF ENGINEER

1.01 Scope

- A. Engineer shall provide, or cause to be provided, the services set forth herein and in Exhibit A.

ARTICLE 2 - OWNER'S RESPONSIBILITIES

2.01 Owner Responsibilities

- A. Owner responsibilities are outlined in Section 3 of Exhibit B.

ARTICLE 3 - COMPENSATION

3.01 Compensation

- A. Owner shall pay Engineer as set forth in Exhibit A and per the terms in Exhibit B.
- B. The fee for the Project is:
- C. The Standard Hourly Rates Schedule shall be adjusted annually (as of approximately January 1st) to reflect equitable changes in the compensation payable to Engineer. The current hourly rate schedule can be provided upon request.

ARTICLE 4 - EXHIBITS AND SPECIAL PROVISIONS

4.01 Exhibits

Exhibit A – Scope of Services

Exhibit B – General Conditions

4.02 Total Agreement

- A. This Agreement (consisting of pages 1 to 2 inclusive, together with the Exhibits identified as included above) constitutes the entire agreement between Owner and Engineer and supersedes all prior written or oral understandings. This Agreement may only be amended, supplemented, modified, or canceled by a duly executed written instrument.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement.

Owner:

By: _____

Title: _____

Date Signed: _____

Address for giving notices:

Engineer: JEO Consulting Group, Inc.



By: Andrew Wilshusen

Title: Project Manager

Date Signed: 3/12/2024

Address for giving notices:

JEO Consulting Group, Inc.

308 West 3rd Street

Grand Island, NE 68801



**SCOPE OF SERVICES:
Exhibit A**

PROJECT DESCRIPTION:

St. Paul, NE: The project will consist of installing new storm sewer and storm sewer structures including manholes and area inlets to eliminate the existing drainage way running from Jay Street to Kendall Street on the southeast corner of 4th and Kendall Street east of the proposed new fire station. This scope of services will provide project management, design, bidding, and construction services.

1 DESIGN PHASE

- 1.1 Provide Project Management throughout all Phase of this project, to include:
 - 1.1.1 Coordination of all design disciplines including facilitating communication and transfer of documents between disciplines to minimize errors in the technical memos, plans and specifications, as well as ensure a timely project design.
 - 1.1.2 Provide timely and coordinated communication to and from the Owner for requests for information, providing progress updates, scheduling meetings, and receiving and providing feedback.
 - 1.1.3 Provide oversight to ensure scope of services and schedule is met.
 - 1.1.4 Work with disciplines to identify potential risks and how to mitigate those risks.
 - 1.1.5 Review billed hours by design team and prepare invoice statements for Owner.
- 1.2 Review of existing data and design requirements.
- 1.3 Perform hydraulic analysis of key drainage features and areas. Hydraulic analysis to be performed for the purpose of locating and sizing drainage pipes and inlets. A short drainage memo will be provided.
- 1.4 Prepare 75% complete preliminary plans, to include:
 - 1.4.1 Cover sheet and general location maps
 - 1.4.2 Survey control sheets
 - 1.4.3 Removal plan
 - 1.4.4 Construction plan
 - 1.4.5 Preliminary storm sewer design
- 1.5 Prepare a 75% complete opinion of probable construction cost.
- 1.6 Perform an internal quality assurance/quality control (QA/QC) review of the preliminary plans and specifications.
- 1.7 Conduct a plan-in-hand review in the field with the Owner to confirm the proposed layout, survey information and opinion of probable construction cost. {One meeting}
- 1.8 Submit 75% complete plans to utility companies for review of potential conflicts. Owner is to provide names and addresses for utility companies licensed or permitted with the Owner that may have utilities in the project area.
- 1.9 Revise plans and specifications based on the QA/QC comments and the 75% complete design meeting with the Owner.
- 1.10 Revise and advance plan sheets from the 75% complete set.

- 1.11 Prepare 90% complete plans and specifications. Plans and specifications to include:
 - 1.11.1 All sheets previously listed for the 75% complete plans.
 - 1.11.2 Insertion of design detail sheets.
 - 1.11.3 Completion of the special provisions section of the specifications.
 - 1.11.4 Complete all forms for Contract Documents including proposals, advertisements for bids, construction contracts, and payment and performance bonds as required.
- 1.12 Perform an internal QA/QC review of the 90% complete plans and specifications.
- 1.13 Finalize construction drawings and specifications subject to Owner's approval.
- 1.14 Prepare a list of final construction quantities and furnish a final opinion of probable construction cost.
- 1.15 Provide completed final documents (Plans, Specifications, and Contract Documents) signed and sealed by a professional engineer registered in the State of Nebraska to Owner.
- 1.16 Attend up to one (1) meeting to review final design documents and opinions of probable construction cost, obtain approval of the final plans, specifications and bid documents and receive authorization to submit final plans, specifications and bid documents to the appropriate agencies for review and approval.

2 BIDDING AND NEGOTIATION PHASE

- 2.1 Obtain approval of plans and specifications and authorization to advertise for bids from Owner. (One meeting)
- 2.2 Provide assistance with authorizing the advertisement for bids and setting the bid date and time.
- 2.3 Send Notice to Bidders to Contractors, Builder Bureaus and Plan Rooms.
- 2.4 Furnish electronic or paper copies of plans, specifications, and contract documents of the project to prospective bidders, material suppliers, and other interested parties upon their request and payment of the non-refundable purchase cost established by the Engineer for the documents.
- 2.5 Respond to inquiries from prospective bidders and prepare any addenda required.
- 2.6 Assist the Owner in securing construction bids for the project.
- 2.7 Assist the Owner at the bid opening, consisting of one (1) meeting.
- 2.8 Tabulate and analyze construction bids and report on them to the Owner, together with advice and assistance to the Owner in award of construction contract.
- 2.9 Attend one (1) meeting with the Owner to present and review all bids received and assist the Owner in award of the construction contract.
- 2.10 Prepare and submit necessary information to the Owner for project award approval.
- 2.11 Prepare Contract Documents (Construction Contract and Notice to Proceed) for execution by the Prime Contractor(s) and the Owner; provide cursory reviews of all insurance and bonds submittals; then advise the Owner to proceed with execution of all documents.
- 2.12 Provide copies of all executed Contract Documents to the Owner and Prime Contractor(s).

3 CONSTRUCTION PHASE

- 3.1 Schedule and conduct a Pre-construction Conference, consisting of one (1) meeting prior to construction beginning. This conference (Pre-Con) will review the required timelines set forth in

the specifications, lines of communication, key contacts of those involved, review any conflicts with utilities or schedules, review the schedule proposed by the Contractor, review any requirements of the Contractor for locates and staking needs, etc. Minutes of the Pre-Construction Conference will be provided to all participants by the Engineer.

- 3.2 Provide baseline survey for horizontal and vertical controls for the proposed improvements, to be referenced by both the Engineer and Contractor during the construction of the project.
- 3.3 Provide construction staking of the proposed improvements, including marking removals, location and grade of the proposed storm sewer improvements.
- 3.4 Review shop drawings and related data supplied by the Contractor.
- 3.5 Provide interpretation of the plans and specifications, when necessary.
- 3.6 Review and process Contractor's monthly payment applications and change orders (if necessary) and provide to Owner for review and approval.
- 3.7 Attend up to two (2) City Council meetings during construction to provide project updates and assistance with pay applications, change orders, etc.
- 3.8 Consult with and advise Owner during construction regarding all aspects of the project.
- 3.9 Perform measurement of all final as-built quantities.
- 3.10 Conduct a final inspection of project with the Contractor and Owner.
- 3.11 Prepare a final punch list of outstanding items needing completion prior to finalization of the project based on field observations and reviews by the Resident Project Representative, Contractor, and Owner.
- 3.12 Recommend to the Owner the acceptance of the project and complete the necessary certificate(s). This recommendation will be based on the Engineer's observation of construction utilizing professional judgment and accepted tests to determine that the Contractor has completed their contracts in substantial compliance with the plans, specifications and contract documents.
- 3.13 Prepare Record Drawings.
- 3.14 Assist the Owner during the 12-month warranty period with questions and coordination with the contractor for warranty period correction items.
- 3.15 Issue 6- and 11-month warranty letters to the Owner and Contractor. Conduct field reviews of project should a field inspection be necessary.
- 3.16 Issue a warranty period correction letter to the contractor for warranty repair items if necessary.

4 RESIDENT PROJECT REPRESENTATION

- 4.1 JEO will furnish a part-time Resident Project Representative (RPR) to observe construction progress and quality of the work. Estimated at 20 hours.
- 4.2 The duties and responsibilities of the RPR are described as follows:
 - 4.2.1 Review of contractors work for general compliance with the plans and specifications.
 - 4.2.2 Complete Construction Observation Reports when on site
 - 4.2.3 Coordinate pay quantities with contractor and engineer.
 - 4.2.4 Review of materials delivered to the site for specification compliance.
 - 4.2.5 Assist the engineer in interpretation of the plans and specifications to the contractor.

OWNER RESPONSIBILITIES

- 4.3 Provide timely review of documents or requests for information.
- 4.4 Provide access to property to conduct proposed services
- 4.5 Provide contact information for utility companies within the right-of-way along the project route.

5 FEE

- 5.1 JEO proposes to provide the services defined above for the fees defined below:

Total for Scope of Work (lump sum)

\$ 19,800.00

6 PROGRESS PAYMENTS

- 6.1 JEO will bill for services completed near the end of each month. All invoices are due payable upon receipt and are considered delinquent after 30 days.
- 6.2 Invoices not paid within 30 days may be charged interest at the annual rate of 12% (1.0%/month).
- 6.3 Payments will be applied first to the interest then principal.
- 6.4 Work by JEO will cease if invoices have not been paid in full within 60 days and will not begin again until full payment with interest has been received.

7 CONTRACT TIME

- 7.1 JEO will work as expeditiously as possible, pending authorization from Owner to complete the tasks in this project.
- 7.2 Design Phase – 60 days from authorization to proceed.
- 7.3 Bidding and Negotiation Phase – 45-60 days from authorization to advertise.
- 7.4 Construction Phase – Summer 2024
- 7.5 If the Basic Services covered by this Agreement have not been completed by October 1, 2024, through no fault of JEO, extension or adjustment of JEO's services beyond that time shall be compensated as additional services.
- 7.6 The information in this proposal and fee estimate is valid until April 15, 2024. After that time, the scope of services and estimated are subject to adjustment.

8 EXCLUSIONS

- 8.1 Geotechnical investigation of subsurface soils conditions
- 8.2 Topographic Survey (Use topographic survey from fire station)
- 8.3 Land rights and ownership
- 8.4 Floodplain, US Army Corps of Engineers Section 404, or other environmental permitting
- 8.5 Wetlands determination and mitigation
- 8.6 Traffic study
- 8.7 SWPPP preparation, administration and inspections
- 8.8 Any permit fees associated with permit applications
- 8.9 Special meetings and meetings not outlined in the Scope of Services
- 8.10 Signing, marking, and traffic control plans
- 8.11 Street lighting and electrical design

- 8.12 Grant administration
- 8.13 Payroll record review and labor interviews
- 8.14 Easement and right of way description preparation
- 8.15 Utility relocation design (water, sanitary sewer, electrical, communication, natural gas, etc.)
- 8.16 Materials testing during construction
- 8.17 Preparing permit applications

9 REIMBURSABLE EXPENSES

- 9.1 Typical reimbursable expenses are included in the lump-sum and cover: mileage for trips required to complete the work defined above, long-distance phone calls, meals, other travel expenses, software, copies/prints, and faxes.
- 9.2 Other reimbursable expenses shall be billed at 110% of their cost. (None are anticipated on this project.)

10 ADDITIONAL TERMS

- 10.1 The General Conditions are specified in Exhibit B.

JEO CONSULTING GROUP INC □ JEO ARCHITECTURE INC

1. SCOPE OF SERVICES: JEO Consulting Group, Inc. (JEO) shall perform the services described in Exhibit A. JEO shall invoice the owner for these services at the fee stated in Exhibit A.

2. ADDITIONAL SERVICES: JEO can perform work beyond the scope of services, as additional services, for a negotiated fee or at fee schedule rates.

3. OWNER RESPONSIBILITIES: The owner shall provide all criteria and full information as to the owner's requirements for the project; designate and identify in writing a person to act with authority on the owner's behalf in respect to all aspects of the project; examine and respond promptly to JEO's submissions; and give prompt written notice to JEO whenever the owner observes or otherwise becomes aware of any defect in work.

Unless otherwise agreed, the owner shall furnish JEO with right-of-access to the site in order to conduct the scope of services. Unless otherwise agreed, the owner shall also secure all necessary permits, approvals, licenses, consents, and property descriptions necessary to the performance of the services hereunder. While JEO shall take reasonable precautions to minimize damage to the property, it is understood by the owner that in the normal course of work some damage may occur, the restoration of which is not a part of this agreement.

4. TIMES FOR RENDERING SERVICES: JEO's services and compensation under this agreement have been agreed to in anticipation of the orderly and continuous progress of the project through completion. Unless specific periods of time or specific dates for providing services are specified in the scope of services, JEO's obligation to render services hereunder shall be for a period which may reasonably be required for the completion of said services.

If specific periods of time for rendering services are set forth or specific dates by which services are to be completed are provided, and if such periods of time or date are changed through no fault of JEO, the rates and amounts of compensation provided for herein shall be subject to equitable adjustment. If the owner has requested changes in the scope, extent, or character of the project, the time of performance of JEO's services shall be adjusted equitably.

5. INVOICES: JEO shall submit invoices to the owner monthly for services provided to date and a final bill upon completion of services. Invoices are due and payable within 30 days of receipt. Invoices are considered past due after 30 days. Owner agrees to pay a finance charge on past due invoices at the rate of 1.0% per month, or the maximum rate of interest permitted by law.

If the owner fails to make any payment due to JEO for services and expenses within 30 days after receipt of JEO's statement, JEO may, after giving 7 days' written notice to the owner, suspend services to the owner under this agreement until JEO has been paid in full all amounts due for services, expenses, and charges.

6. STANDARD OF CARE: The standard of care for all services performed or furnished by JEO under the agreement

shall be the care and skill ordinarily used by members of JEO's profession practicing under similar circumstances at the same time and in the same locality. JEO makes no warranties, express or implied, under this agreement or otherwise, in connection with JEO's services.

JEO shall be responsible for the technical accuracy of its services and documents resulting therefrom, and the owner shall not be responsible for discovering deficiencies therein. JEO shall correct such deficiencies without additional compensation except to the extent such action is directly attributable to deficiencies in owner furnished information.

7. REUSE OF DOCUMENTS: Reuse of any materials (including in part plans, specifications, drawings, reports, designs, computations, computer programs, data, estimates, surveys, other work items, etc.) by the owner on a future extension of this project, or any other project without JEO's written authorization shall be at the owner's risk and the owner agrees to indemnify and hold harmless JEO from all claims, damages, and expenses including attorney's fees arising out of such unauthorized use.

8. ELECTRONIC FILES: Copies of Documents that may be relied upon by the owner are limited to the printed copies (also known as hard copies) that are signed or sealed by JEO. Files in electronic media format of text, data, graphics, or of other types that are furnished by JEO to the owner are only for convenience of the owner. Any conclusion or information obtained or derived from such electronic files shall be at the user's sole risk.

a. Because data stored in electronic media format can deteriorate or be modified inadvertently or otherwise without authorization of the data's creator, the party receiving electronic files agrees that it shall perform acceptance tests or procedures within 30 days, after which the receiving party shall be deemed to have accepted the data thus transferred. Any errors detected within the 30 day acceptance period shall be corrected by the party delivering the electronic files. JEO shall not be responsible to maintain documents stored in electronic media format after acceptance by the owner.

b. When transferring documents in electronic media format, JEO makes no representations as to long term compatibility, usability, or readability of documents resulting from the use of software application packages, operating systems, or computer hardware differing from those used by JEO at the beginning of the project.

c. The owner may make and retain copies of documents for information and reference in connection with use on the project by the owner.

d. If there is a discrepancy between the electronic files and the hard copies, the hard copies govern.

e. Any verification or adaptation of the documents by JEO for extensions of the project or for any other project shall entitle JEO to further compensation at rates to be agreed upon by the owner and JEO.

9. SUBCONSULTANTS: JEO may employ consultants as JEO deems necessary to assist in the performance of the services. JEO shall not be required to employ any consultant unacceptable to JEO.

10. INDEMNIFICATION: To the fullest extent permitted by law, JEO and the owner shall indemnify and hold each other

JEO CONSULTING GROUP INC □ JEO ARCHITECTURE INC

harmless and their respective officers, directors, partners, employees, and consultants from and against any and all claims, losses, damages, and expenses (including but not limited to all fees and charges of engineers, architects, attorneys, and other professionals, and all court or arbitration or other dispute resolution costs) to the extent such claims, losses, damages, or expenses are caused by the indemnifying parties' negligent acts, errors, or omissions. In the event claims, losses, damages, or expenses are caused by the joint or concurrent negligence of JEO and the owner, they shall be borne by each party in proportion to its negligence.

11. INSURANCE: JEO shall procure and maintain the following insurance during the performance of services under this agreement:

- a. Workers' Compensation: Statutory
- b. Employer's Liability
 - i. Each Accident: \$500,000
 - ii. Disease, Policy Limit: \$500,000
 - iii. Disease, Each Employee: \$500,000
- c. General Liability
 - i. Each Occurrence (Bodily Injury and Property Damage): \$1,000,000
 - ii. General Aggregate: \$2,000,000
- d. Auto Liability
 - i. Combined Single: \$1,000,000
- e. Excess or Umbrella Liability
 - i. Each Occurrence: \$1,000,000
 - ii. General Aggregate: \$1,000,000
- f. Professional Liability:
 - i. Each Occurrence: \$1,000,000
 - ii. General Aggregate: \$2,000,000
- g. All policies of property insurance shall contain provisions to the effect that JEO and JEO's consultants' interests are covered and that in the event of payment of any loss or damage the insurers shall have no rights of recovery against any of the insureds or additional insureds thereunder.
- h. The owner shall require the contractor to purchase and maintain general liability and other insurance as specified in the Contract Documents and to cause JEO and JEO's consultants to be listed as additional insured with respect to such liability and other insurance purchased and maintained by the contractor for the project.
 - i. The owner shall reimburse JEO for any additional limits or coverages that the owner requires for the project.

12. TERMINATION: This agreement may be terminated by either party upon 7 days prior written notice. In the event of termination, JEO shall be compensated by owner for all services performed up to and including the termination date. The effective date of termination may be set up to thirty (30) days later than otherwise provided to allow JEO to demobilize personnel and equipment from the site, to complete tasks whose value would otherwise be lost, to prepare notes as to the status of completed and uncompleted tasks, and to assemble project materials in orderly files.

13. GOVERNING LAW: This agreement is to be governed by the law of the state in which the project is located.

14. SUCCESSORS, ASSIGNS, AND BENEFICIARIES: The owner and JEO each is hereby bound and the partners, successors, executors, administrators and legal representatives of the owner and JEO are hereby bound to the other party to this agreement and to the partners, successors, executors, administrators and legal representatives (and said assigns) of such other party, with respect to all covenants, agreements and obligations of this agreement.

- a. Neither the owner nor JEO may assign, sublet, or transfer any rights under or interest (including, but without limitation, monies that are due or may become due) in this agreement without the written consent of the other, except to the extent that any assignment, subletting, or transfer is mandated or restricted by law. Unless specifically stated to the contrary in any written consent to an assignment, no assignment shall release or discharge the assignor from any duty or responsibility under this agreement.
- b. Unless expressly provided otherwise in this agreement: Nothing in this agreement shall be construed to create, impose, or give rise to any duty owed by the owner or JEO to any contractor, contractor's subcontractor, supplier, other individual or entity, or to any surety for or employee of any of them.
- c. All duties and responsibilities undertaken pursuant to this agreement shall be for the sole and exclusive benefit of the owner and JEO and not for the benefit of any other party.

15. PRECEDENCE: These standards, terms, and conditions shall take precedence over any inconsistent or contradictory language contained in any proposal, contract, purchase order, requisition, notice to proceed, or like document regarding JEO's services.

16. SEVERABILITY: Any provision or part of the agreement held to be void or unenforceable shall be deemed stricken, and all remaining provisions shall continue to be valid and binding upon the owner and JEO, who agree that the agreement shall be reformed to replace such stricken provision or part thereof with a valid and enforceable provision that comes as close as possible to expressing the intention of the stricken provision.

17. NON-DISCRIMINATION CLAUSE: Pursuant to Neb. Rev. Stat. § 73-102, the parties declare, promise, and warrant that they have and will continue to comply fully with Title VI of the Civil Rights Act of 1964, as amended (42 U.S.C.A § 1985, et seq.) and the Nebraska Fair Employment Practice Act, Neb. Rev. Stat. § 48-1101, et seq., in that there shall be no discrimination against any employee who is employed in the performance of this agreement, or against any applicant for such employment, because of age, color, national origin, race, religion, creed, disability or sex.

18. E-VERIFY: JEO shall register with and use the E-Verify Program, or an equivalent federal program designated by the United States Department of Homeland Security or other federal agency authorized to verify the work eligibility status of a newly hired employee pursuant to the Immigration Reform and Control Act of 1986, to determine the work eligibility status of new employees physically performing services within the state where the work shall be performed. Engineer shall require the same of each consultant.

ENGINEER'S BUDGETARY OPINION OF PROBABLE COST

St. Paul Fire Hall Storm Sewer Improvements
 St. Paul, Nebraska
 JEO Project No. 240947

Date Prepared:
 March 12, 2024



ESTIMATE OF QUANTITIES

Item #	Description	Unit	Quantity	Unit Price	Total
BASE BID/GROUP X - INSTALL/BUILD <INFRASTRUCTURE>					
1.	Mobilization	LS	1	\$12,000.00	\$12,000
2.	Bonding and Insurance	LS	1	\$4,000.00	\$4,000
3.	36" HDPE Storm Sewer	LF	600	\$160.00	\$96,000
4.	15" HDPE Storm Sewer	LF	100	\$65.00	\$6,500
5.	Storm Sewer Manhole (8'x4')	EA	2	\$7,500.00	\$15,000
6.	Area Inlet	EA	3	\$2,500.00	\$7,500
7.	Concrete Collar	EA	2	\$1,000.00	\$2,000
8.	Hydro-Seeding, Fertilizer and Mulch	ACRE	0.5	\$5,000.00	\$2,500
9.	Earthwork Measured in Embankment (Established Quantity)	CY	1,100	\$20.00	\$22,000
				Construction Subtotal Base Bid	\$167,500
				Contingency 25%	\$41,880
				Total Opinion of Construction Cost	\$209,380
				Total Opinion of Project Cost	\$209,380

JEO Consulting Group Inc.'s (JEO) Opinions of Probable Cost provided for herein are to be made on the basis of JEO's experience and qualifications and represent JEO's best judgment. However, since JEO has no control over the cost of labor, materials, equipment, or services furnished by others, or over the Contractor's methods of determining prices, or over competitive bidding or market conditions, JEO cannot and does not guarantee that proposals, bids, or actual construction cost will not vary from Opinions of Probable Cost prepared by JEO.

St. Paul Fire and Rescue
New Fire Station
4th & Kendall Street
St. Paul, Nebraska 68873

JEO PROJECT NO. 220519

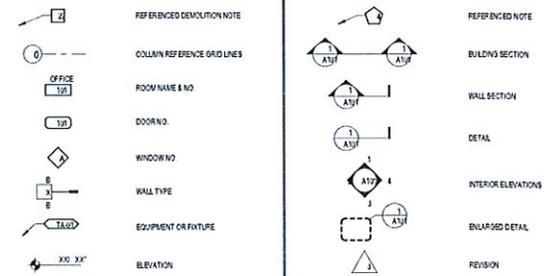
INDEX OF DRAWINGS

GENERAL			
G01	Cover Sheet, Index of Drawings, and General Notes	M22	Mechanical Plans
G02	Code Review	M21	Mechanical Details
C01	Existing Conditions and Demolition Plan	M23	Mechanical Details
C01	Site Layout Plan	M24	Mechanical Schedules
C01	Site Grading Plan	M25	Mechanical Schedules
C01	Excavation Control Plan	E01	Electrical Symbols, Abbreviations, and Notes
C42	SWPPP Details	E02	Site Plan - Electrical
C01	Site Utility Plan	E03	Floor Plan - Lighting and Fire Alarm
C01	Details	E04	Floor Plan - Power and Signal Systems
C02	Details	E05	Electrical Details
C02	Details	E06	Electrical Schedules & Data's
C02	Details	E07	Electrical Schedules
STRUCTURAL			
S01	General Notes		
S01	Foundation Plan		
ARCHITECTURAL			
A10	Floor Plan		
A11	Reflected Ceiling Plan		
A12	Roof Plan		
A21	Exterior Elevations		
A31	Building Sections		
A32	Wall Sections and Details		
A33	Wall Types		
A34	Enlarged Plans & Interior Elevations		
A35	Enlarged Plans, Interior Elevations, & Details		
A36	Details		
A37	Schedules and Door & Frame Types		
A38	Door Hardware Schedules		
MECHANICAL			
M00	Mechanical Symbols, Abbreviations, and Notes		
M01	Floor Plan - Plumbing		
M01	Floor Plan - HVAC		
M01	Enlarged Mechanical Plans		

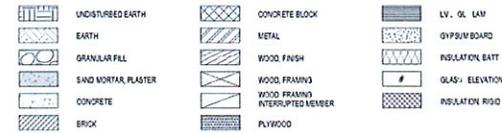
COORDINATING PROFESSIONAL:

L Corey Brodesen, an the Coordinating Professional on the St Paul Fire and Rescue project.

SYMBOLS:



MATERIALS INDICATION:

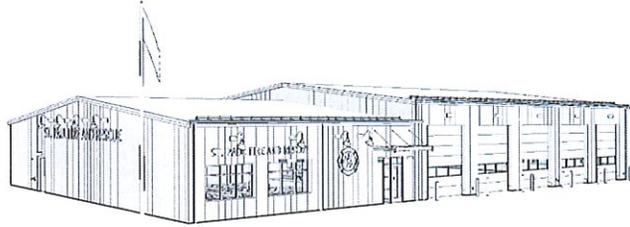


GENERAL CONSTRUCTION NOTES:

- General notes apply to all trades working on the project.
- Do not scale drawings.
- Verify all dimensions and required clearances between existing conditions and shop drawings prior to fabrication and installation.
- The building construction methods are assumed, as much as possible, based on available information. Contractor shall field verify all dimensions, locations, utilities, and equipment prior to the start of foundation or new construction. Report any discrepancies to the Architect before proceeding with the work.
- Contract documents are to be read in their entirety and shall be taken to be the minimum amount of work to be performed by the contractor. The contractor shall be responsible for the coordination and execution of the work and use of materials. Contractor shall verify the Owner's minimum of 48 hours before commencement of any work operation for which testing or special observation is required.
- Contractor's use of materials and workmanship shall be subject to the maximum amount of testing to be necessary to complete the work. The location of the work shall be approved by the Owner.
- Contractor shall maintain all necessary communications for the construction of the project and safety. Safety provisions of applicable laws and building and construction codes shall be observed.
- Contractor shall maintain the work of others and maintain same clean to work. The work of others shall be maintained in a clean and safe condition. Any work damaged by Contractor shall be repaired to the condition prior to damage and upon to subsequent phases.
- Reinforcement be maintained in all locations. Make provisions for the normal functions of the site can be maintained through the construction period.
- Contractor shall provide temporary fences and barricades as required to protect the public.
- Verify all existing conditions are as indicated on the drawings prior to start of construction. Any discrepancies shall be reported to the Architect who will render a decision on any required revisions.
- All work shall be completed in accordance with all National, State, and local codes having jurisdiction.

CONTACTS:

OWNER:	ST. PAUL	ADDRESS: City of St. Paul, Nebraska 704 6th Street St. Paul, NE 68873	CONTACT INFO: Corrie Beck, City Clerk cbeck@cityofstpaulne.org 308.754.4483
ARCHITECT:		ADDRESS: JEO Architecture, Inc. 2000 Q St., Suite 500 Lincoln, NE 68503	CONTACT INFO: James Meyer jmejr@jeo.com P: 402.435.3080 F: 402.435.4110
CIVIL ENGINEER:		ADDRESS: JEO Architecture, Inc. 11213 Davenport Street, Suite 200 Omaha, NE 68114	CONTACT INFO: Kyle Crouch kcrouch@jeo.com P: 402.934.3980 F: 402.934.9081
STRUCTURAL ENGINEER:		ADDRESS: JEO Architecture, Inc. 2000 Q St., Suite 500 Lincoln, NE 68503	CONTACT INFO: Cody Luren cluren@jeo.com P: 402.435.3080 F: 402.435.4110
MECHANICAL ENGINEER:		ADDRESS: Alvine Engineering 1220 Lincoln Mall #200 Lincoln, NE 68508	CONTACT INFO: Brian Hatfield bhatf@alvine.com P: 402.477.6161 F: 402.477.6916
ELECTRICAL ENGINEER:		ADDRESS: Alvine Engineering 1220 Lincoln Mall #200 Lincoln, NE 68508	CONTACT INFO: Joe Kosen jkosen@alvine.com P: 402.477.6161 F: 402.477.6916



STANDARD ABBREVIATIONS:

AE	ARCHITECT ENGINEER	EQ	EQUAL	MFR	MANUFACTURER	S SURF	SOLID SURFACE
ACT	ACOUSTIC CEILING TILE	EQUIP	EQUIPMENT	M/N	MINUTES	SS	STAINLESS STEEL
AFF	ASPH/FLT FINISHED FLOOR	EQWV	EQUIVALENT	MISC	MISCELLANEOUS	ST	STEEL
ALUM	ALUMINUM	EW	EACH WAY	NC	NOT IN CONTRACT	STD	STANDARD
ALT	ALTERNATE	EXIST	EXISTING	NTS	NOT TO SCALE	STOR	STORAGE
ADPH	ADHESIVE	EXH FAN	EXHAUST FAN	CC	ON CENTER	STRUT	STRUCTURAL
BD	BOARD	EXT	EXTERIOR	OFOI	OVERHEAD	T&B	TOP AND BOTTOM
BLDG	BUILDING	FD	FLOOR DRAIN	OH	OVERHEAD	T&S	TONGUE AND GROOVE
BO	BOTTOM OF	FE	FIRE EXTINGUISHER	PAT	PART	TBD	TO BE DETERMINED
CT	CERAMIC TILE	FEC	FREIGHT/EXHAUST CABINET	PLM	PLASTIC LAMINATE	TD	TRENCH DRAIN
CJ	CONTROL JOINT	FN	FINISH	PLYWD	PLYWOOD	TEMP	TEMPORARY
CL	CENTER LINE	GLV	GALVANIZED	PREFAB	PREPARED/FACTORY	TO	TOP OF
CLR	CLEAR	GLULAM	GLUE LAMINATED	PRE-FIN	PRE-FINISHED	TOT	TOTAL
CMU	CONCRETE MASONRY UNIT	GYP	GYP/STUCCO BOARD	PLYMT	PLYMENT	TYP	TYPICAL
COL	COLLUM	HW	HARDWARE	RB	RESILIENT BASE	UNFN	UNFINISHED
CONC	CONCRETE	HM	HOLLOW METAL	REF	REFERENCE	UNO	UNLESS NOTED OTHERWISE
CONT	CONTINUOUS	HORIZ	HORIZONTAL	REINP	REINFORCEMENT	UTL	UTILITY
OPT	CARPET	HT	HEIGHT	REQ	REQUIRED	VERT	VERTICAL
DEMO	DEMOLITION/DEMOLITION	INDL	INSULATION	SALV	SAVING	VT	VINYL TILE
EST	ESTIMATE	INT	INTERIOR	SC	SOLID CORE	W	WITH
DS	DOWNSPOUT	LAV	LAVATORY	SCHED	SCHEDULE	WO	WITHOUT
EPS	EXT INSUL & FINISH SYSTEM	LF	LINEAR FOOT	SEAL	SEALANT/SEALER	WR	WATER RESISTANT
EA	EACH	MANT	MAINTENANCE	SF	SQUARE FOOT	WC	WATER CLOSET
ELEC	ELECTRICAL	MAX	MAXIMUM	SM	SIMILAR	WO	WOOD
ELEV	ELEVATOR	MECH	MECHANICAL	SPEC	SPECIFICATION	WNT	WALK-OFF MAT
ENVR	ENVIRONMENT	MEZZ	MEZZANINE				



St. Paul Fire and Rescue
New Fire Station
4th & Kendall Street
St. Paul, Nebraska 68873

DATE: 04/20/2023
DRAWN BY: JLM
CHECKED BY: JLM
PROJECT NO: 220519

Cover Sheet, Index of Drawings, and General Notes

NO. G101



2024
ST PAULINE
FIRE STATION

EXISTING CONDITIONS AND
DEMOLITION PLAN

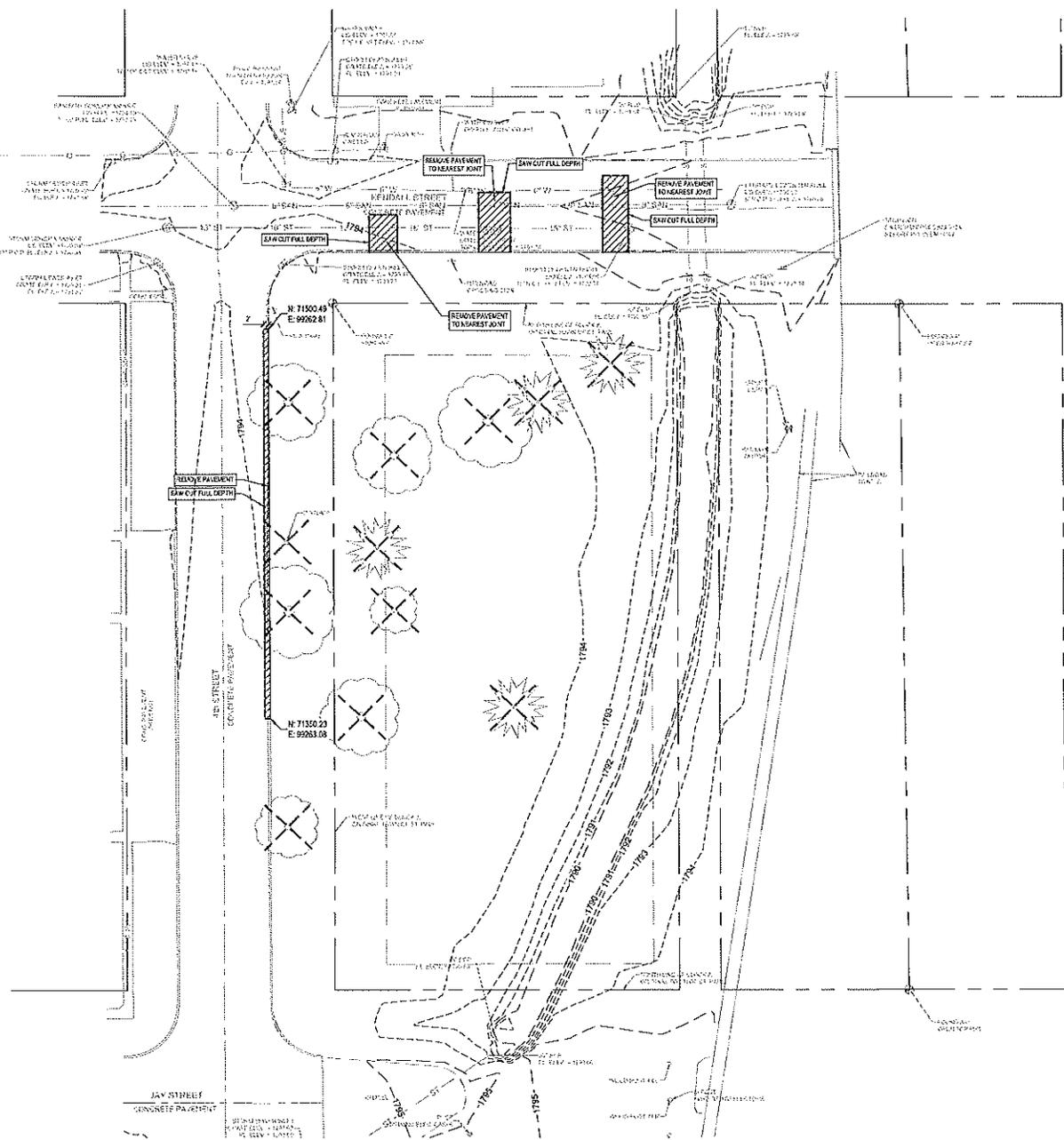
C101

EXISTING LEGEND

- PROPERTY LINE
- SETBACK LINE
- EASEMENT LINE
- - - - - EXISTING MAJOR CONTOUR
- - - - - EXISTING MINOR CONTOUR
- - - - - EXISTING ELECTRIC
- - - - - EXISTING FIBER
- - - - - EXISTING GAS
- - - - - EXISTING SANITARY
- - - - - EXISTING WATER
- - - - - EXISTING STORM
- ⊙ BENCHMARK
- ⊙ MONUMENT POINT (PROPERTY)
- ⊙ CURB INLET
- ⊙ STORM SEWER MANHOLE
- ⊙ SANITARY MANHOLE
- ⊙ POWER (ELEC) PEDESTAL
- ⊙ POWER (ELEC) PULL BOX OR MANHOLE
- ⊙ LIGHT POLE
- ⊙ WATER VALVE
- ⊙ FIRE HYDRANT
- ⊙ TELEPHONE PULL BOX OR MANHOLE
- ⊙ TELEPHONE PEDESTAL
- ⊙ SIGN
- ⊙ BUSH
- ⊙ DECIDUOUS TREE
- ⊙ TREE MASS LINE

DEMOLITION LEGEND

- PAVEMENT REMOVAL
- OBJECT REMOVAL
- - - - - SAW CUT PAVS/PAV FULL DEPTH



EXISTING CONDITIONS PLAN



SITE LAYOUT LEGEND

- PROPOSED 8" CONCRETE (DOT 418-400P33) (1)
- PROPOSED 5" SIDEWALK (DOT 418-400P33)
- PROPOSED 4" GRAVEL (7% AGGREGATE PROVIDED BY OWNER) / SRAFT 1401 FABRIC (TO BE PROVIDED BY CONTRACTOR)
- SETBACK LINE
- 6" CONCRETE INTEGRAL CURB (2)

PAVING NOTES

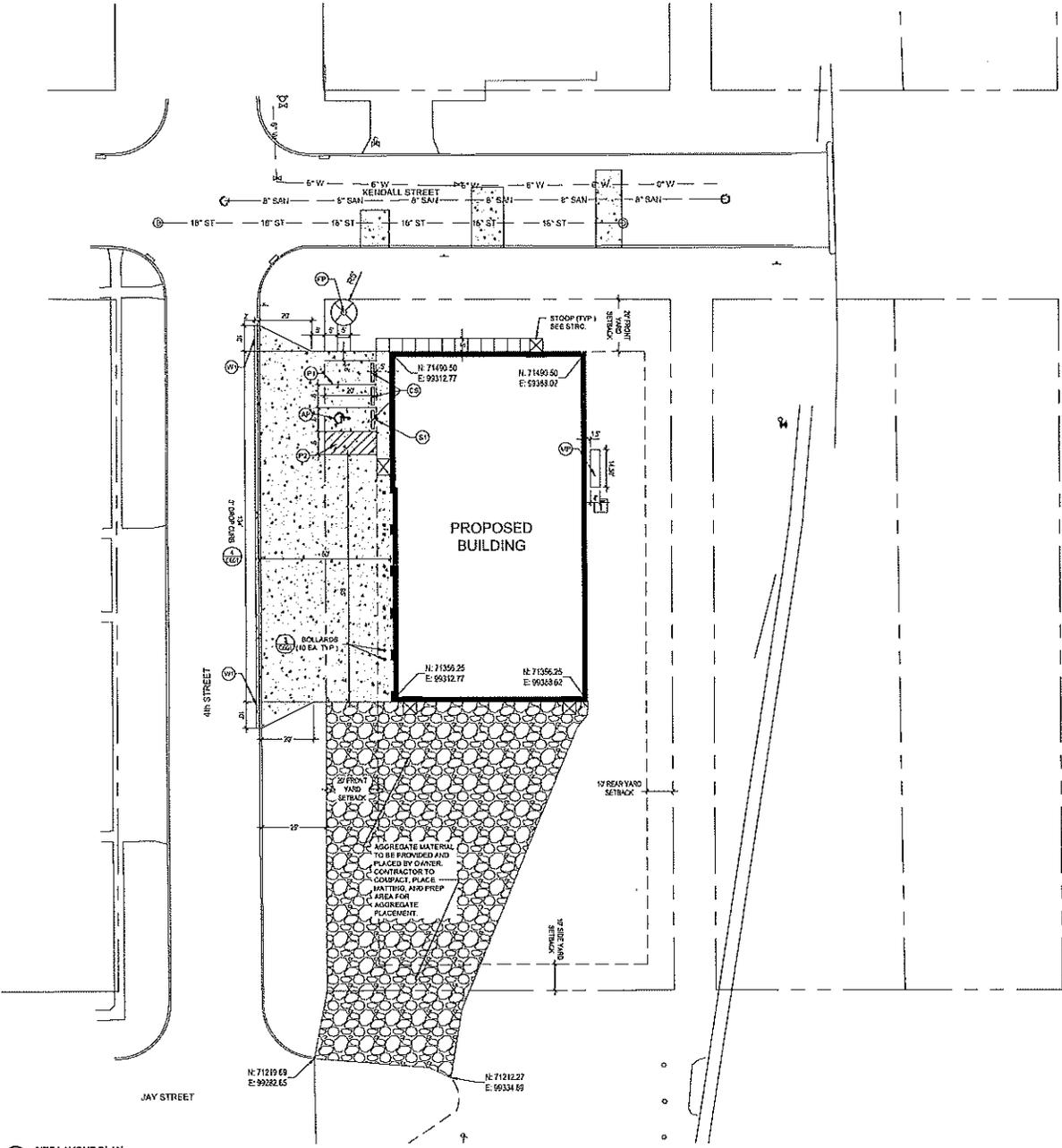
1. ALL DIMENSIONS ARE TO EDGE OF CONCRETE OR PROPERTY LINE UNLESS NOTED OTHERWISE.
2. CONCRETE PAVEMENT JOINTS SHALL NOT EXCEED 12". ALL PANELS SHOULD BE SQUARE OR NEARLY SO. THE LENGTH OF THE PANEL SHALL NOT EXCEED 1.5 TIMES THE WIDTH.
3. CONTRACTOR TO PLACE 2" EXPANDED MATERIAL WHERE CONCRETE MEETS BUILDING.
4. WHERE APPLICABLE, JOINTS SHALL MATCH EXISTING JOINT PATTERNS.
5. ALL JOINTS SHALL BE SAW CUT AND SEALED WITH HOT POUR SEALANT TO WITHIN 1/4" OF CONCRETE SURFACE.
6. EXPANDED JOINT SHALL BE SQUARE NO LARGER THAN JOINT PANELS.
7. ALL EDGES SHALL BE CONTRACTED WITH 1/4" MAX CROSS SLOPE AND 4.5% MAX FINISH SLOPE, UNLESS PARALLEL AND MATCHING EXISTING STREET GRADIENT.
8. SUBGRADE SHALL BE MOIST PREP TO THE POLYMER OF CONCRETE.
9. ALL REBAR SHALL BE EPOXY COATED.
10. THE BASE SHALL BE VERIFIED AT ALL LOCATIONS WHERE PROPOSED CONCRETE IS TO BE PLACED TO EXISTING CONCRETE. THE BASE SHALL BE 18" AT ALL REBAR AND PLACES AT 27" O.C. AT ALL OTHERS OF THE SLAB.
11. 1" EXPANDED JOINT SHALL BE INSTALLED WHERE EXISTING'S SIDEWALKS MEET AND SEALED STREET PAVEMENT SEALED WITH HOT POUR SEALANT.
12. ALL CONCRETE SHALL BE FINISHED WITH A WET BURLAP OR CHALKS GRAH.
13. ALL CONCRETE PAVEMENT SHALL HAVE MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI WHEN TESTED IN ACCORDANCE WITH ASTM C39 AT 28 DAYS. CONCRETE LAB SHALL BE TYPE #19 TRADITIONAL CURE PER DOT STANDARD SPECIFICATIONS. CORES SHALL BE TYPE 100 CONCRETE SURFACES ON SHALL HAVE A MINIMUM OF 30% TYPE 1 AGGREGATE. CONTRACTOR SHALL HAVE FIELD TESTS CONDUCTED AND 3 CONCRETE CYLINDERS COLLECTED BY A QUALIFIED TEST LAB FOR EVERY 100 CUBIC YARDS OR FOR EACH DAY'S POUR UNLESS APPROVED OTHERWISE BY OWNER. CONTRACTOR SHALL PROVIDE CONCRETE TELEAP COMPRESSIVE TEST RESULTS TO THE OWNER. AIR CONTENT SHALL BE BETWEEN 6% AND 8.5% MAX WATER CEMENT RATIO SHALL BE 0.45.
14. PAVEMENT MARKINGS SHALL BE 4" YELLOW RETRANSPARENT PAVEMENT MARKING PAINT. APPLY PER MANUFACTURERS RECOMMENDATIONS.
15. PERMANENT PAVEMENT MARKING PAINT SHALL BE AS PER DOT APPROVED PRODUCTS LIST AND DOT SECTION 131.03 OR APPROVED EQUIVALENT.
16. PAVING CAP MARKINGS SHALL BE PER DOT STANDARDS.
17. CURB RAVERS TO COMPLY WITH DOT STANDARD PLAN 302, LATEST REVISION.

GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL SITE CONDITIONS.
2. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF MUTCD.
3. CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES FOR ANY RELOCATION OF EXISTING UTILITIES.

SITE IMPROVEMENTS LEGEND

- (A) ADA ACCESSIBLE PAVEMENT STRIPPS
- (P1) 4" WIDE YELLOW PAVEMENT STRIPPS
- (P2) DIAGONAL (67) 4" WIDE YELLOW PAVEMENT STRIPPS AT 2' O.C.
- (S1) SIGN
- (C) CURB STOP
- (M) 18" X 9" CURB DOWN EXISTING TO 2" IN 12"
- (F) 47 FLAG POLE
- (R) 8" CONCRETE MECHANICAL PAD



SITE LAYOUT PLAN

2024
ST PAUL, NE
FIRE STATION

SITE LAYOUT PLAN



C201

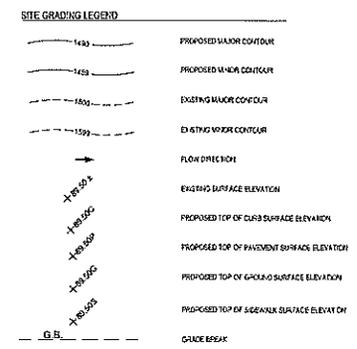


2024
ST PAUL, NE
FIRE STATION

ANSI A11.1

SITE GRADING PLAN

1/4" = 1' C301

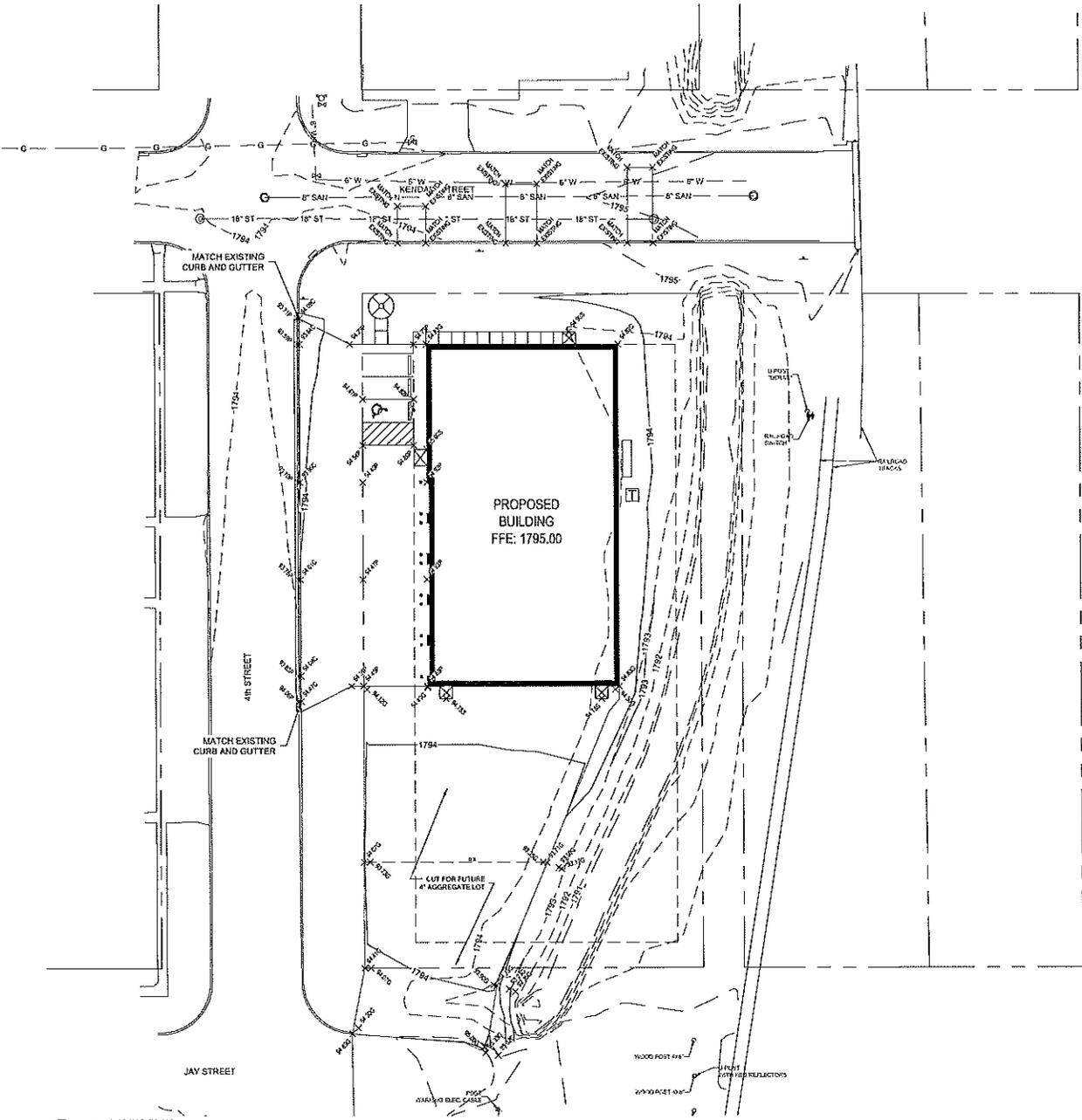


- GRADING NOTES:**
1. ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION SHALL CONFORM TO THE PLANS AND SPECIFICATIONS.
 2. ALL GRADING OPERATIONS SHALL FOLLOW RECOMMENDATIONS PER GEOTECHNICAL REPORT.
 3. THE PROPOSED CONTOURS REPRESENT TOP OF PAVEMENT. IN ALL OTHER AREAS THEY REPRESENT THE PROPOSED EXISTING SURFACE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE PROPOSED CROSS SECTION DEPTH AND ADJUST THE SIDEWALK ELEVATION ACCORDINGLY PRIOR TO BEGINNING GRADING OPERATIONS.
 4. ALL HERBACEOUS VEGETATION SHALL BE REMOVED WITHIN THE LIMITS OF THE GRADING. THE STRIPPINGS FROM THIS SITE SHOULD BE STORED AND REDISTRIBUTED AS TOPSOIL IN ALL LANDSCAPE AREAS.
 5. THE CONTRACTOR SHALL DETERMINE THE APPROXIMATE EARTHWORK QUANTITIES FOR HIS OWN PURPOSES.
 6. FOR PROPER COMPACTION OF FILL MATERIAL, BUILDING PAD PREPARATION AND PAVING SUBGRADE REQUIREMENTS, SEE GEOTECHNICAL REPORT.
 7. OBSERVATION AND TESTING BY A QUALIFIED TESTING LAB OR PROFESSIONAL GEOTECHNICAL ENGINEER SHALL OCCUR IN ALL FILL AREAS. DENSITY TEST REPORTS SHALL BE SUBMITTED TO THE ENGINEER AND OWNER.
 8. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM THE STRUCTURES FOR ALL NATURAL AND PAVED AREAS.
 9. SLOPES SHALL BE UNIFORM TO AVOID POONDS.
 10. CONTRACTOR SHALL GRADE LOW SPOTS TO DRAIN.
 11. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF ANY GRADINGS WILL TAKE PLACE BEYOND THE PROPERTY LINE.
 12. CONTRACTOR WILL BE HELD RESPONSIBLE FOR SETTLEMENT DUE TO IMPROPER COMPACTION.

APPROXIMATE EARTHWORK QUANTITIES		
CUT	FILL	NET
234 CY	414 CY	180 CY FILL

*NOTE: NO FILL FACTOR HAS BEEN USED IN DETERMINING EARTHWORK QUANTITIES TO BE EARTHWORK QUANTITIES EXCLUDE PAVEMENT.

DATE: 06/11/2024
DRAWN BY: J. BROWN
CHECKED BY: M. BROWN



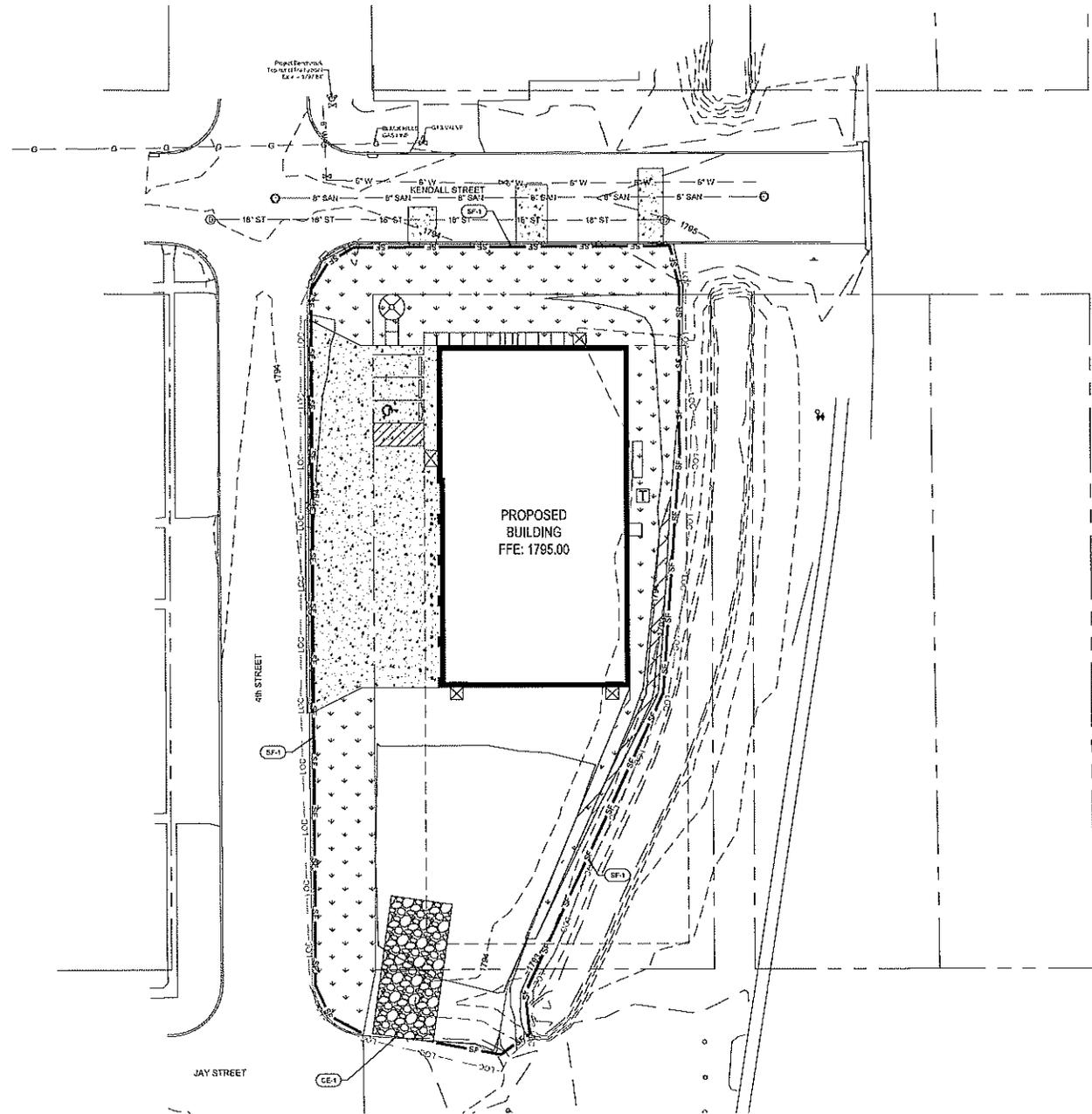
SITE GRADING PLAN





SWPPP LEGEND

- LCC — LIMITS OF CONSTRUCTION
- SF — SILT FENCE
- CE# — CONSTRUCTION ENTRANCE
- GRASS AND LANDSCAPED AREAS, SEE L1.1 FOR DETAILED INFORMATION
- EROSION CONTROL MATTING



SITE EROSION CONTROL PLAN

2024
ST PAUL, NE
FIRE STATION

EROSION CONTROL PLAN

811
Know what's below.
Call before you dig.

C401

BEST MANAGEMENT PRACTICES (BMP) MAINTENANCE SCHEDULE:

THE FOLLOWING MAINTENANCE SCHEDULE HAS BEEN PROVIDED. THE INSPECTOR MUST PERFORM THE INSPECTIONS. THE OPERATOR/CONTRACTOR MUST PERFORM ALL NEEDED MAINTENANCE. FURTHERMORE, ALL EROSION CONTROL FEATURE REQUIRING MAINTENANCE MAY NOT BE LISTED BELOW. THE OPERATOR/CONTRACTOR AND INSPECTOR MUST PERFORM THEIR RESPECTIVE DUTIES ON ALL BMP'S THAT ARE NOT LISTED BELOW AS WELL.

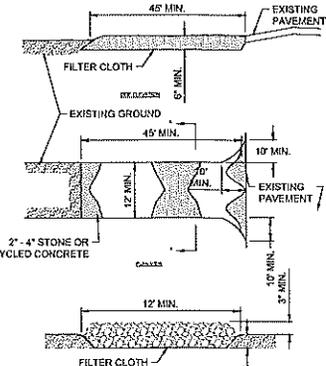
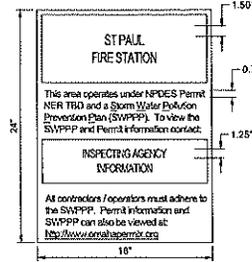
- CONSTRUCTION ENTRANCE** - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR THE WASHING AND REWORKING OF EXISTING STONE AS CONDITIONS DEMAND AND REPAIR ANCHOR CLEANOUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY. THE USE OF WATER TRUCKS TO REMOVE MATERIALS DROPPED, WASHED, OR TRACKED ONTO ROADWAYS WILL NOT BE PERMITTED UNDER ANY CIRCUMSTANCES.
- SILT FENCE** - THE MAINTENANCE MEASURES ARE AS FOLLOWS: (2.1) SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. (2.2) CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED SILT FENCE RESULTING FROM END RUNS AND UNDERCUTTING; (2.3) SHOULD THE FABRIC ON A SILT FENCE DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY. (2.4) SEDIMENT DEPOSITS MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER; AND (2.5) ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.
- STORM DRAIN INLET PROTECTION** - THE MAINTENANCE MEASURES ARE AS FOLLOWS: (3.1) STRUCTURES SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NECESSARY AND (3.2) STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE REMAINING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
- TEMPORARY DIVERSION DIKE** - THE MEASURE SHALL BE INSPECTED AFTER EVERY STORM AND REPAIRS MADE TO THE DIKE, FLOW CHANNEL, OUTLET OR SEDIMENT TRAPPING FACILITY, AS NECESSARY, ONCE EVERY TWO WEEKS. WHETHER A STORM EVENT HAS OCCURRED OR NOT, THE MEASURE SHALL BE INSPECTED AND REPAIRS MADE IF NEEDED. DAMAGES CAUSED BY CONSTRUCTION TRAFFIC OR OTHER ACTIVITY MUST BE REPAIRED BEFORE THE END OF EACH WORKING DAY.
- TEMPORARY FILL DIVERSION** - SINCE THE PRACTICE IS TEMPORARY AND UNDER MOST SITUATIONS WILL BE COVERED THE NEXT WORKING DAY, THE MAINTENANCE REQUIRED SHOULD BE LOW. IF THE PRACTICE IS TO REMAIN IN USE FOR MORE THAN ONE DAY, AN INSPECTION SHALL BE MADE AT THE END OF EACH WORK DAY AND REPAIRS MADE TO THE MEASURE IF NEEDED. THE OPERATOR/CONTRACTOR SHOULD AVOID THE PLACEMENT OF ANY MATERIAL OVER THE STRUCTURE WHILE IT IS IN USE. CONSTRUCTION TRAFFIC SHOULD NOT BE PERMITTED TO CROSS THE DIVERSION.
- TEMPORARY SEDIMENT TRAP** - THE MAINTENANCE MEASURES ARE AS FOLLOWS: (6.1) SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE HALF THE DESIGN VOLUME OF THE WET STORAGE. SEDIMENT REMOVAL FROM THE BASIN SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE AND CAUSE SEDIMENTATION PROBLEMS; (6.2) FILTER STONE SHALL BE REGULARLY CHECKED TO ENSURE THAT FILTRATION PERFORMANCE IS MAINTAINED. STONE CHOKED WITH SEDIMENT SHALL BE REMOVED AND CLEANED OR REPLACED; AND (6.3) THE STRUCTURE SHOULD BE CHECKED REGULARLY TO ENSURE THAT IT IS STRUCTURALLY SOUND AND HAS NOT BEEN DAMAGED BY EROSION OR CONSTRUCTION EQUIPMENT. THE HEIGHT OF THE STONE OUTLET SHOULD BE CHECKED TO ENSURE THAT ITS CENTER IS AT LEAST 1 FOOT BELOW THE TOP OF THE EMBANKMENT.
- TEMPORARY SEDIMENT BASIN** - THE BASIN EMBANKMENT SHOULD BE CHECKED REGULARLY TO ENSURE THAT IT IS STRUCTURALLY SOUND AND HAS NOT BEEN DAMAGED BY EROSION OR CONSTRUCTION EQUIPMENT. THE EMERGENCY SPILLWAY SHOULD BE CHECKED REGULARLY TO ENSURE THAT ITS LINING IS WELL ESTABLISHED AND EROSION-RESISTANT. THE BASIN SHOULD BE CHECKED AFTER EACH RUNOFF PRODUCING RAINFALL FOR SEDIMENT CLEANOUT AND TRASH REMOVAL. WHEN THE SEDIMENT REACHES THE CLEANOUT LEVEL, IT SHALL BE REMOVED AND PROPERLY DISPOSED OF.
- TEMPORARY SEEDING** - AREAS WHICH FAIL TO ESTABLISH VEGETATIVE COVER ADEQUATE TO PREVENT RILL EROSION WILL BE RE-SEED AS SOON AS SUCH AREAS ARE IDENTIFIED. CONTROL WEEDS BY MOWING.
- PERMANENT SEEDING** - THE MAINTENANCE MEASURES ARE AS FOLLOWS: (9.1) IN GENERAL, A STAND OF VEGETATION CANNOT BE DETERMINED TO BE FULLY ESTABLISHED UNTIL IT HAS BEEN MAINTAINED FOR ONE FULL YEAR AFTER PLANTING; (9.2) NEW SEEDLINGS SHALL BE SUPPLIED WITH ADEQUATE MOISTURE, SUPPLY WATER AS NEEDED, ESPECIALLY LATE IN THE SEASON, IN ABNORMALLY HOT OR DRY CONDITIONS, OR ON ADVERSE SITES, WATER APPLICATIONS SHALL BE CONTROLLED TO PREVENT EXCESSIVE RUNOFF; (9.3) INSPECT ALL SEEDING AREAS FOR FAILURES AND MAKE NECESSARY REPAIRS, REPLACEMENTS, AND RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE; (9.4) IF STAND IS INADEQUATE FOR EROSION CONTROL, OVER SEED AND FERTILIZE USING HALF OF THE RATES ORIGINALLY SPECIFIED; (9.5) IF STAND IS 60% DAMAGED, RE-ESTABLISH FOLLOWING SEEDING AND SEEDING RECOMMENDATIONS; (9.6) IF STAND HAS LESS THAN 40% COVER, RE-EVALUATE CHOICE OF PLANT MATERIALS AND QUANTITIES OF LIME AND FERTILIZER. THE SOIL MUST BE TESTED TO DETERMINE IF ACIDITY OR NUTRIENT IMBALANCES ARE RESPONSIBLE. RE-ESTABLISH THE STAND FOLLOWING SEEDING AND SEEDING RECOMMENDATIONS.
- MULCHING** - ALL MULCHES AND SOIL COVERINGS SHOULD BE INSPECTED PERIODICALLY (PARTICULARLY AFTER RAINSTORMS) TO CHECK FOR EROSION. WHERE EROSION IS OBSERVED IN MULCHED AREAS, ADDITIONAL MULCH SHOULD BE APPLIED. NETS AND MATS SHOULD BE INSPECTED AFTER RAINSTORMS FOR DISLOCATION OR FAILURE. IF WASHOUTS OR BREAKAGE OCCUR, REINSTALL NETTING OR MATTING AS NECESSARY AFTER REPAIRING DAMAGE TO THE SLOPE OR DITCH. INSPECTIONS SHOULD TAKE PLACE UNTIL GRASSES ARE FIRMLY ESTABLISHED. WHERE MULCH IS USED IN CONJUNCTION WITH ORNAMENTAL PLANTINGS, INSPECT PERIODICALLY THROUGHOUT THE YEAR TO DETERMINE IF MULCH IS MAINTAINING COVERAGE OF THE SOIL SURFACE; REPAIR AS NEEDED.
- SOIL STABILIZATION BLANKETS & MATTING** - ALL SOIL STABILIZATION BLANKETS AND MATTING SHOULD BE INSPECTED PERIODICALLY FOLLOWING INSTALLATION, PARTICULARLY AFTER RAINSTORMS TO CHECK FOR EROSION AND UNDERMINING. ANY DISLOCATION OR FAILURE SHOULD BE REPAIRED IMMEDIATELY. IF WASHOUTS OR BREAKAGE OCCURS, REINSTALL THE MATERIAL AFTER REPAIRING DAMAGE TO THE SLOPE OR DITCH. CONTINUE TO MONITOR THESE AREAS UNTIL WHICH TIME THEY BECOME PERMANENTLY STABILIZED; AT THAT TIME AN ANNUAL INSPECTIONS SHOULD BE ADEQUATE.
- STREET CLEANING / SWEEPING** - THE MAINTENANCE MEASURES ARE AS FOLLOWS: (12.1) EVALUATE ACCESS POINTS DAILY FOR SEDIMENT TRACKING; (12.2) WHEN TRACKED OR SPILLED SEDIMENT IS FOUND ON PAVED SURFACES, IT WILL BE REMOVED DAILY, DURING TIMES OF HEAVY TRACK-OUT, SUCH AS DURING RAINS, CLEANING MAY BE DONE SEVERAL TIMES THROUGHOUT THE DAY; (12.3) UNKNOWN SPILLS OR OBJECTS WILL NOT BE MIXED WITH THE SEDIMENT; AND (12.4) IF SEDIMENT IS MIXED WITH OTHER POLLUTANTS, IT WILL BE DISPOSED OF PROPERLY AT AN AUTHORIZED LANDFILL.

EROSION AND SEDIMENT CONTROL NOTES:

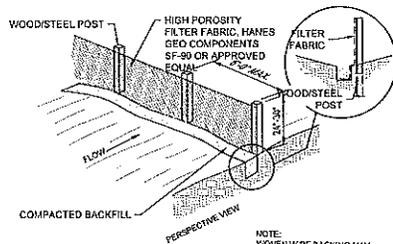
- THE CONTRACTOR WILL COMPLY WITH THE REQUIREMENTS OF THE NPDES CONSTRUCTION STORMWATER DISCHARGE PERMIT, AS APPROVED BY THE NEBRASKA DEPARTMENT OF ENVIRONMENT AND ENERGY QUALITY FOR THIS PROJECT.
- THE CONTRACTOR WILL IMPLEMENT AND MAINTAIN CONSTRUCTION STORMWATER BMP'S DURING ALL CONSTRUCTION ACTIVITY TO CONTROL POLLUTANTS AND SEDIMENT IN STORMWATER DISCHARGE FROM THE PROJECT SITE.
- THE PROJECT SITE IS DYNAMIC WITH CHANGES TO THE CONDITIONS AND DRAINAGE PATTERNS DURING CONSTRUCTION ACTIVITY. CHANGES TO THE DRAINAGE PATTERNS OF THE PROJECT WILL RESOLVE ADDITIONAL BMP'S TO BE INSTALLED BY THE CONTRACTOR TO MAINTAIN CONTROL OF POLLUTANTS AND SEDIMENT FROM STORMWATER DISCHARGE FROM THE SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR INSPECTION OF ALL SEDIMENT AND EROSION CONTROL BMP'S AT LEAST ONCE EVERY FOURTEEN (14) CALENDAR DAYS AND WITHIN 24 HOURS OF ANY STORM EVENT OF GREATER THAN 0.25 INCHES OF PRECIPITATION. FOR EVERY INSPECTION PERFORMED, AN INSPECTION REPORT MUST BE COMPLETED AND FILED WITH THE PROJECT STORMWATER POLLUTION PREVENTION PLAN DOCUMENT.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF THE EROSION AND SEDIMENT CONTROL BMP'S IN AN EFFECTIVE WORKING CONDITION. IF SITE INSPECTIONS INDICATE BMP'S ARE NOT OPERATING EFFECTIVELY, MAINTENANCE, REPAIR, OR ADDITIONAL BMP'S MUST BE PERFORMED WITH SEVEN (7) DAYS AND PRIOR TO THE NEXT STORM EVENT.
- MATting SHALL BE NORTH AMERICAN GREEN S/F'S. MATting SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS.
- ALL BMP'S FROM PRE-GRADING PACKAGE SHALL BE MAINTAINED DURING CONSTRUCTION. ADDITIONAL SILT FENCE AND ROCK SHALL BE CONSIDERED SUBSIDIARY TO OTHER ITEMS FOR WHICH DIRECT PAYMENT IS MADE.

SWPPP NOTIFICATION SIGN - 9.B.7:

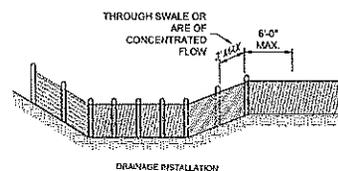
PROVIDE ONE (1) SIGN ON PROJECT SITE. LOCATE THE SIGN AT THE PRIMARY CONSTRUCTION ENTRANCE.



1 STABILIZED CONSTRUCTION ENTRANCE
N.T.S.



2 SILT FENCE DETAIL
N.T.S.



2024
ST PAUL
FIRE STATION

SWPPP DETAILS

C402



2024
ST PAULINE
FIRE STATION

SITE UTILITY PLAN

C501

SITE UTILITY LEGEND

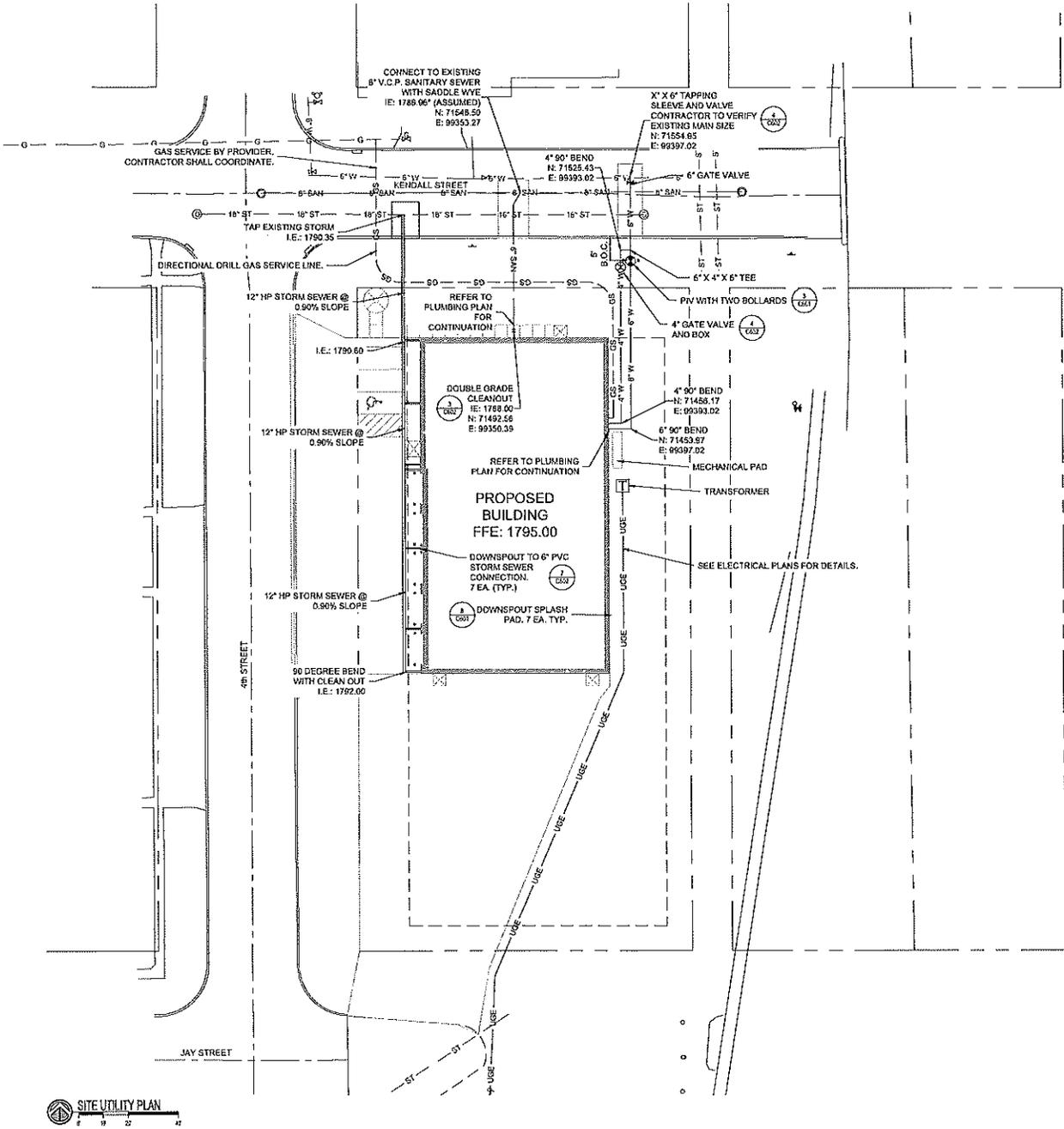
— 8" SAN —	PROPOSED SANITARY	(1) (C502)
— 6" W —	PROPOSED WATER	(1) (C502)
— GS — GS —	PROPOSED GAS SERVICE	
— UGE —	PROPOSED UNDERGROUND ELECTRIC	
— — — —	PROPOSED STORM	(2) (T507)

- GENERAL UTILITY NOTES:**
- CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANIES TO COORDINATE CONNECTIONS. ALL CONNECTIONS, CONCRETE BASES, PROTECTIVE REINFORCEMENT, ETC. SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY PRIOR TO UTILITY CONSTRUCTION AND UPON COMPLETION OF SITE GRADING.
 - ALL EXISTING UTILITIES AND SERVICE LINES SHALL BE IDENTIFIED AT ALL TIMES DURING CONSTRUCTION UNLESS OTHERWISE AUTHORIZED BY THE OWNER.
 - MAINTAIN A MINIMUM OF 15 FEET OF CLEARANCE BETWEEN ALL UTILITY CROSSINGS UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
 - SITE SHALL BE TO FINISHED GRADE PRIOR TO INSTALLATION OF SITE UTILITIES.
 - CONTRACTOR SHALL ADJUST TO GRADE ALL WATER AND GAS VALVES BOXES AND MANHOLE COVERS WITHIN THE LIMITS OF CONSTRUCTION.
 - ALL TRENCHES SHALL BE BACKFILLED AND COMPACTED AS SPECIFIED.
 - THE CONTRACTOR SHALL VERIFY ALL VERTICAL AND HORIZONTAL CROSSINGS OF ALL PROPOSED AND EXISTING UTILITIES PRIOR TO INSTALLATION OF CONDUIT. CONTACT THE ENGINEER WITH ANY CONFLICTS.
 - ALL GAS SERVICES TO BE DESIGNED AND INSTALLED BY GAS COMPANY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING NECESSARY REINFORCEMENT REQUIRED FOR GAS LINE INSTALLATION.
 - TRENCH WALLS SHALL BE INSTALLED ALONG ALL UNDERGROUND PIPING.
 - ALL GAS SERVICES TO BE DESIGNED AND INSTALLED BY ELECTRIC COMPANY.

- STORM SEWER NOTES:**
- ALL TIES AND MANHOLES SHALL BE LOCATED IN ACCORDANCE WITH THE COORDINATES SHOWN. COORDINATES ARE TO CENTER OF STRUCTURE. THE LENGTHS OF PIPE SHALL BE ACCORDANT.
 - AREA INLETS AND CURB INLETS SHALL BE WELDED OR MADE OF CAST IRON. INLETS SHALL BE APPROVED EQUAL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
 - TRENCH BACKFILL SHALL BE COMPACTED AS SPECIFIED.
 - PIPE BEDDING AND BACKFILL MATERIAL SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - INSTALLATION OF PIPE SHALL BE IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION SPECIFICATIONS.
 - ALL BEDDING, FITTINGS, AND ADAPTORS ARE ESSENTIAL TO OTHER ITEMS TO WHICH DIRECT PAYMENT IS MADE.

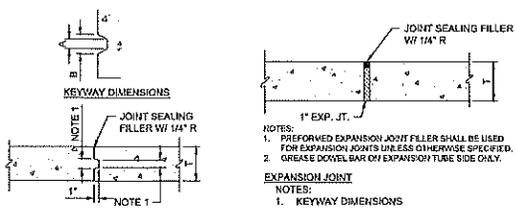
- WATER NOTES:**
- REFER TO DEP PLANS FOR WATER SERVICE. TIE-INS WITH BUILDING.
 - ALL WATER MAIN CONNECTIONS TO BE DONE UNDER A PLUMBER'S PERMIT, AND SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
 - ALL WATER METERS, PUMPS AND BACKFLOW PREVENTERS ARE LOCATED INSIDE THE BUILDING. REFER TO DEP PLANS FOR SIZE AND LOCATION.
 - WATER SERVICE SHALL HAVE A 3' MINIMUM BURY DEPTH AS USUAL, TYPICAL FROM FINISHED GROUND TO TOP OF PIPE.
 - MAINTAIN 18 INCH MINIMUM CLEARANCE BETWEEN WATER AND UTILITY CROSSINGS.
 - WATER SERVICE SHALL BE PVC. APPROVED.
 - PROVIDE T-RUST BLOCKING AT ALL TEES, BENDS AND GATE VALVES PER DETAILS.

- SANITARY SEWER NOTES:**
- CONTRACTOR IS REQUIRED TO FIELD LOCATE SANITARY SEWER MAIN PRIOR TO CONSTRUCTION TO VERIFY LOCATION AND DEPTH OF MAIN.
 - REFER TO THE PLUMBING PLANS FOR SANITARY SEWER TIE-IN WITH BUILDING.
 - MANHOLES SHALL BE LOCATED IN ACCORDANCE WITH THE COORDINATES SHOWN. THE LENGTHS OF PIPE BETWEEN MANHOLES SHALL VARY ACCORDANTLY.
 - TRENCH BACKFILL SHALL BE COMPACTED AS SPECIFIED.
 - ALL FITTINGS & SERVICE PIPES SHALL BE PVC SOW IN PER LOCAL ORDINANCES & REGULATIONS.
 - ALL SANITARY SEWER CONNECTIONS TO BE DONE UNDER A PLUMBER'S PERMIT, AND SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS WITHOUT ANY ADDITIONAL COSTS TO THE OWNER.
 - SANITARY SERVICE TYPED TO C.P. SHALL EXCEED ALL REQUIREMENTS OF THE NATIONAL CLAY PIPE INSTITUTE INSTALLATION HANDBOOK. CONTRACTOR SHALL TAKE CARE TO NOT DAMAGE EXISTING PIPE.



SITE UTILITY PLAN

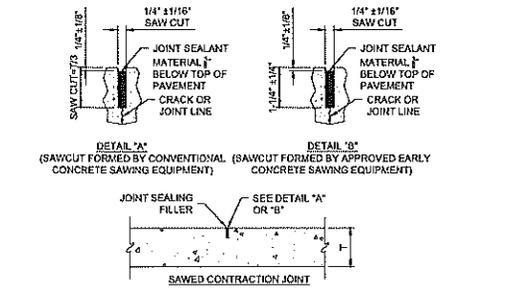




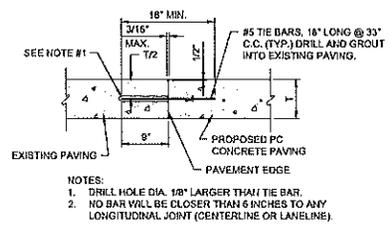
KEYED CONSTRUCTION JOINT

NOTE: 1. SUBGRADE COMPACTION SHALL BE PER THE GEOTECHNICAL REPORT OR COMPACTION TABLE.

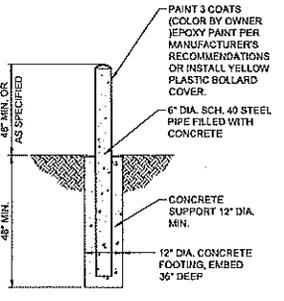
KEYWAY TYPE	PAVEMENT T" A	B
STANDARD	8" OR GREATER	1 3/4" 2 3/4"
NARROW	LESS THAN 8"	1" 2"



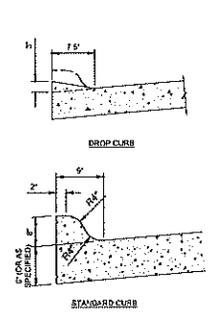
1 CONCRETE PAVEMENT CONSTRUCTION JOINTS
SCALE: N.T.S.



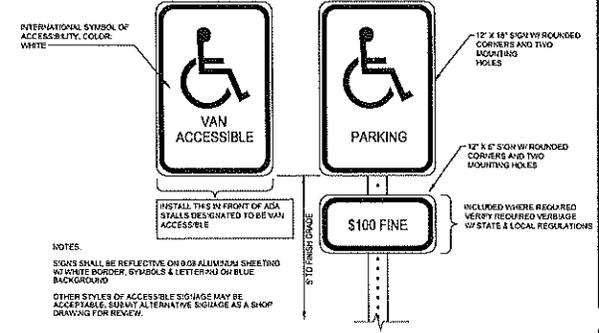
2 PAVING TIE-IN DETAIL
SCALE: 1"=1'-0"



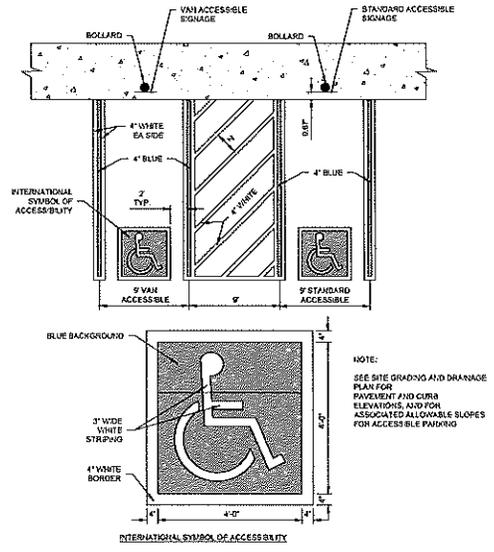
3 BOLLARD DETAIL
SCALE: N.T.S.



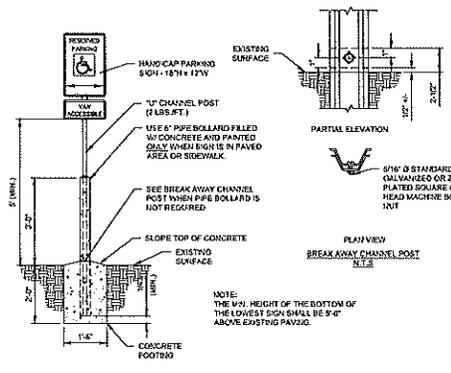
4 CURB DETAILS
SCALE: 1"=1'-0"



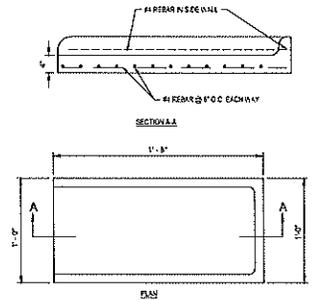
5 ACCESSIBLE SIGNAGE
SCALE: N.T.S.



6 ACCESSIBLE PAINT STRIPING
SCALE: N.T.S.

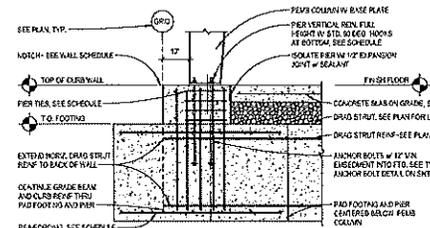


7 SIGN MOUNTING
SCALE: N.T.S.

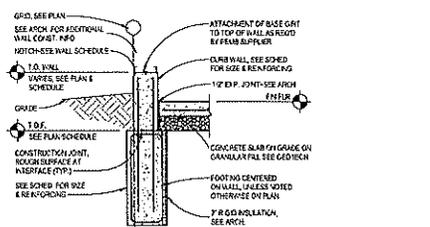


8 OVERFLOW SPLASH BLOCK
SCALE: N.T.S.

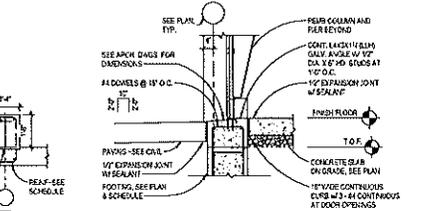
- NOTES:**
1. FINISH FLOOR ELEVATION = 106'4" UNAD.
 2. TOP OF FOOTING ELEVATION = 89'8" UNAD.
 3. PIER FOOTINGS ARE CENTERED UNLESS OTHERWISE NOTED OTHERWISE, FOOTINGS SHALL BE CENTERED ON GRID OR UNLESS OTHERWISE NOTED OTHERWISE, GRID 01.
 4. EXTERIOR GRADE BEAM SHALL BE LOCATED PER PLAN.
 5. SEE ARCHITECTURAL DRAWING FOR GRID TO GRID WALL TO GRID AND WALL TO WALL DIMENSIONS.
 6. SLAB ON GRADE CONSTRUCTION JOINTS AT 10' P.C. MAXIMUM. CONTRACTOR SHALL SUBMIT PLAN OF PROPOSED JOINT LOCATIONS AND CONCRETE EXACT LOCATION TO ARCHITECT.
 7. ALL REINFORCING STEEL MUST BE SECURED IN PLACE PRIOR TO CONCRETE PLACEMENT.
 8. CONTRACTOR COORDINATE WITH ARCHITECT FOR LOCATION OF HIGH VOLTAGE TRIGGERS.
 9. CONCR. WALL FOOTING REINFORCEMENT SHALL BE CONTINUED THROUGH FACE FOOTINGS OR GRADE BEAMS.
 10. ALL ELEVATIONS REFERENCED TO FINISH FLOOR ELEVATION.
 11. SEE ARCH. FOR THE REQUIREMENTS FOR EXPOSED CONCRETE WALLS. SPACE CONTROL JOINTS IN EXPOSED WALLS AT 8'0" O.C. MAX. UNAD.
 12. THE FOUNDATION SYSTEMS ARE DESIGNED TO SUPPORT THE BUILDING WHEN THE FOUNDATION SYSTEM INCLUDING THE WALL/S LABS CONSTRUCTION IS COMPLETE. THE CONTRACTOR IS COMPLETELY RESPONSIBLE FOR ALL SHORING AND BRACING DURING THE PERIOD OF CONSTRUCTION AND GRIDS.
 13. COORDINATE WITH GEOTECHNICAL REPORT FOR ALL FILL REQUIREMENTS.



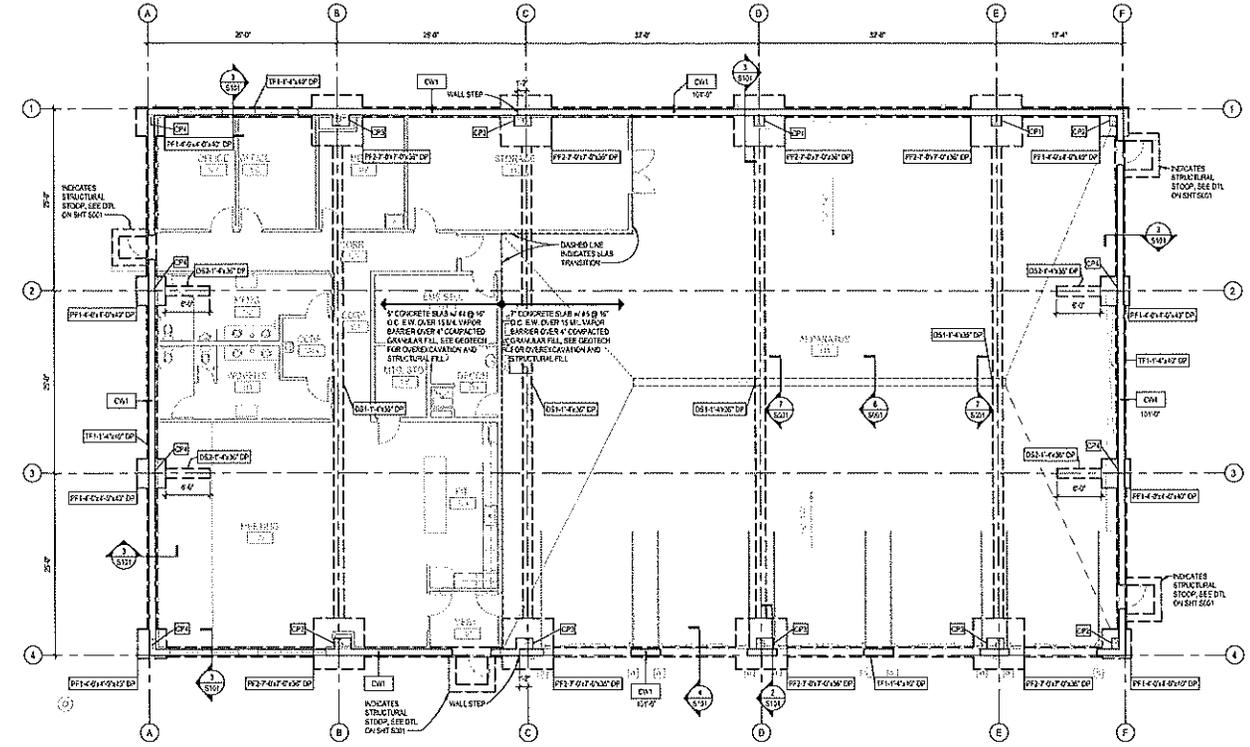
2 TYPICAL FOUNDATION DETAIL AT PIER COLUMN
1/2" = 1'-0"



3 TYPICAL EXTERIOR TRENCH FOOTING DETAIL
1/2" = 1'-0"



4 TYP FOUNDATION DETAIL AT OVERHEAD DOOR
1/2" = 1'-0"



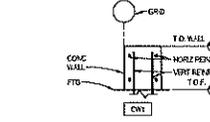
FOUNDATION PLAN
1/8" = 1'-0"

FOOTING SCHEDULE			
DESIGNATION	SIZE (NO. & LIND. PART)	REINFORCING	REMARKS
F01	1'-4" x 10" x 30" DP	Ø 5/8 CONCRETE TOP & BOT. 1 #4 STRIPS AT 4" O.C.	T.O.F. = 89'8" UNAD. ON PLANS
F02	Ø 12" x 24" DP	Ø 5/8 SEW. TOP & BOT.	T.O.F. = 89'8" UNAD. ON PLANS
F03	7'-0" x 12" x 24" DP	Ø 5/8 SEW. TOP & BOT.	T.O.F. = 89'8" UNAD. ON PLANS
D01	1'-4" x 12" DP	Ø 1/2" HUGGANT TOP & BOT. 1 #4 STRIPS AT 4" O.C.	T.O.F. = 89'8" UNAD. ON PLANS

FOOTING SCHEDULE NOTES:
TOP OF FOOTING OF ALL ELEMENTS SHOWN AS: T.O.F. = 89'8" UNAD. ON TABLE ABOVE.
AT FOOTING INTERSECTIONS, STEEL PLACEMENT, SIZE & SPACING TO BE FROM MORE STRINGENT @ OVERLAP.

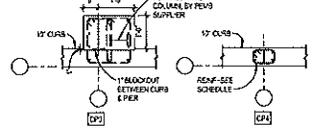
CONCRETE FOUNDATION WALL/ CONCRETE CURB SCHEDULE				
DESIGNATION	SIZE (INCHES)	REINFORCING		REMARKS
		HORIZ.	VERT.	
CW1	12"	#5 @ 12" O.C. EACH FACE	#5 @ 12" O.C. EACH FACE	TOP OF WALL = 102'8" UNAD.

CONCRETE FOUNDATION WALL/ CONCRETE CURB SCHEDULE NOTES:
CONCRETE SHALL BE 4000 PSI STRENGTH. ALL WALLS SHALL BE 12" THICK UNLESS OTHERWISE NOTED.
CONCRETE SHALL BE PLACED IN 4" LIFTS. ALL WALLS SHALL BE VIBRO-COMPACTED.
SEE REINFORCING NOTES FOR ALL REINFORCING.
CONCRETE SHALL BE CURED TO FULL STRENGTH BEFORE EXPOSURE TO WEATHER.

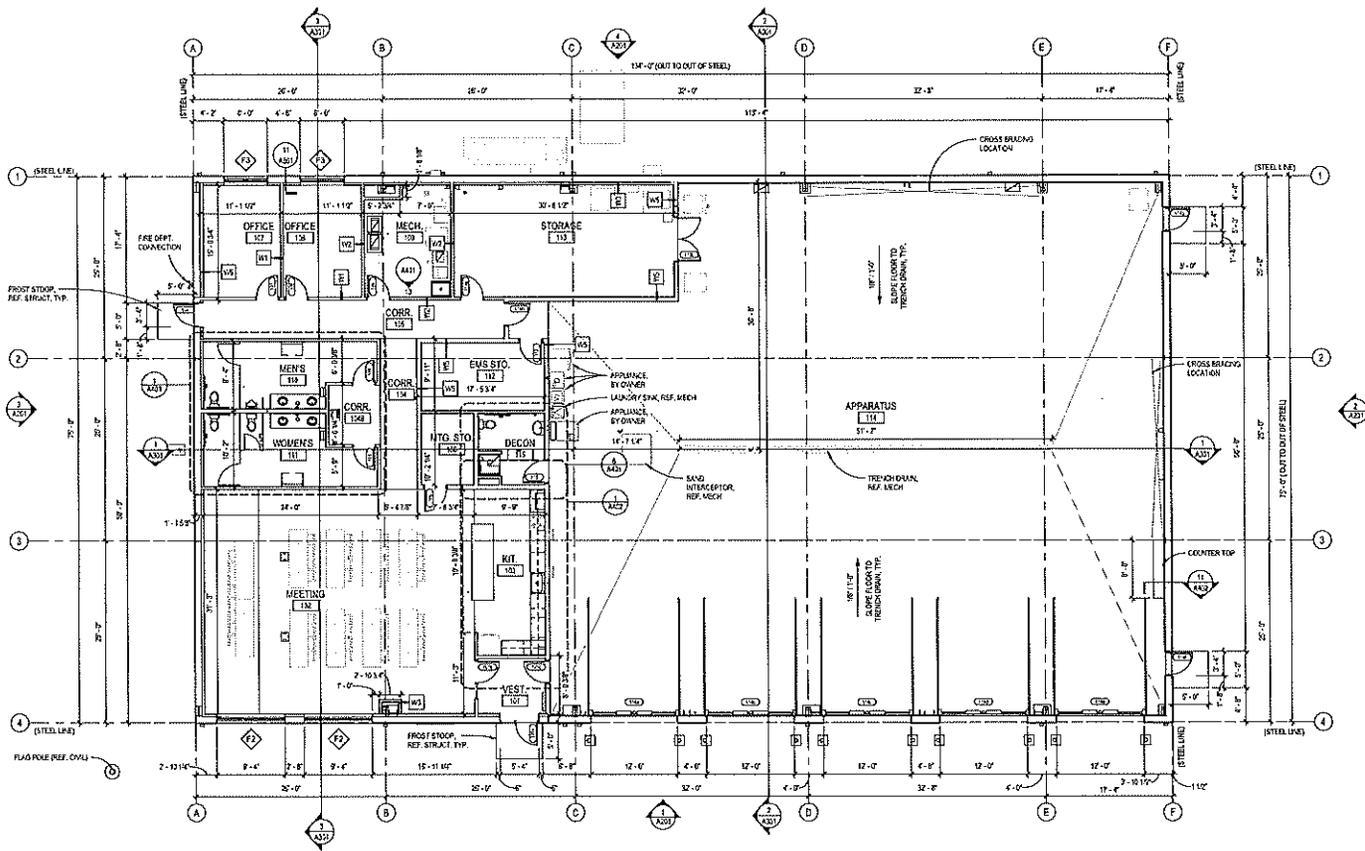


PIER SCHEDULE					
DESIGNATION	LENGTH	WIDTH	VERTICAL DIMENSIONS	REINFORCING	REMARKS
P01	14"	12"	Ø 16 @ 17" O.C. @ 1/2" TOP	#5 @ 17" O.C. @ 1/2" TOP	102'4" UNAD. OVERLAP
P02	14"	12"	Ø 16 @ 17" O.C. @ 1/2" TOP	#5 @ 17" O.C. @ 1/2" TOP	102'4" UNAD. OVERLAP
P03	14"	12"	Ø 16 @ 17" O.C. @ 1/2" TOP	#5 @ 17" O.C. @ 1/2" TOP	102'4" UNAD. OVERLAP
P04	8"	12"	Ø 16 @ 17" O.C. @ 1/2" TOP	#5 @ 17" O.C. @ 1/2" TOP	102'4" UNAD. OVERLAP

PIER SCHEDULE NOTES:
1. TOP OF CURB SHALL BE NUMBER TO MATCH VERTICAL REINFORCING.
2. DOWN 1" TIES TO END IN LARGEST OUTSIDE PARAMETER OF FOOTING.
3. PIERS TO BE CAST SIMULTANEOUSLY WITH BACKFILL WALL ON FOUNDATION WHEN APPLICABLE.
4. ALL COLUMN ANCHOR BOLTS TO HAVE 12" UN. EXPOSED END UNAD.



1 SCHEDULES, CONC CURB DETAILS & PIER DETAILS
3/8" = 1'-0"



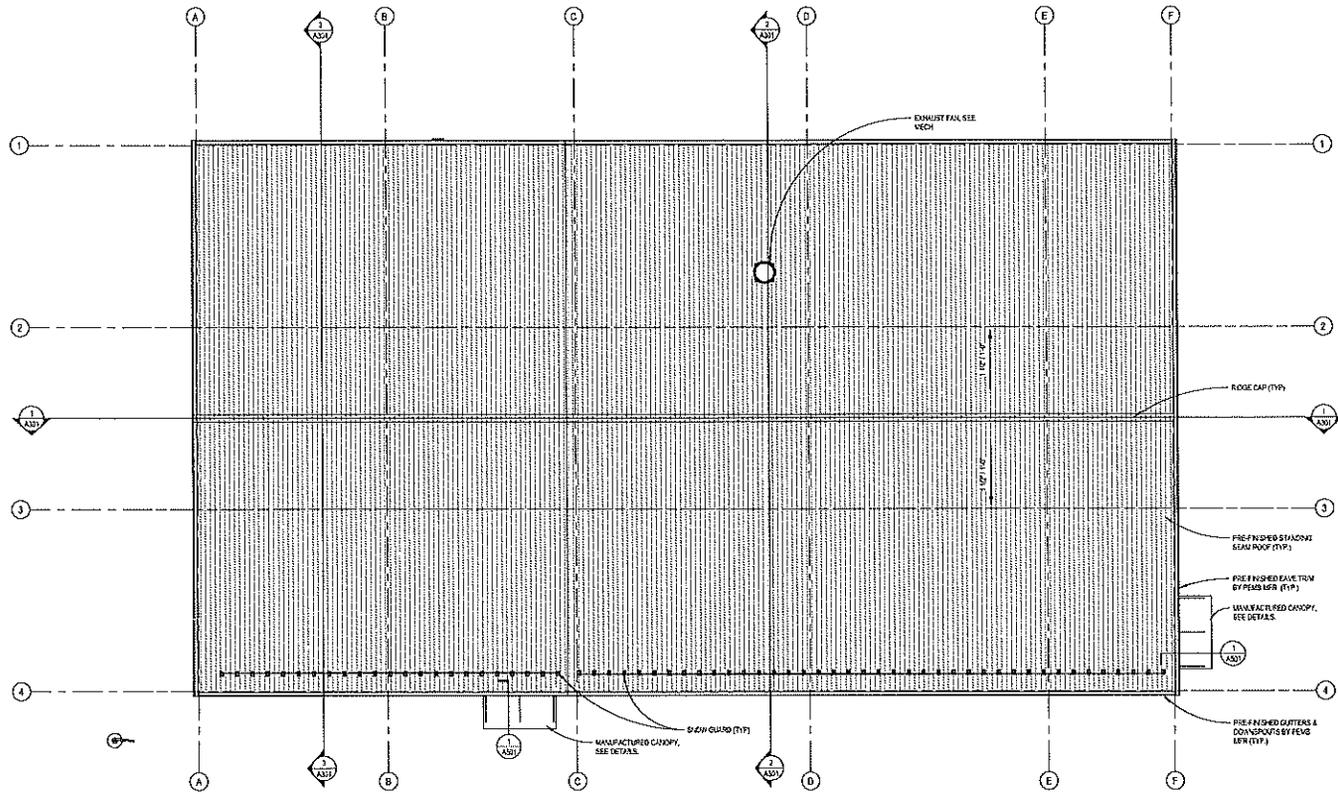
FLOOR PLAN
 1/8" = 1'-0"

St. Paul Fire and Rescue
 New Fire Station
 4th & Kendall Street
 St. Paul, Nebraska 68673

DATE: 05/20/20
 DRAWN BY: JEO
 CHECKED BY: JEO
 DESIGNED BY: JEO

Floor Plan

Sheet
A101



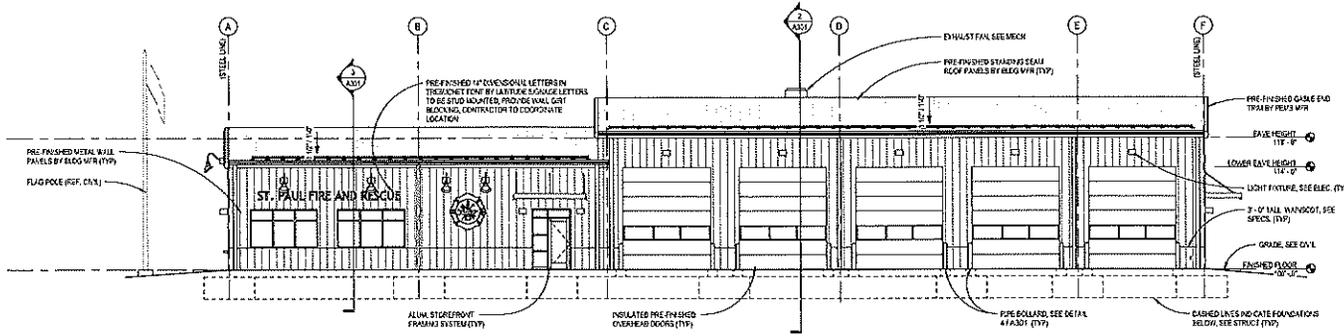
ROOF PLAN
 1/8" = 1'-0"

St. Paul Fire and Rescue
 New Fire Station
 4th & Kendall Street
 St. Paul, Nebraska 68873

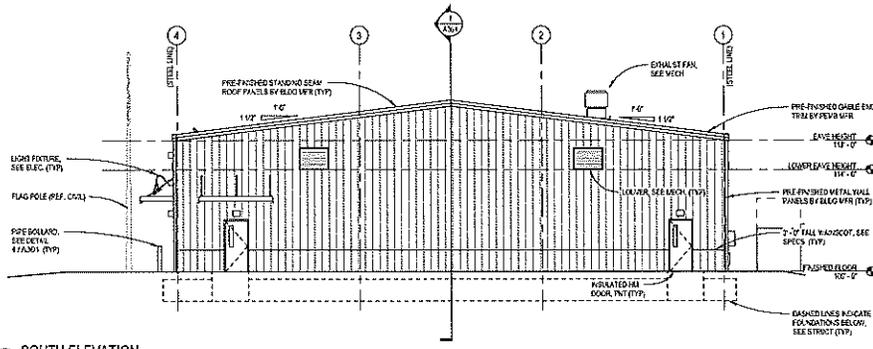
DATE: 10/20/2018
 DRAWN BY: JED
 CHECKED BY: JED
 PROJECT NO: 18-001

Roof Plan

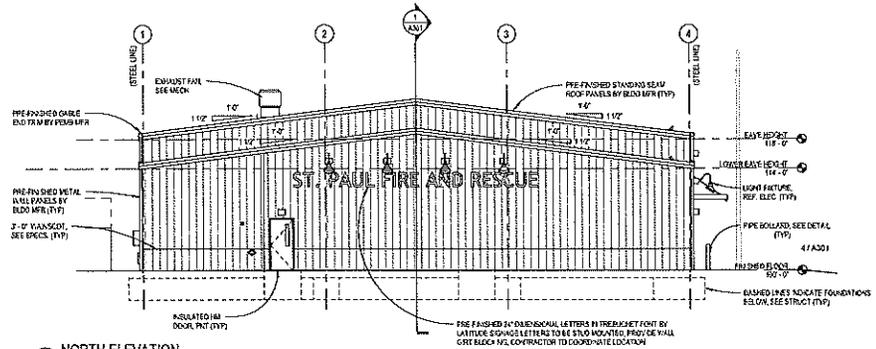
1/131



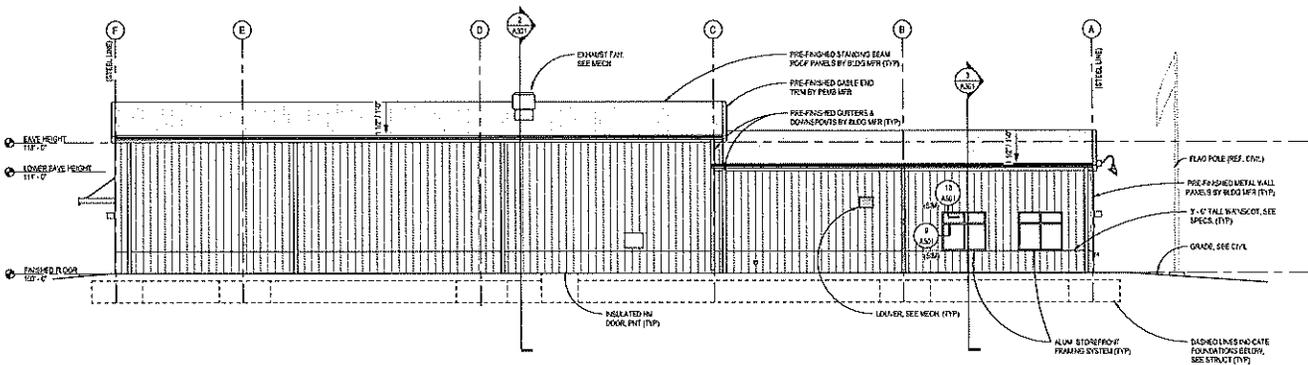
1 WEST ELEVATION
1/8" = 1'-0"



2 SOUTH ELEVATION
1/8" = 1'-0"



3 NORTH ELEVATION
1/8" = 1'-0"

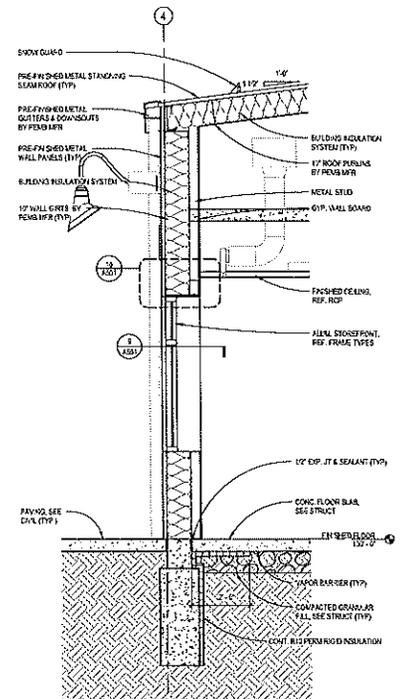
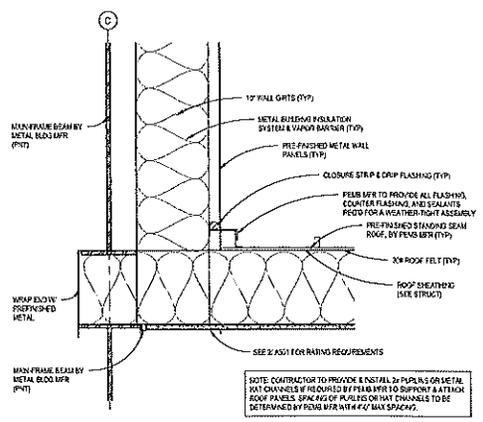
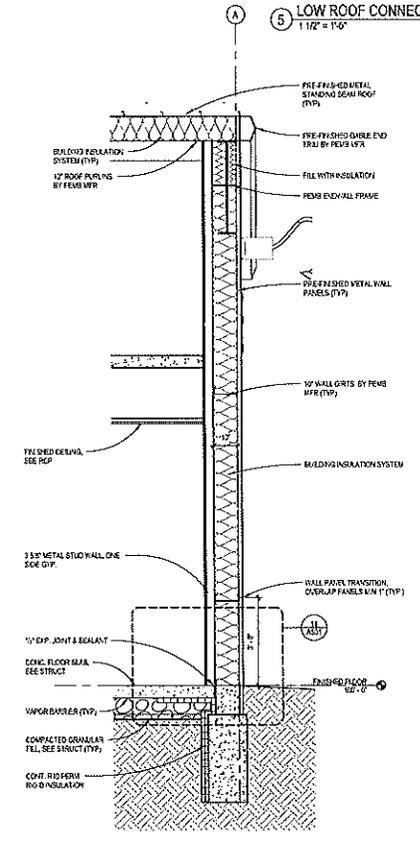
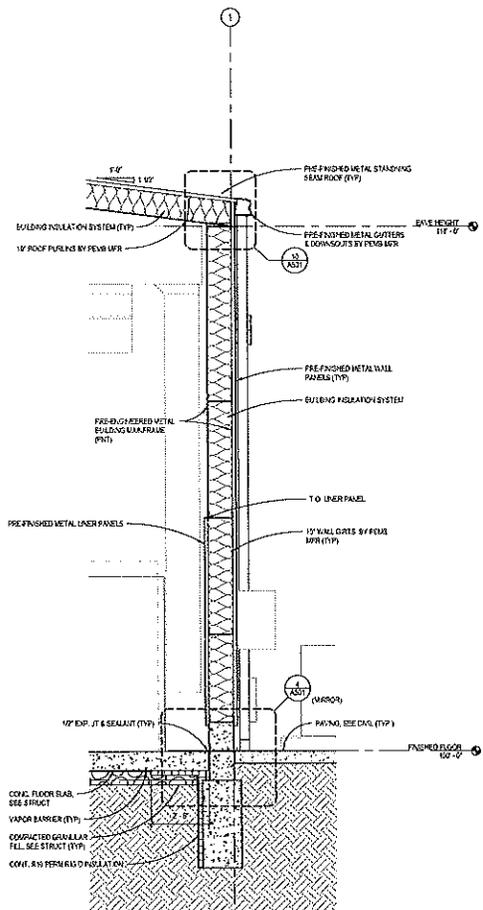
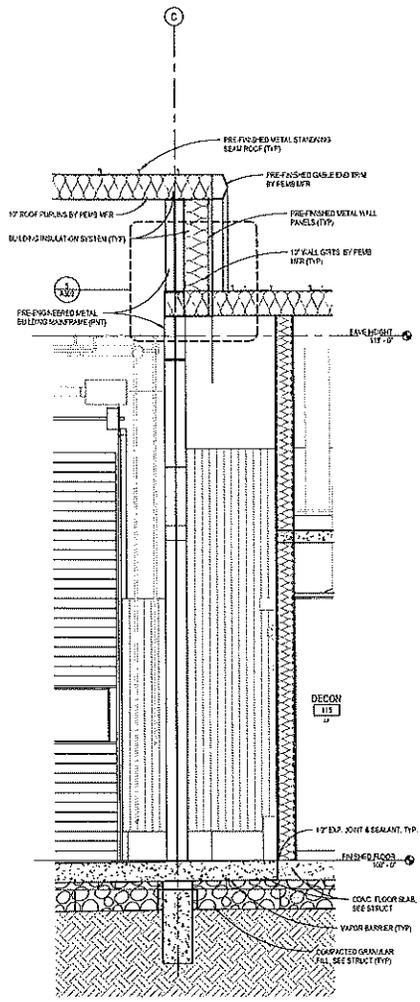


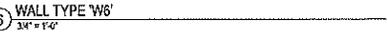
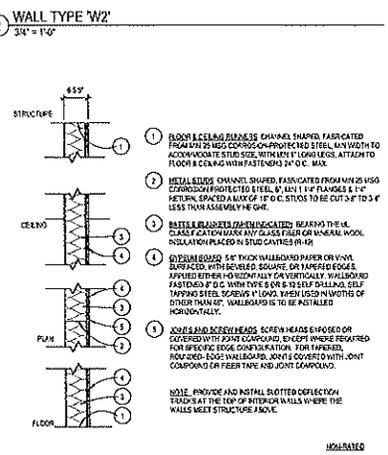
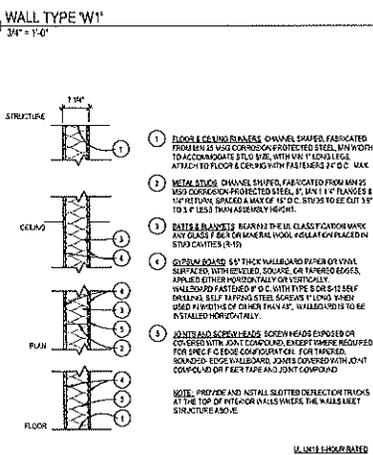
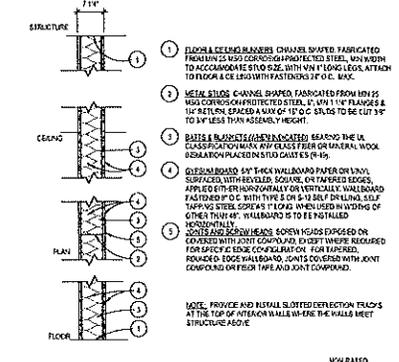
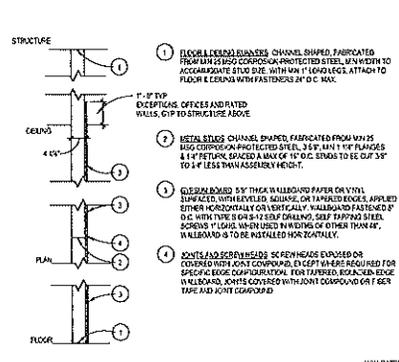
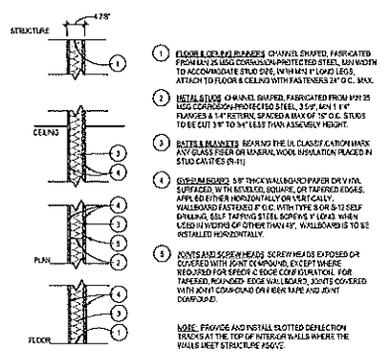
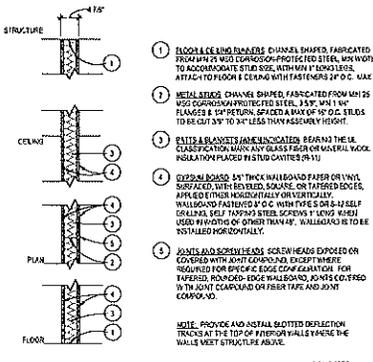
4 EAST ELEVATION
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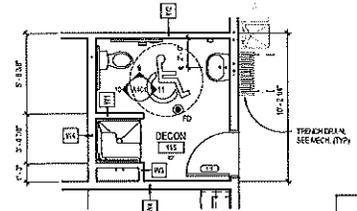
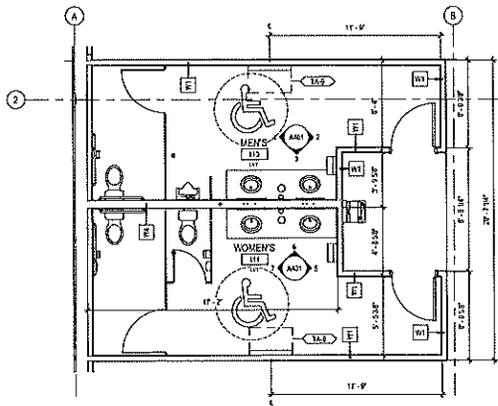
St. Paul Fire and Rescue
New Fire Station
4th & Kendall Street
St. Paul, Nebraska 68873

DATE: 03/20/2019
DRAWN BY: JES
CHECKED BY: JES
PROJECT NO.: 19-018

Exterior Elevations



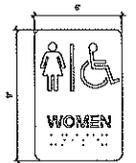




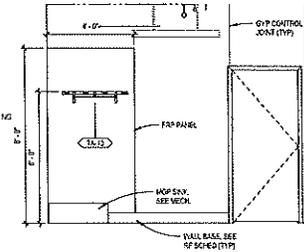
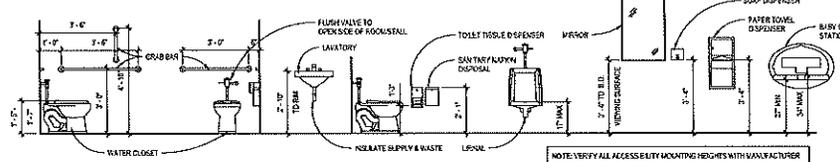
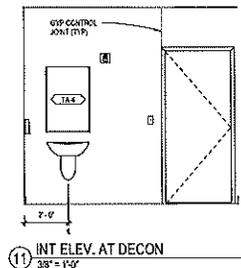
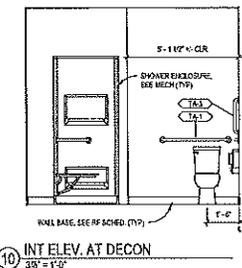
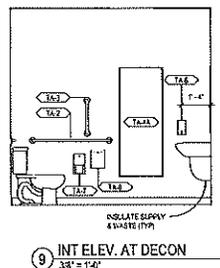
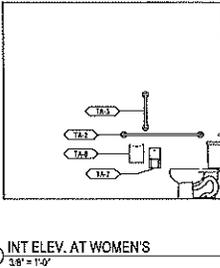
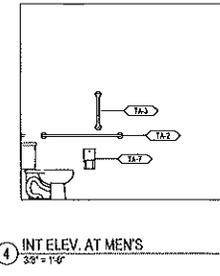
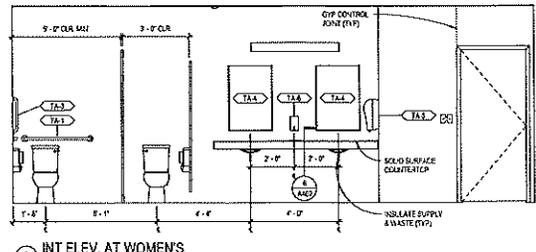
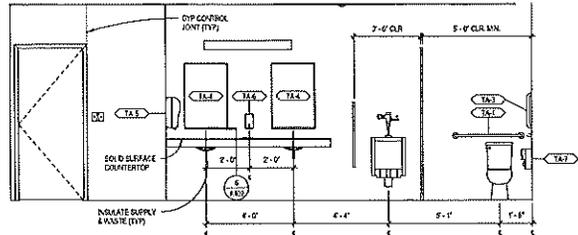
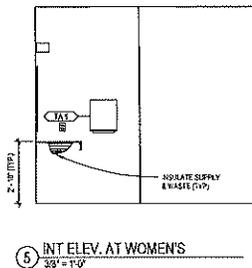
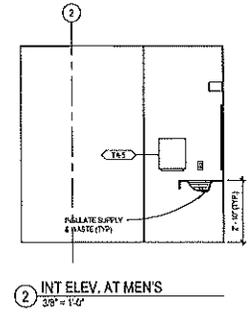
TOILET ACCESSORIES

- 1A.1 GRAB BAR, 36" HORIZ. MOUNTED TO BACK WALL
ROCKEX B-20
MOUNTING HEIGHT: 32" A.F.F. TO TOP OF (SPINA) SURFACE
- 1A.2 GRAB BAR, 42" HORIZ. MOUNTED TO SIDE WALL
ROCKEX B-22A
MOUNTING HEIGHT: 36" A.F.F. TO TOP OF (TOP) SURFACE
- 1A.3 GRAB BAR, 12" VERTICAL MOUNTED TO SIDE WALL
ROCKEX B-20
MOUNTING HEIGHT: 42" A.F.F. TO CENTER OF BOTTOM SUPPORT
- 1A.4 FRAMED GLASS MIRROR, 36" x 36"
ROCKEX B-23
MOUNTING HEIGHT: 42" A.F.F. TO BOTTOM OF REFLECTING SURFACE
CENTER OVER SINK BELOW
- 1A.5 FRAMED GLASS MIRROR, 48" x 60"
ROCKEX B-20
MOUNTING HEIGHT: 42" A.F.F. TO BOTTOM OF REFLECTING SURFACE
- 1A.6 PAPER TOWEL DISPENSER
OPACIFIC BLUE ULTRA-18599
MOUNTING HEIGHT: 42" A.F.F. TO DISPENSER HEIGHT
- 1A.7 SOAP DISPENSER
GLAD RFX TOUCH FREE DISPENSER
MOUNTING HEIGHT: 42" A.F.F. TO SPIST OF DISPENSER
- 1A.8 TOILET PAPER DISPENSER
ROCKEX B-1107
MOUNTING HEIGHT: OUTLET OF DISPENSER TO BE 15" MAX TO 42"
MAX A.F.F. 42" FROM FRONT OF TOILET TO CENTER OF DISPENSER
- 1A.9 SANITARY WASTE DISPOSAL
ROCKEX B-272
MOUNTING HEIGHT: 25" A.F.F. TO TOP OF UNIT
- 1A.10 BABY CHANGING STATION
KBI BASE 201
MOUNTING HEIGHT: 31" A.F.F. MAX TO TOP OF CHANGING BED
- 1A.11 MOP (BROOM) HOLDER
ROCKEX B-224
MOUNTING HEIGHT: 72" A.F.F. TO TOP OF SHELF

NOTES:
1 ALL TOILET ACCESSORIES LISTED ARE SPECIFIC OR EQUIVALENT. GRAB BAR ANCHORS, MOUNTING ACCESSORIES AND WALL BOLDING SHALL BE PROVIDED BY THE MANUFACTURER TO WITHSTAND SHOWN CONCENTRATED LOAD APPLIED TO ANY PORTION OF THE BAR. NO TOLLERAGE OR OVERLOADS SHALL COMPLY WITH ANY ADDITIONAL REQUIREMENTS OF LOCAL GOVERNMENT AGENCIES.
2 FURNISH INTERIORS AND ANCHORING DEVICES WHICH MUST BE BUILT INTO WALLS CODED DATE. DELIVERY WITH OTHER WORK TO AVOID DELAY.



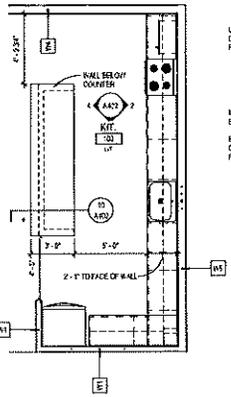
ADA RESTROOM SIGNAGE



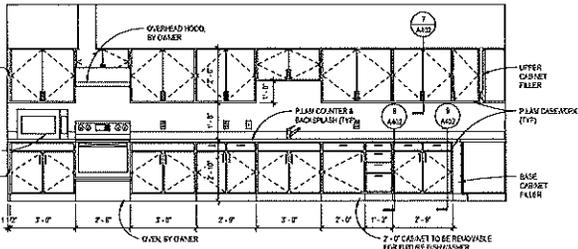
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DATE: 11/20/20
DRAWN BY: JED
CHECKED BY: JED
SCALE: 1/8" = 1'-0"

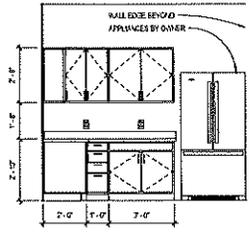
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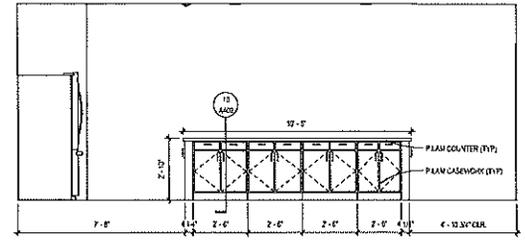
1 ENLARGED KITCHEN & DECON PLAN
1/4" = 1'-0"



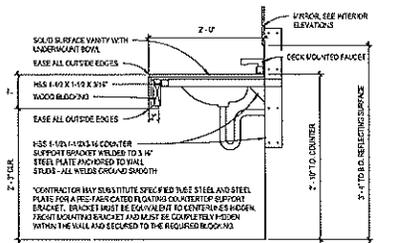
2 INT ELEV. AT KITCHEN
3/8" = 1'-0"



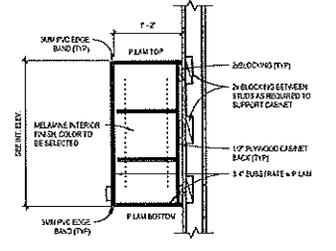
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3/8" = 1'-0"



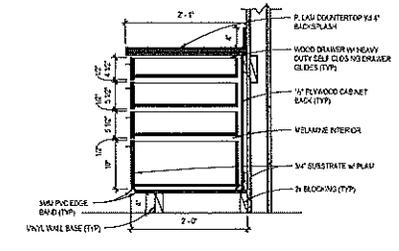
4 INT ELEV. AT KITCHEN
3/8" = 1'-0"



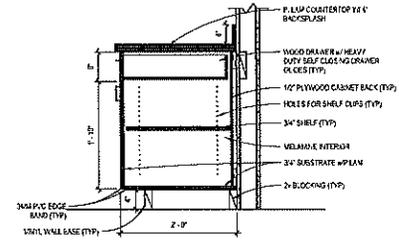
6 SOLID SURFACE COUNTER DETAIL
1" = 1'-0"



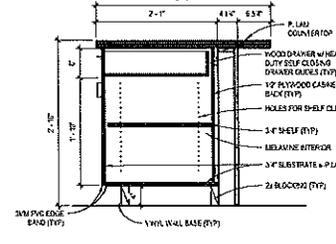
7 TYPICAL UPPER CASEWORK DETAIL
1" = 1'-0"



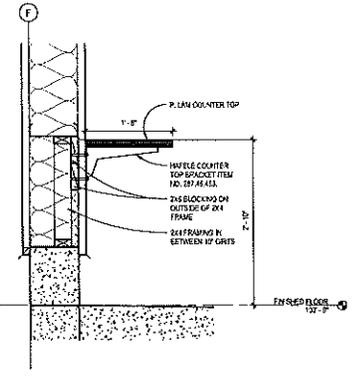
8 TYPICAL BASE CASEWORK DETAIL
1" = 1'-0"



9 TYPICAL BASE CASEWORK DETAIL
1" = 1'-0"



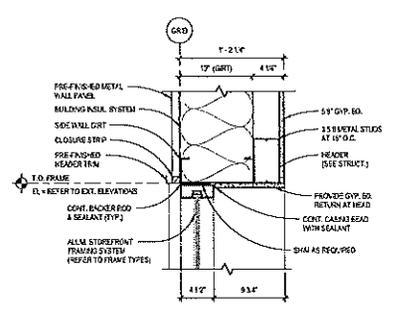
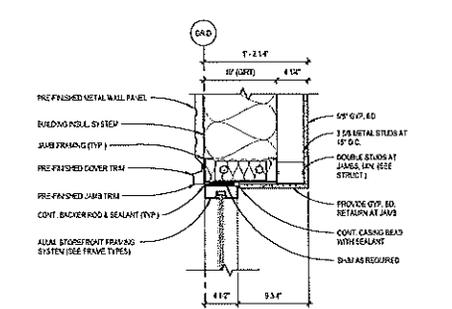
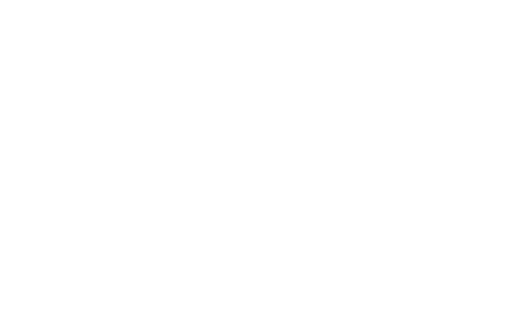
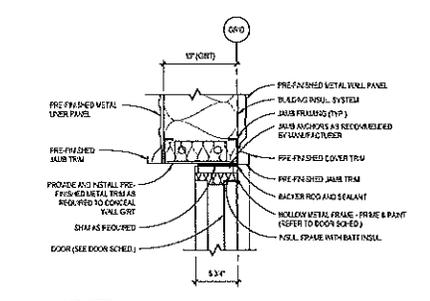
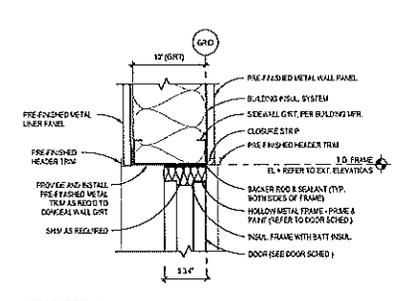
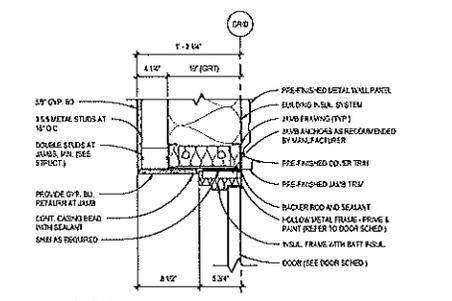
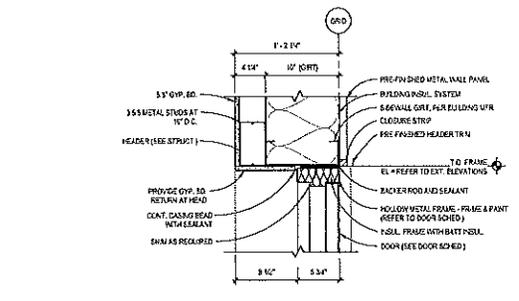
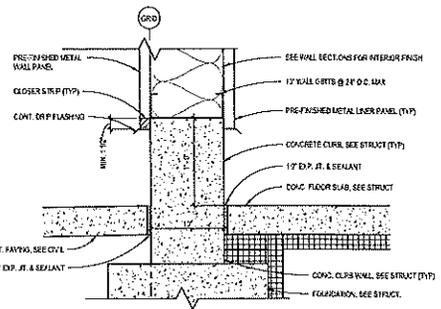
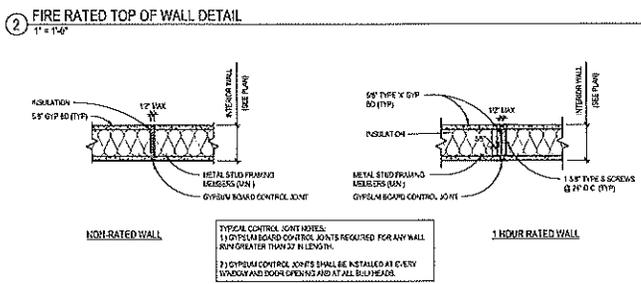
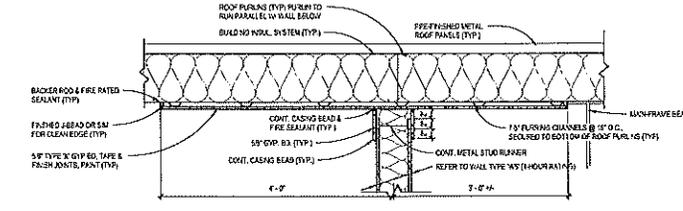
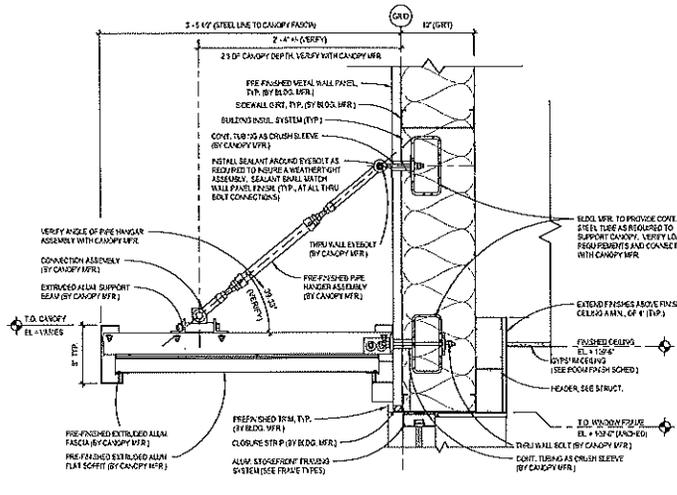
10 TYPICAL BASE CASEWORK DETAIL
1" = 1'-0"



11 COUNTER TOP DETAIL
1" = 1'-0"

ROOMS

ONE INCH EQUALS SEVEN FEET
ALL DIMENSIONS UNLESS OTHERWISE NOTED

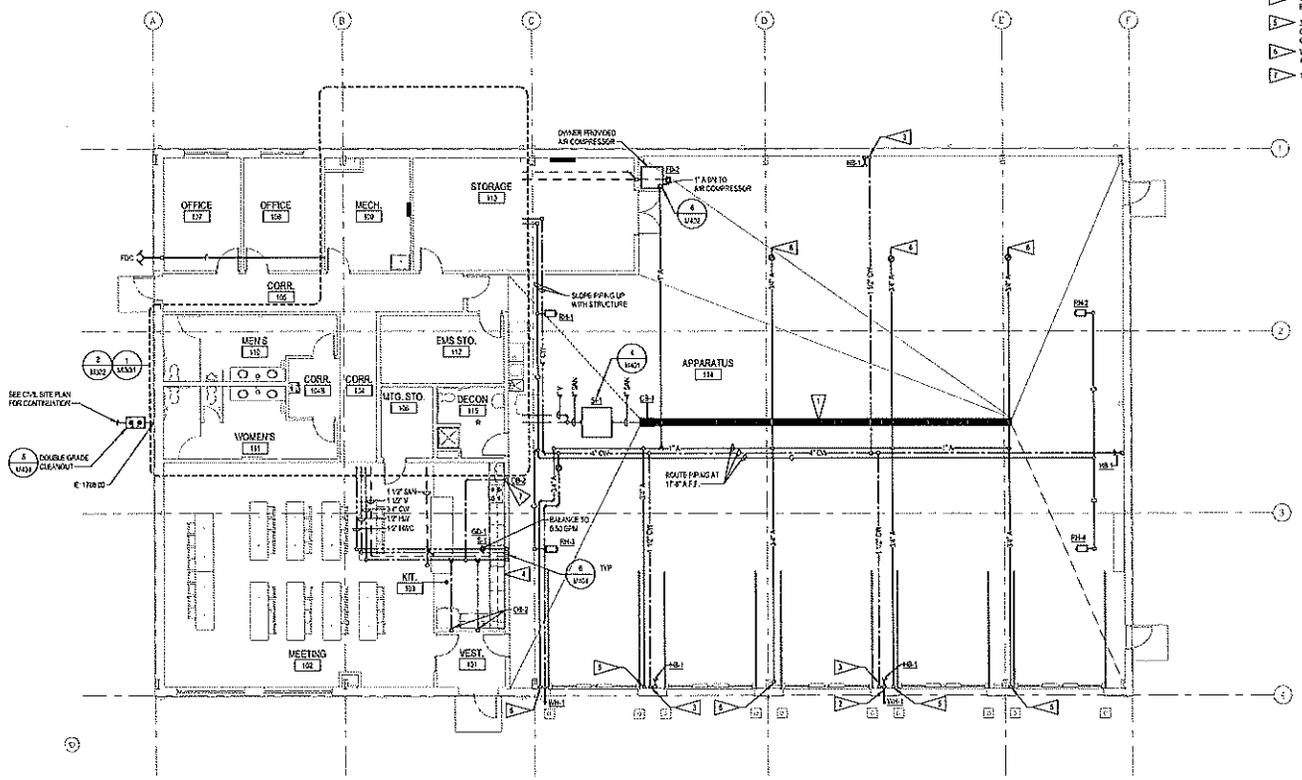


DATE: 11-20-2014
PROJECT: 14114
DRAWN BY: JED
CHECKED BY: JED
SCALE: 1/8" = 1'-0"

Details

A501

- PLUMBING NOTES**
- 1 TRENCH SPANS SHALL BE 1/8" RIMTY UNCOATED WITH DAGED COATED STEEL PIPE AND CLASS C COCK COATED DUCTILE IRON COATED GATE VALVE. GATE SHALL BE 1/8" 30" W/UNDER 30" W/CLASS C COCK COATED DUCTILE IRON BOTTLED GATE. PROVIDE TRENCH GRATE ASSEMBLY. PROVIDE SECTIONS OF TRENCH GRATE WITH CHANNELS SUPPORTS. INSTALL IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS. LENGTHS OF TRENCH SHALL BE COORDINATED WITH ARCHITECT.
 - 2 PROVIDE ISOLATION VALVE ON OFFER TO W/AL HYDRANT.
 - 3 1 1/2" ON LIES DOWN WALL TO CHECK VALVE, GATE VALVE, AND 1 1/2" HOSE CONNECTION TO EXTRACTOR TO COORDINATE AND PROVIDE HOSE CONNECTION FOR TRUCK FILL WITH OWNER AS REQUIRED.
 - 4 CONNECT BODILY WASTE AND WATER PIPING TO SINK/UNITIES BELOW COUNTER.
 - 5 3/4" COMPRESSED AIR DRAIN TO 2" A.F.F. WITH ISOLATION VALVE AND CLASS C CONNECTION VERIFY TYPE AND LOCATION OF GASKET CONNECTION WITH OWNER.
 - 6 VALVE AND G.P. W/COMPRESSED AIR PRESS FOR FUTURE COMPRESSED AIR DROP CONNECTIONS.
 - 7 10" ON DOWN TO (S) FOR FUTURE, SEE INCLUDE.



FLOOR PLAN - PLUMBING
 1/8" = 1'-0"
 4' 8' 16' 24' 32' 40'

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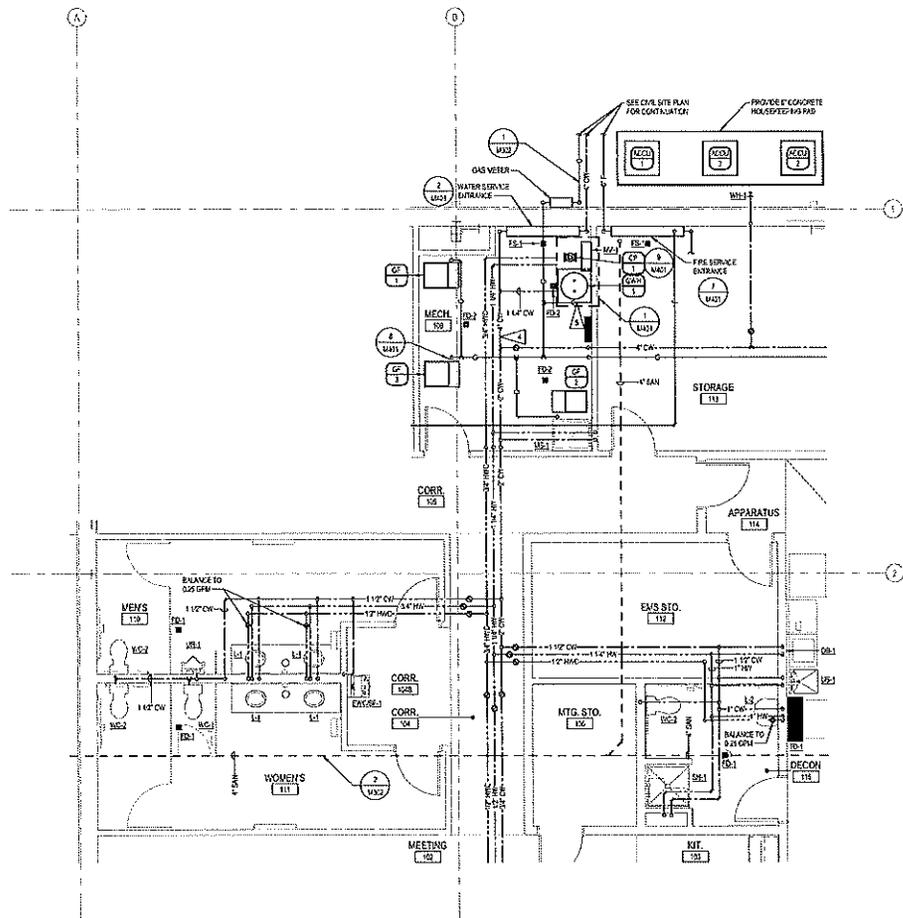
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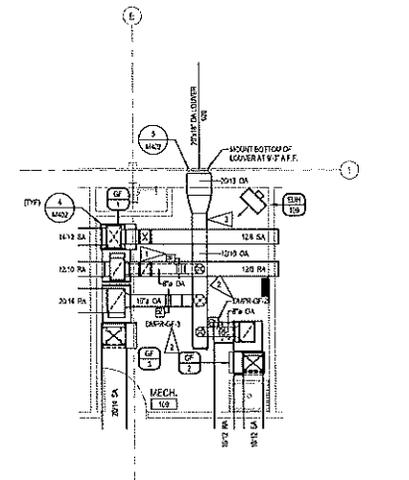
Omaha 1717 West 14th St Omaha, NE 68102 Phone: 402.476.1111	Lincoln 1717 West 14th St Lincoln, NE 68502 Phone: 402.476.1111	Omaha, NE 1717 West 14th St Omaha, NE 68102 Phone: 402.476.1111	San Diego 1717 West 14th St San Diego, CA 92101 Phone: 619.584.1111
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FLAG NOTES

- 1 PROVIDE MANUAL AND NOTICED-DANGER OR OUTSIDE AIR DUCT TO CEILING. BALANCE OUTSIDE AIRFLOW TO 100 CFM. INTERLOCK NOTICED-DANGER WITH CEILING EXHAUSTER.
- 2 REFER TO SHEET M301-02 FOR CONTROLS SCHEDULE AND OPERATION OF DAMPER #2 AND DAMPER #3.
- 3 INSTALL ALL OUTSIDE AIR DUCTWORK IN MECHANICAL ROOM BEYOND PARTITION CEILING.
- 4 INSTALL ALL PLUMBING PIPING IN MECHANICAL ROOM BEYOND PARTITION CEILING.
- 5 PROVIDE 4' CONCRETE HOUSING FOR PAD.



1 ENLARGED FLOOR PLAN - PLUMBING
 1/4" = 1'-0"

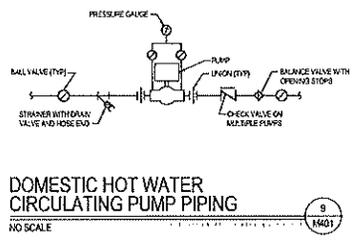
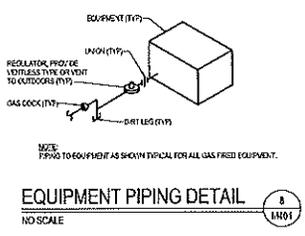
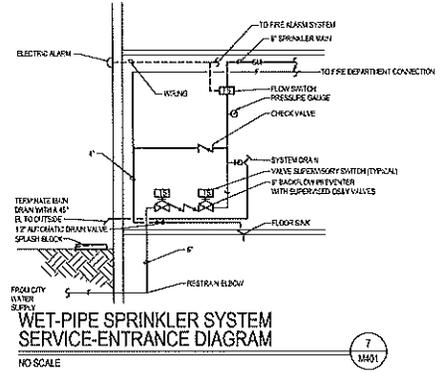
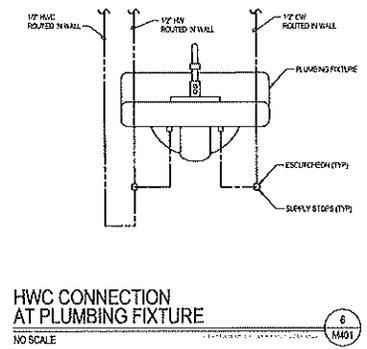
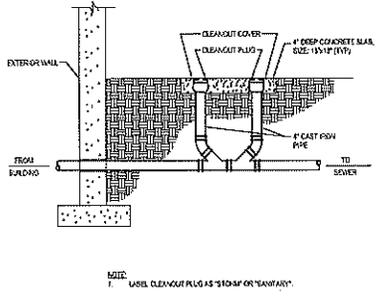
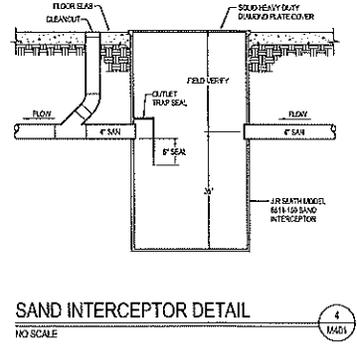
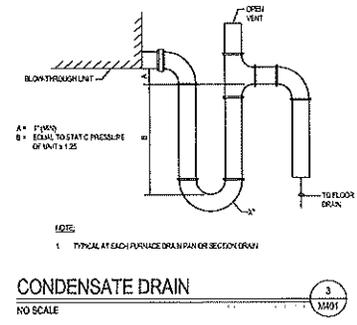
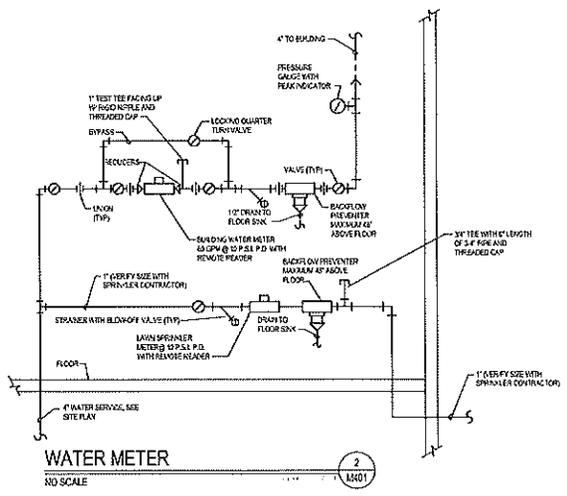
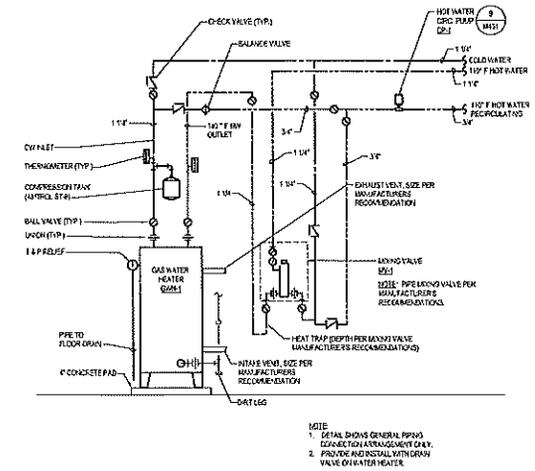


2 ENLARGED FLOOR PLAN - HVAC
 1/4" = 1'-0"

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 Omaha, NE 68105
 402.491.1400
 Fax: 402.491.1401
 www.alvineeng.com



St. Paul Fire and Rescue
New Fire Station
4th & Kendall Street
St. Paul, Nebraska 68973

DATE: 08/20/2014
PROJECT: New Fire Station
DRAWN BY: JED
CHECKED BY: JED

Mechanical Details

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Owner: St. Paul Fire and Rescue
Architect: JED Architecture Inc.
Mechanical Engineer: Alvine Engineering & Construction, Inc.
Date: 08/20/2014
Sheet: M401 of 10

M401

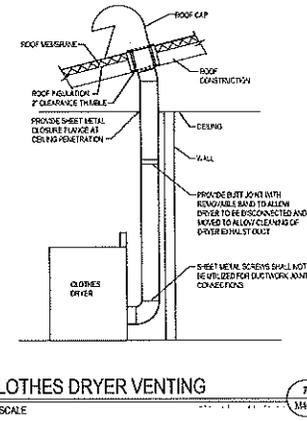
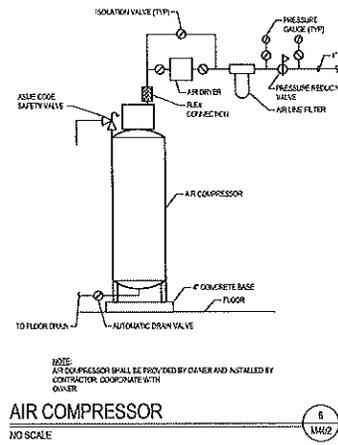
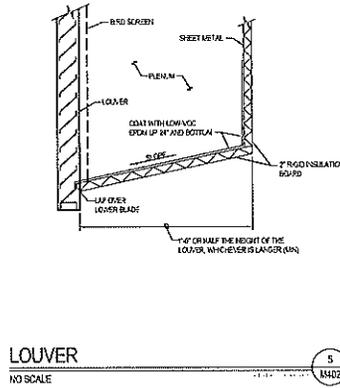
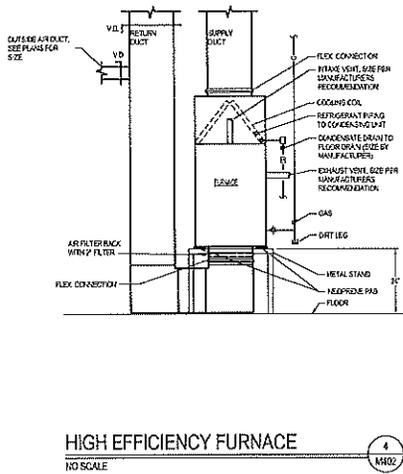
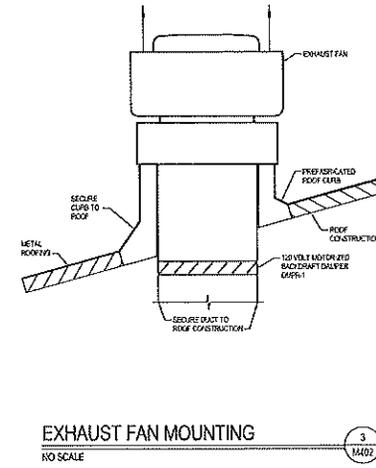
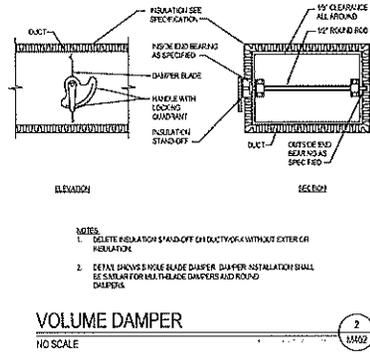
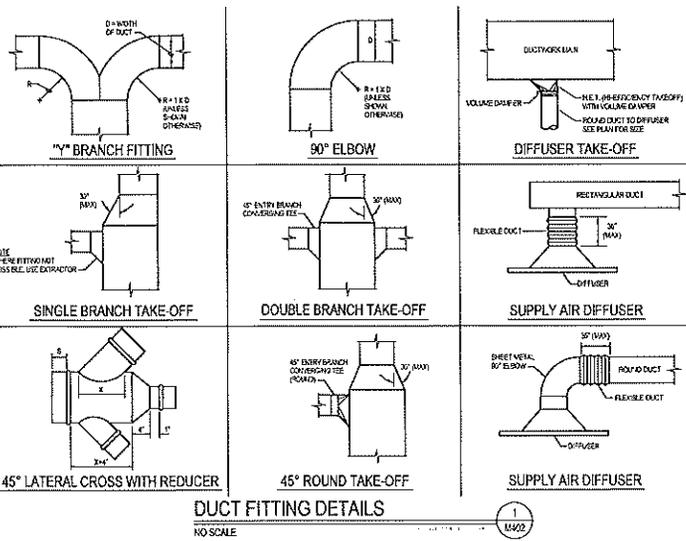
MECHANICAL

MECHANICAL

DO NOT SCALE
FOR CONSTRUCTION
IF NOT
SPECIFICALLY NOTED

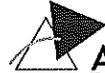
Mechanical Details

M402



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NOTE:
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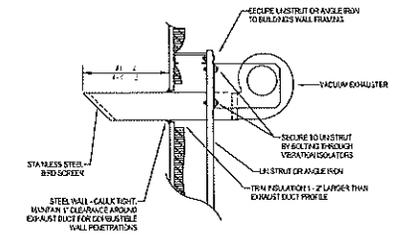
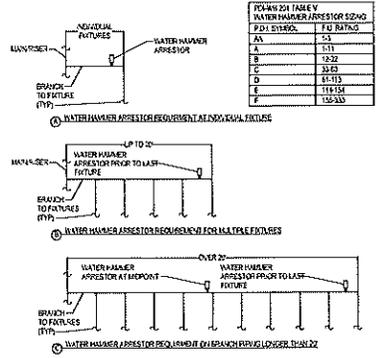
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Order:	Location:	Quantity:	On Hand:
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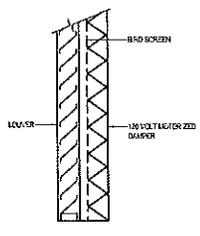
Notes:
1. See Section M403 for details of this assembly.
2. See Section M403 for details of this assembly.

Mechanical Details

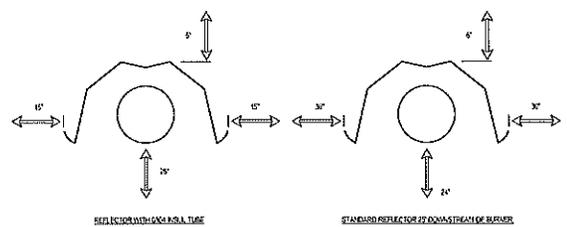
NOTE: PROVIDE, SIZE AND LOCATE WATER HAMMER ARRESTORS IN WATER PIPING ACCORDING TO PIPING SET. INSTALL WHENEVER CHECK VALVES ARE PRESENT IN PIPING. BRANCH PIPES SHALL ALWAYS BE MAILED. LAUNDRY WASHING EQUIPMENT AND ANY OTHER EQUIPMENT ON ELECTRICAL CONTROLLED VALVES. REFER TO MECHANICAL SETTING AND PLACEMENT DATA FOR ADDITIONAL INFORMATION AND CONSIDERATIONS.



RADIANT HEATER EXHAUST
NO SCALE
M403

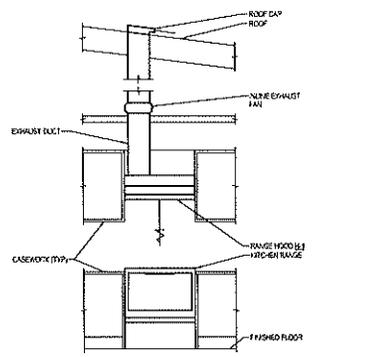


LOUVER
NO SCALE
M403

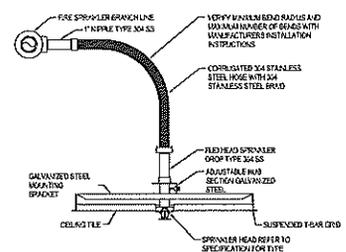


RADIANT HEATER CLEARANCE
NO SCALE
M403

NOTES:
1. REFLECTOR WITH 60% INFLA TUBE SHALL BE USED WITHIN 24" OF BURNER TO MAINTAIN 24" CLEARANCE TO COMBUSTIBLES FROM BOTTOM OF TUBE.
2. STANDARD REFLECTOR MAY BE USED 24" DOWNSTREAM OF BURNER IF CLEARANCES FROM ALL SIDES ARE MET.



RANGE HOOD WITH INLINE FAN
NO SCALE
M403



FLEXIBLE SPRINKLER HEAD STRAIGHT CONNECTION
NO SCALE (STRAIGHT OUTLET)
M403

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M403

RADIANT HEATER SCHEDULE

MARK	SERVES	LOCATION	EXHAUST VENT CONNECTION (IN)	FUEL	INPUT (MBH)	CONTROL DEVICE	EFFICIENCY	MANUFACTURER	MODEL	REMARKS
RH1	APPROX 150	APPROX 150	1/2"	NAT GAS	75	THERMOSTAT	90%	REFLECT GRAY	67530-100438A-TUBE	12.1.1.1
RH2	APPROX 150	APPROX 150	1/2"	NAT GAS	75	THERMOSTAT	90%	REFLECT GRAY	67530-100438A-TUBE	12.1.1.1
RH3	APPROX 150	APPROX 150	1/2"	NAT GAS	75	THERMOSTAT	90%	REFLECT GRAY	67530-100438A-TUBE	12.1.1.1
RH4	APPROX 150	APPROX 150	1/2"	NAT GAS	75	THERMOSTAT	90%	REFLECT GRAY	67530-100438A-TUBE	12.1.1.1

- REMARKS:
- SEE MECHANICAL/ELECTRICAL COORDINATION SCHEDULE ON SHEET E400 FOR ELECTRICAL DATA.
 - PROVIDE WITH REFLECTOR BRACKET FINISHED ALUMINUM WITH MAXIMUM REFLECTIVITY WITH 1/8" DIA CAPS SAME TO CONTROL RADIATION FROM TUBES FOR UNIFORM INTENSITY AT FLOOR.
 - RADIANT TUBES TO BE CONSTRUCTED OUTSIDE OF HEAT TREATMENT BARRIER STEEL.
 - BURNER SHALL BE VACUUM VENTED GAS BURNER WITH ELECTRICAL SPARK.
 - PROVIDE REFLECTOR RAY IS PAINT RADIANT TUBES FOR PROTECTED EXPOSURE TO COMBUSTIBLES.
 - PROVIDE WITH REFLECTOR BRACKET CONTROL PANEL WITH 1/4" DIA THERMOSTAT.
 - PROVIDE WITH STAINLESS STEEL GAS FLEX CONNECTION AND GAS COCK.
 - PROVIDE WITH 3 YEAR WARRANTY ON COMPONENTS, 10 YEAR WARRANTY ON TUBES.
 - INSTALL WITH MINIMUM CLEARANCE OF 24 INCHES BELOW WITHOUT UP ROOFWAY TUBE. REFER TO 1111 FOR MINIMUM CLEARANCE TO CEILING, STEELS DETAIL.
 - CONTRACTOR TO PROVIDE EXHAUST VENT CONNECTION TO VACUUM BURNER. REFERENCE 1111 FOR VACUUM EXHAUST DETAIL.

AIR COOLED CONDENSING UNIT SCHEDULE

MARK	SERVES	LOCATION	CAPACITY (TONS)	COMPRESSOR TYPE	NO. COMPRESSORS	STEPS UNLOADING	REFRIGERANT	AMBIENT TEMP (°F)	MIN SEER	DIMENSIONS (LxWxH) (IN)	OPERATING WEIGHT (LBS)	MANUFACTURER	MODEL	REMARKS
ACU1	GF-1	GRADE	30	SCROLL	1	2	R-410A	96	15.5	36x24x31	210	LENOX	MS00H170	1.1
ACU2	GF-2	GRADE	24	SCROLL	1	2	R-410A	96	15.5	36x24x31	180	LENOX	EL170130C130	1.1
ACU3	GF-3	GRADE	40	SCROLL	1	2	R-410A	96	15.0	36x48x39	370	LENOX	SBE04H-250	1.2

- REMARKS:
- SEE MECHANICAL/ELECTRICAL COORDINATION SCHEDULE ON SHEET E400 FOR ELECTRICAL DATA.
 - PROVIDE WITH MINIMUM SPEED CONTROL ON 100% EXHAUST FAN APPLY TO SCHEDULED AIRFLOW.

GAS FIRED FURNACE SCHEDULE

MARK	SERVES	LOCATION	CONFIGURATION	AIRFLOW (CFM)	EXT. S.P. (IN. W.C.)	INPUT HIGH/LOW (MBH)	OUTPUT HIGH/LOW (MBH)	EFFICIENCY	DIMENSIONS (LxWxH) (IN)	OPERATING WEIGHT (LBS)	MANUFACTURER	MODEL	REMARKS
GF-1	SEE PLANS	MECH-109	VERTICAL	100	0.75	104/120	85/100	90%	20.25x14.0x31	100	LENOX	EL200H030VAC	1.2
GF-2	SEE PLANS	MECH-109	VERTICAL	100	0.75	104/120	85/100	90%	20.25x14.0x31	110	LENOX	EL200H030VAC	1.2
GF-3	SEE PLANS	MECH-109	VERTICAL	100	0.75	104/120	85/100	90%	20.25x14.0x31	100	LENOX	EL200H030VAC	1.2

- REMARKS:
- SEE MECHANICAL/ELECTRICAL COORDINATION SCHEDULE ON SHEET E400 FOR ELECTRICAL DATA.
 - PROVIDE THE FOLLOWING:
 - 2" FILTER BAGS WITH MESH #10 FILTER
 - W/IF ACCESSIBLE 1 DAY PROGRAMMABLE STAT
 - MANICONI COIL AND COP
 - 200% CONCENTRIC VENT KIT
 - VARIABLE SPEED MOTOR (VSM)
 - 1/2" DRAINAGE

PUMP SCHEDULE

MARK	SERVES	TYPE	GPM	HEAD FT	RPM	MANUFACTURER	MODEL NO.	REMARKS
CP-1	INDOOR SYSTEM	42.4-8	1.25	7	3,350	ISSO	006	1.2.1

- REMARKS:
- SEE MECHANICAL/ELECTRICAL COORDINATION SCHEDULE ON SHEET E400 FOR ELECTRICAL DATA.
 - PROVIDE WITH STAINLESS STEEL CONSTRUCTION.
 - PUMP CONTROLLED BY ELECTRIC ACTUATOR WITH ADJUSTABLE TEMPERATURE SENSOR.

KITCHEN HOOD SCHEDULE

MARK	SERVES	LOCATION	DIMENSIONS (LxWxH) (IN)	AIRFLOW (CFM)	TOTAL SF (IN. W.C.)	MANUFACTURER	MODEL NUMBER	REMARKS
H-1	KITCHEN	INDOOR	30x40x36	300	0.25	CEMAR	DI200-CP	1.2.1

- REMARKS:
- SEE MECHANICAL/ELECTRICAL COORDINATION SCHEDULE ON SHEET E400 FOR ELECTRICAL DATA.
 - PROVIDE WITH MINIMUM SPEED CONTROL ON 100% EXHAUST FAN APPLY TO SCHEDULED AIRFLOW.
 - PROVIDE THE FOLLOWING:
 - STANDARD 17" H, 16" FAN
 - ALUMINUM BRACKET
 - SUPPRESSION PAN AND SUPPRESSION SYSTEM
 - STAINLESS STEEL DRAIN BUNDLE AND STAINLESS STEEL DRAIN PUMP
 - DRAIN ELECTRIC DRAIN BUNDLE AND COIL
 - MANUAL PULL STATION KIT
 - DISCONNECT HAND OPERATED ACCESSIBLE CONTROL BOX

EXHAUST FAN SCHEDULE

MARK	SERVES	LOCATION	TYPE	AIRFLOW (CFM)	EXT. S.P. (IN. W.C.)	FAN RPM	DRIVE	MAX. SONES	CONTROL	WEIGHT (LBS)	MANUFACTURER	MODEL NUMBER	REMARKS
EF-1	SEE PLANS	INDOOR	UPRAISED	1500	3.0	1725	DIRECT	35	GAS DETECTION	225	GRANBERG	GR2-CP-100	1.2.1
EF-2	SEE PLANS	CEILING	CEILING	150	0.25	750	DIRECT	2	STAT	25	GRANBERG	GR2-CP-100	1.2
EF-3	SEE PLANS	CEILING	CEILING	150	0.25	750	DIRECT	2	STAT	25	GRANBERG	GR2-CP-100	1.2
EF-4	SEE PLANS	CEILING	CEILING	150	0.25	750	DIRECT	2	STAT	25	GRANBERG	GR2-CP-100	1.2
EF-5	SEE PLANS	WALL	WALL	300	0.50	1500	DIRECT	7.5	CONTINUOUS	50	GRANBERG	GR2-CP-100	1

- REMARKS:
- SEE MECHANICAL/ELECTRICAL COORDINATION SCHEDULE ON SHEET E400 FOR ELECTRICAL DATA.
 - PROVIDE 100% MOISTURE CAPTURE (MFCR-1) AND PREFERRED ROOF CAPS COMPATIBLE WITH STAINLESS STEEL ROOF.
 - PROVIDE WITH A GUSTY WIND RESISTANT DRAINAGE AND REMOVABLE COILS.
 - PROVIDE WITH FAN MOTOR STARTER FOR MANUAL OPERATION.

DIFFUSER REGISTER AND GRILLE SCHEDULE

MARK	DESCRIPTION	DEFLECTION	MAXIMUM STATIC PRESSURE (IN. W.C.)	MAXIMUM CONSTRUCTION INCH LEVEL	CONSTRUCTION MATERIAL	FINISH	FACE SIZE (IN)	MANUFACTURER	MODEL NUMBER	REMARKS
D-1	SUPPLY REGISTER	4WAY	0.1	3/8"	STEEL	WHITE	16x16	FRANKER	FRD	1
D-2	SUPPLY REGISTER	4WAY	0.1	3/8"	ALUMINUM	WHITE	16x16	FRANKER	FRD	1
D-3	SUPPLY REGISTER	4WAY	0.1	3/8"	STEEL	WHITE	16x16	FRANKER	FRD	1
D-4	SUPPLY REGISTER	4WAY	0.1	3/8"	STEEL	WHITE	48" Lx 48" W	FRANKER	FRD	1.2.1
R-1	RETURN GRILLE	SINGLE	0.1	3/8"	STEEL	WHITE	24x24	FRANKER	FRD	1.2
R-2	RETURN GRILLE	PERFORATED	0.1	3/8"	STEEL	WHITE	24x24	FRANKER	FRD	1
R-3	RETURN GRILLE	SINGLE	0.1	3/8"	STEEL	WHITE	24x24	FRANKER	FRD	1
R-4	RETURN GRILLE	PERFORATED	0.1	3/8"	STEEL	WHITE	24x24	FRANKER	FRD	1.2

- REMARKS:
- CONTRACTOR SHALL VERIFY CEILING CONSTRUCTION PRIOR TO FURNISHING MATERIAL.
 - UNLESS SUPPLY REGISTER SHALL BE 4" LEVEL 1/2" DIA WITH 1/2" DIA VERTICAL VENT HOLE SLIP.
 - ALL DUCTWORK HANDS TO SUPPLY REGISTER SHALL BE 1/4" UNLESS OTHERWISE NOTED.
 - ALL DUCTWORK HANDS TO RETURN GRILLES SHALL BE 1/4" UNLESS OTHERWISE NOTED.
 - PROVIDE WITH FACTORY BUILT DUCT INSULATION CONSTRUCTION DETAIL PER PLAN IN FIELD FOR LATER DETAILERS TO PLAN TO BE IN LINE WITH 1/2" LINA.
 - DIFFUSERS AND GRILLES REQUIRE INTEGRAL PRESERVED CONSTRUCTION.

ELECTRIC UNIT HEATER SCHEDULE

MARK	SERVES	LOCATION	CONFIGURATION	HEATING CAPACITY (KW/MBH)	AIRFLOW (CFM)	DIMENSIONS (LxWxH) (IN)	OPERATING WEIGHT (LBS)	MANUFACTURER	MODEL	REMARKS
EH-01	MECH-109	MECH-109	WALL MOUNT	1.97 kW	210	14x16x16	21	GRANBERG	EH01-024	1.2.1

- REMARKS:
- SEE MECHANICAL/ELECTRICAL COORDINATION SCHEDULE ON SHEET E400 FOR ELECTRICAL DATA.
 - PROVIDE WITH NEUTRAL THERMOSTAT AND DISCONNECT SWITCH.
 - PROVIDE WITH WALL MOUNTING BRACKET.

WATER HEATER SCHEDULE - GAS

MARK	SERVES	LOCATION	MAX. OPERATING WEIGHT (LBS)	MAX. SIZE (DIAxH) (IN)	STORAGE CAPACITY (GAL)	RECOVERY (GPH @ 70°F RISE)	INPUT (MBH)	MIN. EFFICIENCY (%)	FLUE SIZE (IN)	MANUFACTURER	MODEL NUMBER	REMARKS
WH-1	DOMESTIC WATER	MECH-09	60	30x24	0	315	130	90	3"	AGS/AM	WH130	1.2

- REMARKS:
- SEE MECHANICAL/ELECTRICAL COORDINATION SCHEDULE ON SHEET E400 FOR ELECTRICAL DATA.
 - PROVIDE WITH A ROOF CONCENTRIC VENT KIT.

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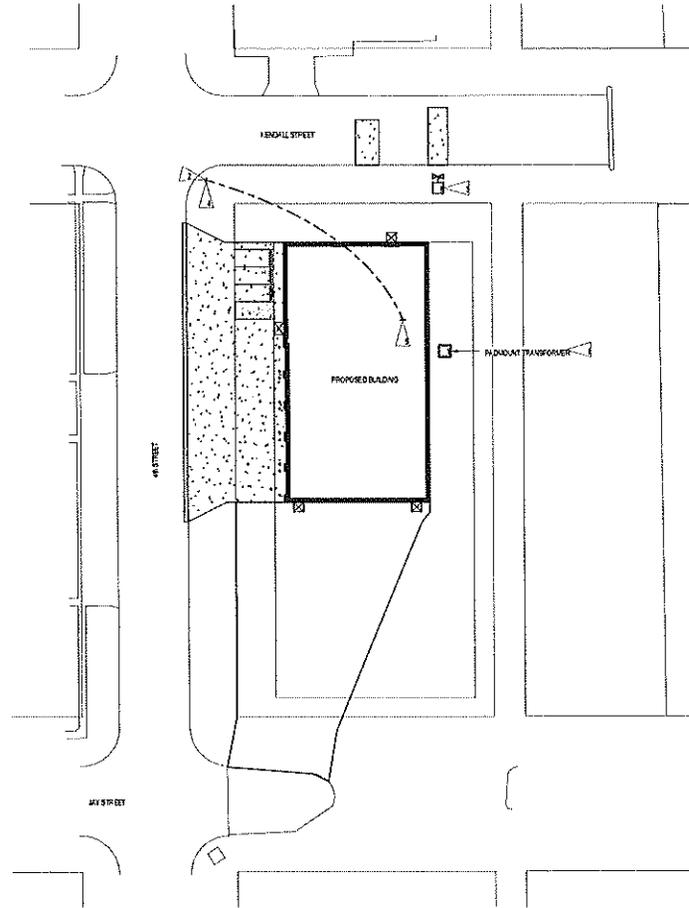
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GENERAL NOTES

1. IN COMPLIANCE WITH STATE AND LOCAL ORDINANCES, CONDUIT THE UTILITY LOCATING SERVICE PRIOR TO TRENCHING. THIS SHOULD BE DONE A MINIMUM OF 48 HOURS BEFORE SATURDAY MORNING AND HOLIDAYS PRIOR TO ACTUAL NEED TO AVOID THE LOCATION OF UNDISCOVERED UTILITIES AND EQUIPMENT. ACTUAL LOCATIONS OF THE CABLE AND EQUIPMENT SHALL THEN BE DONE BY EACH UTILITY.
2. UTILITY LOCATIONS ARE SUBJECT TO INTERPRETATION. LOCATIONS ARE APPROXIMATE AND NO GUARANTEE IS MADE OR IMPLIED AS TO THEIR ACCURACY. FURTHER VERIFICATION MAY BE REQUIRED TO IDENTIFY UTILITIES. CONTACT LOCAL UTILITY COMPANIES FOR DISCREPANCIES. INSPECTION ON CONDUIT AND/OR CABLE SHALL BE DONE PRIOR TO INSTALLATION. ALL INSTALLATIONS MUST BE INSTALLED PER LOCAL UTILITY STANDARDS AND INSPECTED PRIOR TO BEING COVERED.

FLAG NOTES

- ▽ SEE ELECTRICAL PER DIAGRAM VERIFY LOCATION WITH UTILITY.
- ▽ SEE TELECOM RISEN DIAGRAM VERIFY LOCATION WITH SERVICE PROVIDER.
- ▽ TALKER SWITCH ON POST INDICATOR VALVE. PROVIDE FIRE ALARM WYFOS IN 3' FC. TO FIRE ALARM PANEL.
- ▽ 15/8" (1" C) BELOW GRADE IN OUT TELECOMMUNICATIONS BOARD TO PUBLIC POP. - 1" HIGH FOR CONNECTIONS BY TELEPHONE COMMUNICATIONS. COORDINATE LOCATION WITH SPECTRAE.
- ▽ APPROPRIATE LOCATION OF TELECOMMUNICATIONS BOARD.



St. Paul Fire and Rescue
New Fire Station
4th & Kendall Street
St. Paul, Nebraska 65873

12-104

DATE: 11-07-21
PROJECT NO.: 2211
DRAWN BY:
CHECKED BY:
DATE: 11-07-21

Site Plan - Electrical

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SITE PLAN - ELECTRICAL

1" = 37'-0"




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Sheet **E001**

PANEL A											
200/120V 3 PHASE 4 WIRE W/ GND BAR			SURFACE MOUNTED			FLOOR FINISHES BOTH SECTIONS					
40 AMP AC			INTEGRAL SPD								
14 PAGES ONE SECTION			SOURCE A								
DESCRIPTION	LOAD VA	REMARKS	O/C	CKT #	PH	CKT #	O/C	REMARKS	LOAD VA	DESCRIPTION	
RECEPT ITCHEM ISLAND	180		201	1	A	2	201		360	RECEPT I13	
RECEPT ITCHEM ISLAND	180		201	3	B	4	201		360	RECEPT I12	
CO2M EXTRACTOR	2400	1	202	1	A	1	202		2400	RECEPT I10 CO2M EXTRACTOR	
WASHER	1500		202	9	B	19	202		300	RECEPT I11	
TRICY	5000	1,2	202	11	C	11	202		600	RECEPT I12	
CLOTHES DRYER	1500	2	202	19	B	14	201		120	240V GARAGE LIGHTS	
RECEPT ITCHEM	180		202	17	C	18	202		720	RECEPT I10	
RECEPT ITCHEM	180	2	202	21	B	22	202		360	SPARE	
CO2M PANEL	4800		202	19	A	20	201		600	RECEPT I11	
ICE MACHINE	1180	2	201	25	A	24	201		360	SPARE	
RECEPT I14	180		201	27	B	28	201		1400	RECEPT ITCHEM - MICRO	
RECEPT I14	180		201	29	B	30	201		600	RAIHOE	
SPARE	0		201	31	A	32	202				
SPARE	0		201	33	B	34	201				
SPARE	0		201	35	C	36	201				
SPARE	0		201	39	B	40	202				
RECEPT I11	180		201	41	C	42	201				
RECEPT I11	180		201	43	A	44	201				
RECEPT I11	180		201	45	B	46	201				
SPARE	0		201	47	C	48	201				
RECEPT I11	180		201	49	A	50	201				
SPARE	0		201	51	B	52	201				
SPARE	0		201	53	C	54	201				
RECEPT I11	180		201	55	A	56	201				
RECEPT I11	180		201	57	B	58	201				
CASCADE MACHINE	1800	1	201	59	C	60	201				
RECEPT I11	180		201	61	A	62	201				
RECEPT I11	180		201	63	B	64	201				
RECEPT I11	180		201	65	C	66	201				
RECEPT I11	180		201	67	A	68	201				
RECEPT I11	180		201	69	B	70	201				
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RECEPT I11	180		201	73	A	74	201				
RECEPT I11	180		201	75	B	76	201				
RECEPT I11	180		201	77	C	78	201				
RECEPT I11	180		201	79	A	80	201				
RECEPT I11	180		201	81	B	82	201				
RECEPT I11	180		201	83	C	84	201				

LOAD TYPE	CONNECTED	DEMAND FACTOR	DEMAND	19973 EMD	20% SPARE
RECEPT	5990	NEC	2292	2292	
LIGHTING	5400	100%	5400	5400	
HEATING	21780	100%	21780	21780	
INTERM	0	100%	0	0	
INCHGAC	4003	100%	4003	4003	
HOTEL	0	NEC	0	0	
ELEV	0	100%	0	0	
EM ELEV	0	100%	0	0	
EM EQUIP	0	100%	0	0	
CUSTOM	0	100%	0	0	
CUSTOM	0	100%	0	0	
CUSTOM	0	100%	0	0	
LOST MTR	5000	125%	13200		

REMARKS
 1 W/FF IN BUDGET WITH OVER EQUIPMENT.
 2 INTERLOCK BUDGET.
 3 PROVIDE BREAKER HANDLE LOCK.

PANEL EM											
200/120V 3 PHASE 4 WIRE W/ GND BAR			SURFACE MOUNTED			SOURCE A					
40 AMP AC			SOURCE A								
14 PAGES ONE SECTION			SOURCE A								
DESCRIPTION	LOAD VA	REMARKS	O/C	CKT #	PH	CKT #	O/C	REMARKS	LOAD VA	DESCRIPTION	
APPARATUS DRIP COORD	720	0/0	201	1	A	2	201	0/0	720	APPARATUS DRIP COORD	
APPARATUS DRIP COORD	720	0/0	201	3	B	4	201	0/0	720	APPARATUS DRIP COORD	
APPARATUS DRIP COORD	720	0/0	201	5	C	6	201	0/0	720	APPARATUS DRIP COORD	
APPARATUS DRIP COORD	720	0/0	201	7	A	8	201	0/0	720	APPARATUS DRIP COORD	
CHARGING STATION	300		201	9	B	10	202		147	ELECT. HTR EM-109	
CHARGING STATION	300		201	11	C	12	201				
CHARGING STATION	300		201	13	A	14	201				
GARAGE DOOR MOTOR	1800		201	15	B	16	201				
GARAGE DOOR MOTOR	1800		201	17	C	18	201				
GARAGE DOOR MOTOR	1800		201	19	A	20	201				
GAS FURNACE Q-1	1000		154	21	B	22	201				
GAS FURNACE Q-2	1000		154	23	C	24	202				
INDUSTRIAL 100.1A	1100		201	25	A	26	201				
INDUSTRIAL 100.1A	1100		201	27	B	28	201				
RAD. HEAT CONT. PNL RHP-1	1500		201	29	C	30	201				
SPARE	0		201	31	B	32	201				
SPARE	0		201	33	A	34	201				
SPARE	0		201	35	C	36	201				
SPARE	0		201	37	A	38	201				
SPARE	0		201	39	B	40	201				
SPARE	0		201	41	C	42	201				

LOAD TYPE	CONNECTED	DEMAND FACTOR	DEMAND	3154 EMD	20% SPARE
RECEPT	1740	NEC	1350	7251	
LIGHTING	5200	100%	5200	5200	
HEATING	0	100%	0	0	
INTERM	0	100%	0	0	
INCHGAC	1874	100%	1874	1874	
HOTEL	0	NEC	0	0	
ELEV	0	100%	0	0	
EM ELEV	0	100%	0	0	
EM EQUIP	0	100%	0	0	
CUSTOM	0	100%	0	0	
CUSTOM	0	100%	0	0	
CUSTOM	0	100%	0	0	
LOST MTR	8712	125%	10890		

MECHANICAL / ELECTRICAL COORDINATION SCHEDULE											
ABBREVIATIONS											
A	AMP	C	COMBINATION STARTER AND SAFETY SWITCH	S	SWITCH	H1	HEAVY 1				
DEL	DELTA WIRE	CB	CIRCUIT BREAKER	SF	START AND FUSAT	H2	HEAVY 2				
HP	HOMERUNNER	CP	CONTROL PANEL	SS	SAFETY SWITCH	E1C	EMEA 1C				
NY	NEGATIVE	C/P	CORRO AND PLUG	V	LINE VOLTAGE THERMOSTAT	STE	THEATL ELEMENT				
PH	PHASE	I	INTEGRAL WITH EQUIPMENT	VC	VARIABLE FREQUENCY CONTROLLER	SOCR	SHORT CIRCUIT CURRENT RATING				
V	VOLTAGE	OF	NON-FUSED	EC	ELECTRICAL CONTRACTOR						
W	WATTS	OB	OCCUPANCY SENSOR	MC	MECHANICAL CONTRACTOR						

MARK	EQUIPMENT	DESCRIPTION	LOAD	V	PH	FEEDER OR BRANCH CIRCUIT	PANEL CIRCUIT	DISCONNECT INSTALLED BY	TYPE	RATING (AMPS)	ENCL	LINE VOLTAGE CONTROLLER		AVAILABLE FAULTY CURRENT (AMPS)	REMARKS	
												FURNISHED BY	ENCL			
ACQ-1	AIR COOLED CONDENSING UNIT	4.65W	208	3	20F4	B-2	B-2	EECC	50	30	NR	-	-	-	15000	3
ACQ-2	AIR COOLED CONDENSING UNIT	2.85W	208	1	20F4	B-7	B-7	EECC	50	30	NR	-	-	-	15000	3
ACQ-3	AIR COOLED CONDENSING UNIT	5.70W	208	3	20F4	B-8	B-8	EECC	50	30	NR	-	-	-	15000	3
CP-1	CIRCULATION PUMP	83W	120	1	20F2	B-13	B-13	EECC	5TE	20	HI	-	-	-	-	-
DMP-1	MOTORIZED DAMPER	50W	120	1	20F2	A-47	A-47	EECC	5TE	20	HI	REMARK 10	-	-	-	-
DMP-2	MOTORIZED DAMPER	50W	120	1	20F2	A-47	A-47	EECC	5TE	20	HI	REMARK 10	-	-	-	-
DMP-3	MOTORIZED DAMPER	50W	120	1	20F2	A-47	A-47	EECC	5TE	20	HI	REMARK 10	-	-	-	-
EF-1	EXHAUST FAN	1.5HP	208	3	40F3	B-1	B-1	REMARK 2	-	-	-	EECC	C	HI	-	1, 5, 8
EF-2	EXHAUST FAN	100W	120	1	20F2	B-14	B-14	REMARK 4	C-P	-	-	EECC	S	HI	-	-
EF-3	EXHAUST FAN	100W	120	1	20F2	B-14	B-14	REMARK 4	C-P	-	-	EECC	S	HI	-	-
EF-4	EXHAUST FAN	100W	120	1	20F2	B-14	B-14	REMARK 4	C-P	-	-	EECC	S	HI	-	-
EF-5	EXHAUST FAN	1/4HP	120	1	20F2	B-15	B-15	EECC	S	20	HI	-	-	-	-	-
EM-109	ELECTRIC LIGHT HEATER	1814W	208	1	20F2	EM-109	EM-109	EECC	5R,NF	30	HI	MC-	-	-	-	-
QF-1	GAS FURNACE	1000	120	1	20F2	EM-19	EM-19	EECC	SF	20	HI	MC-	-	-	-	3
QF-2	GAS FURNACE	1000	120	1	20F2	EM-21	EM-21	EECC	SF	20	HI	MC-	-	-	-	3
QF-3	GAS FURNACE	1000	120	1	20F2	EM-20	EM-20	EECC	SF	20	HI	MC-	-	-	-	3
QW-1	GAS WATER HEATER	600W	120	1	20F2	B-11	B-11	EECC	5F	20	HI	MC-	-	-	-	-
W-1	WATER HEATER	5A	120	1	20F2	A-57	A-57	EECC	S	20	HI	MC-	-	-	-	2, 5
RHP-1	RADIANT HEAT CONTROL PANEL	12A	120	1	20F2	EM-27	EM-27	EECC	S	20	HI	-	-	-	-	-
VE-1	RADIANT HEAT VACUUM EXHAUST	1/2HP	120	1	20F2	REMARK 2	REMARK 2	EECC	S	20	HI	MC-	-	-	-	-

GENERAL NOTES:
 1. VERIFY COORDINATE RATINGS FOR EQUIPMENT SUPPLIED BY THE SELECTED MANUFACTURER. WHERE RATINGS ARE OTHER THAN AS REQUIRED FOR SPECIFIED UNIT, DISCONNECTS, NOTICE STARTERS, OVERCURRENT DEVICES AND RELATED DEVICES SHALL BE PROVIDED ACCORDING TO THE CONTRACTOR THAT FURNISHES EQUIPMENT WITH RATINGS OTHER THAN AS NOTED SHALL BE RESPONSIBLE FOR COORDINATION AND COSTS FOR REVISIONS TO ACCOMMODATE SELECTED EQUIPMENT.
 2. SHORT CIRCUIT CURRENT RATING (SOCCR) OF EQUIPMENT SHALL BE EQUAL TO OR GREATER THAN THE AVAILABLE FAULTY CURRENT LISTED.
 3. DISCONNECTS SHALL BE PROVIDED FOR ALL EQUIPMENT.
 4. DISCONNECTS SHALL BE PROVIDED FOR ALL EQUIPMENT.
 5. DISCONNECTS SHALL BE PROVIDED FOR ALL EQUIPMENT.
 6. DISCONNECTS SHALL BE PROVIDED FOR ALL EQUIPMENT.
 7. DISCONNECTS SHALL BE PROVIDED FOR ALL EQUIPMENT.
 8. DISCONNECTS SHALL BE PROVIDED FOR ALL EQUIPMENT.
 9. DISCONNECTS SHALL BE PROVIDED FOR ALL EQUIPMENT.
 10. DISCONNECTS SHALL BE PROVIDED FOR ALL EQUIPMENT.

PANEL B											
200/120V 3 PHASE 4 WIRE W/ GND BAR			SURFACE MOUNTED			SOURCE A					
40 AMP AC			SOURCE A								
14 PAGES ONE SECTION			SOURCE A								
DESCRIPTION	LOAD VA	REMARKS	O/C	CKT #	PH	CKT #	O/C	REMARKS	LOAD VA	DESCRIPTION	
EF-1	600		201	1	A	2	201		600	ACQ-1	
ACQ-2	3000		202	2	B	4	201		5700	ACQ-3	
CP-1	83		201	11	C	12	201				
DMP-1	50		201	13	A	14	201				
EF-1	1500		201	15	B	16	201				
EF-2	1000		201	17	C	18	201				
EF-3	1000		201	19	A	20	201				
EF-4	1000		201	21	B	22	201				
EF-5	1000		201	23	C	24	201				
EM-109	1814		201	25	A	26	201				
QF-1	1000		201	27	B	28	201				
QF-2	1000		201	29	C	30	201				
QF-3	1000		201	31	A	32	201				
QW-1	600		201	33	B	34	201				
W-1	5		201	35	C	36	201				
RHP-1	12		201	37	A	38	201				
VE-1	1/2		201	39	B	40	201				

ST. PAUL POLICE DEPARTMENT

514 Grand Street · Saint Paul, Nebraska 68873 · Phone: (308) 754-9112 · Fax: (308) 754-9125



E-MAIL: stpaulpdne@cityofstpaulne.org

NOTICE OF ADOPTION OF RESOLUTION NO. 2024-1

TO: LANDRY WELCH

807 7TH ST.

ST. PAUL, NE 68873

You are hereby notified that on Monday, March 18, 2024, the City Council of the City of St. Paul, Nebraska, by Resolution 2024-1, after notice and hearing as specified in said Resolution, did determine that the following constitutes a public nuisance, to wit: **JUNK VEHICLES; UNLICENSED VEHICLES; AND RUBBISH.**

Upon the following described real estate, to-wit:

N 71' OF LOTS FOUR(4), FIVE(5), SIX(6), AND SEVEN(7), BLOCK SEVENTY-EIGHT(78), ORIGINAL TOWN, ST. PAUL, NE

You are granted until _____, 2024 to abate the nuisance. Failure to abate said nuisance shall result in said nuisance being abated by the City of St. Paul and the cost of abatement shall be assessed upon said premises and constitute a lien upon said premises until paid.

Dated: March 19, 2024

City of St. Paul, Nebraska

By: _____

Connie Jo Beck, City Clerk/ Deputy Treasurer

ST. PAUL POLICE DEPARTMENT

514 Grand Street · Saint Paul, Nebraska 68873 · Phone: (308) 754-9112 · Fax: (308) 754-9125



[E-MAIL:STPAULPDNE@CITYOFSTPAULNE.ORG](mailto:STPAULPDNE@CITYOFSTPAULNE.ORG)

CERTIFICATE OF SERVICE Landry Welch
807 7th St.
St. Paul, NE 68873

The undersigned hereby certifies that a copy of the foregoing Notice of Nuisance was served by personal delivery or by certified U.S. Mail, postage prepaid, on the _____ day of _____, 20__, to the individuals at their respective address, as noted above.

CITY OF ST. PAUL, NEBRASKA

Chief Daniel Howard
St. Paul Police Department
St. Paul, NE 68873

ST. PAUL POLICE DEPARTMENT

514 Grand Street · Saint Paul, Nebraska 68873 · Phone: (308) 754-9112 · Fax: (308) 754-9125



E-MAIL: stpaulpdne@cityofstpaulne.org

NOTICE OF HEARING TO BE DETERMINED

EXISTENCE OF PUBLIC NUISANCE AND TO ABATE IN WHOLE OR IN PART

If the nuisance is not abated within the period given in the notice, the City Council may determine to proceed. When, upon motion, it determines to proceed, the City Council shall give a second notice in the same manner set forth in section 4-313. The second notice shall establish a date, time and place at which all interested parties may appear before the City Council or such other person as the City Council specifies in the notice and present evidence to determine whether the premises constitute a public nuisance, and if determined to constitute a public nuisance, to be abated. Any interested party may appeal such decision of the City Council to the appropriate court for adjudication, during which proceedings, the decision of the City Council shall be stayed. The notice shall be substantially in the following form:

NOTICE OF HEARING TO BE DETERMINED

EXISTENCE OF PUBLIC NUISANCE AND

TO ABATE IN WHOLE OR IN PART

TO: Landry Welch

807 7th St.

St. Paul, NE 68873

Notice is hereby given that on the 4 day of **MARCH, 2024**, the City Council of the City of St. Paul passed a motion declaring its intent to ascertain whether certain premises situated in the City of St. Paul, State of Nebraska, known and designated as (street address) in said City and more particularly described as follows:

N 71' OF LOTS FOUR (4), FIVE (5), SIX (6), & SEVEN (7) BLOCK SEVENTY- EIGHT (78), ORIGINAL TOWN, HOWARD COUNTY, ST. PAUL, NEBRASKA

constitute a public nuisance subject to abatement. Hearing upon said Motion to determine whether the above noted premises constitute a public nuisance shall be on the **18th day of March, 2024 at 6:30 p.m., before the City Council in the Council Chamber, City Hall, St. Paul, Nebraska**, at which time the City Council shall hear all evidence from any interested party pertaining to the above noted issue. If said premises in whole or part, are found to constitute a public nuisance, as defined by Sections 4-302 to 4-309 of the St. Paul Municipal Code and if the same are not promptly abated, the Municipal Authorities shall abate the same and the cost of abatement shall be assessed upon such premises and such costs shall constitute a lien upon such land until paid.

Said alleged violations consist of the following: Rubbish, Junk Vehicles and Unlicensed Vehicles.

Dated: March 4, 2024

CITY OF ST. PAUL, NEBRASKA

Connie Jo Beck, City Clerk/Deputy Treasurer

ST. PAUL POLICE DEPARTMENT

514 Grand Street · Saint Paul, Nebraska 68873 · Phone: (308) 754-9112 · Fax: (308) 754-9125



[E-MAIL:STPAULPDNE@CITYOFSTPAULNE.ORG](mailto:STPAULPDNE@CITYOFSTPAULNE.ORG)

CERTIFICATE OF SERVICE

The undersigned hereby certifies that a copy of the foregoing Notice of Nuisance was served by personal delivery, on the **5th day of March, 2024**, to the following: **Landry Welch-807 7th Street, St. Paul, Nebraska**

CITY OF ST. PAUL, NEBRASKA

Taped on window by door & mailbox.

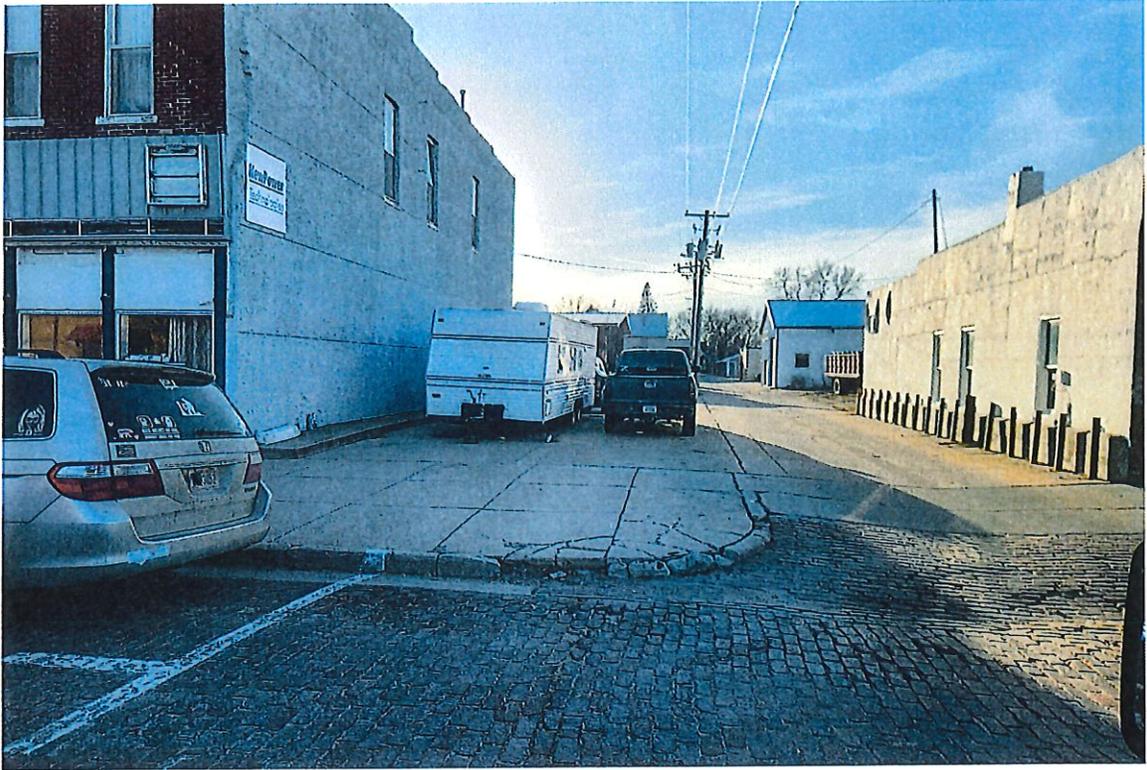
A handwritten signature in blue ink, appearing to read "Daniel Howard", is written over a horizontal line.

Chief of Police Daniel Howard

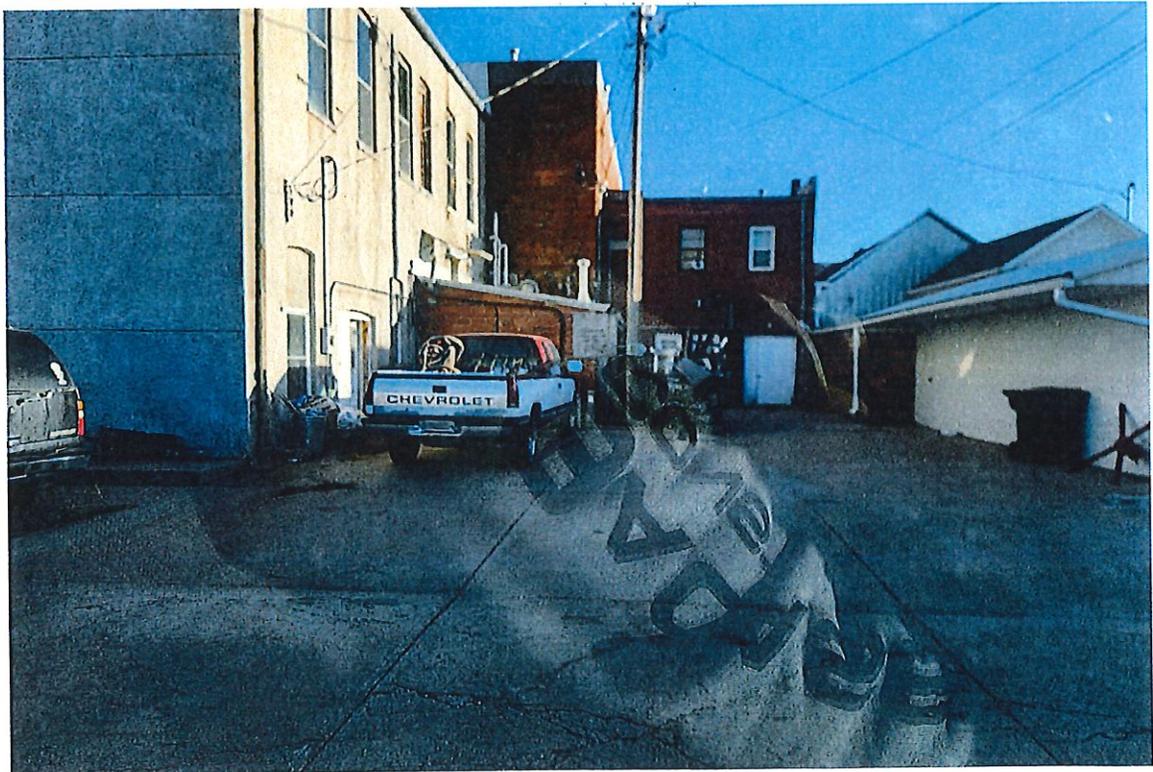
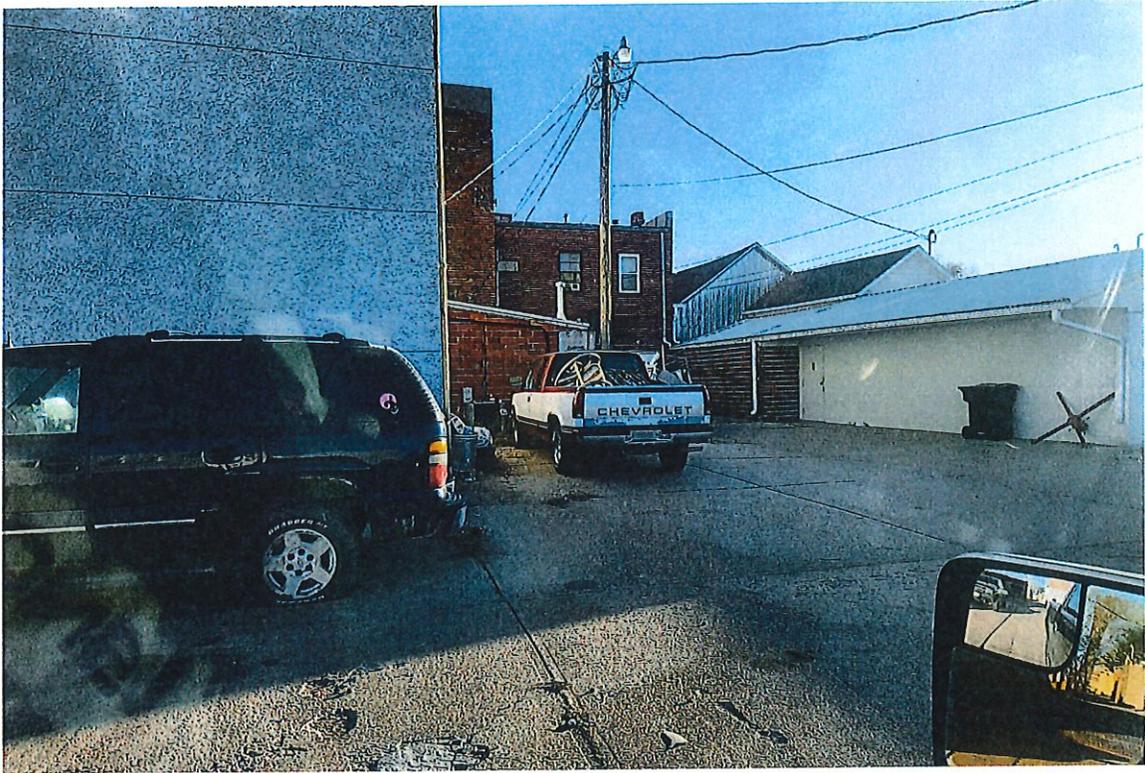
St. Paul Police Department

St. Paul, NE 68873

cc: City Council







ST. PAUL POLICE DEPARTMENT

514 Grand Street · Saint Paul, Nebraska 68873 · Phone: (308) 754-9112 · Fax: (308) 754-9125



E-MAIL: stpaulpdne@cityofstpaulne.org

NOTICE OF HEARING TO BE DETERMINED

EXISTENCE OF PUBLIC NUISANCE AND TO ABATE IN WHOLE OR IN PART

EXISTENCE OF PUBLIC NUISANCE AND

TO ABATE IN WHOLE OR IN PART

TO: Barbara Lyons & Michael Lyons

If the nuisance is not abated within the period given in the notice, the City Council may determine to proceed. When, upon motion, it determines to proceed, the City Council shall give a second notice in the same manner set forth in section 4-313. The second notice shall establish a date, time and place at which all interested parties may appear before the City Council or such other person as the City Council specifies in the notice and present evidence to determine whether the premises constitute a public nuisance, and if determined to constitute a public nuisance, to be abated. Any interested party may appeal such decision of the City Council to the appropriate court for adjudication, during which proceedings, the decision of the City Council shall be stayed. The notice shall be substantially in the following form:

NOTICE OF HEARING TO BE DETERMINED

Notice is hereby given that on the **18th day of MARCH, 2024**, the City Council of the City of St. Paul passed a motion declaring its intent to ascertain whether certain premises situated in the City of St. Paul, State of Nebraska, known and designated as **1108 7th St.**, in said City and more particularly described as follows:

LOT 8 BLOCK 4 OT ST PAUL

constitute a public nuisance subject to abatement. Hearing upon said Motion to determine whether the above noted premises constitute a public nuisance shall be **on the ___ day of _____, 20___, at ___ o'clock a.m./p.m., before the City Council in the Council Chamber, City Hall, St. Paul, Nebraska**, at which time the City Council shall hear all evidence from any interested party pertaining to the above noted issue. If said premises in whole or part, are found to constitute a public nuisance, as defined by Sections 4-308 to 4-309 of the St. Paul Municipal Code and if the same are not promptly abated, the Municipal Authorities shall abate the same and the cost of abatement shall be assessed upon such premises and such costs shall constitute a lien upon such land until paid.

Said alleged violations consist of the following: **JUNK ALL AROUND THE FRONT AND BACK YARD, AROUND ALL THE VEHICLES, JUNK LINED UP ON THE NORTH BUSHES, ALL SIDES OF THE CAMPER, ALL ALONG THE RED FENCING IN THE BACK YARD. MANY UNLICENSED AND UNINSURED VEHICLES ALONG WTH THE CAMPER!**

Dated: MARCH 19, 2024

CITY OF ST. PAUL, NEBRASKA

By: _____

CHIEF OF POLICE

ST. PAUL POLICE DEPARTMENT

514 Grand Street · Saint Paul, Nebraska 68873 · Phone: (308) 754-9112 · Fax: (308) 754-9125



E-MAIL: STPAULPDNE@CITYOFSTPAULNE.ORG

CERTIFICATE OF SERVICE

Barbara Lyons

Michael Lyons

1108 7th St.

1823 W. 16th St.

St. Paul, NE 68873

Grand Island, NE 68803

The undersigned hereby certifies that a copy of the foregoing Notice of Nuisance was served by personal delivery or by certified U.S. Mail, postage prepaid, on the _____ day of _____, 20__, to the individuals at their respective address, as noted above.

CITY OF ST. PAUL, NEBRASKA

Chief Daniel Howard

St. Paul Police Department

St. Paul, NE 68873

3-6-24

ST. PAUL POLICE DEPARTMENT

514 Grand Street · Saint Paul, Nebraska 68873 · Phone: (308) 754-9112 · Fax: (308) 754-9125



E-MAIL: stpaulpdne@cityofstpaulne.org

March 6, 2024

NOTICE OF NUISANCE

TO : Barbara LYIONS

1108 7th St.

St. Paul , NE 68873

Pursuant to Section 4-312 of the Municipal Code of the City of St. Paul, Nebraska the following premise in the City of St. Paul, Nebraska, known as **1108 7th St.**, and more particularly described as follows:

LOT 8 BLOCK 4 OT ST PAUL

Is being maintained as a public nuisance contrary to Section 4-301-4-327 of the Municipal Code of the City of St. Paul, Nebraska. The conditions which constitute the public nuisance upon the above described, real estate are as follows: **Junk all around the back and front yard, around all the vehicles, junk lined up the north bushes, all sides of camper, all along the red fencing in the back. Many unlicensed and uninsured vehicles and the camper (7)!**

You shall have (10) days from the date of this notice to abate said above described nuisances.

Dated March 6, 2024

CITY OF ST. PAUL, NEBRASKA

A handwritten signature in blue ink that reads "Daniel Howard".

BY: DANIEL HOWARD-CHIEF OF POLICE

You shall have ten (10) days from the date of this Notice to abate said above described nuisance's or the City may correct said conditions and assess the cost to you. Please feel free to contact me at 308-754-9112, or stop in at the Police Department at 514 Grand St to discuss this letter.

A handwritten signature in blue ink that reads "Daniel Howard".

Chief of Police Daniel Howard

St. Paul Police Department

514 Grand St., St. Paul, NE 68873



ST. PAUL POLICE DEPARTMENT

514 Grand Street · Saint Paul, Nebraska 68873 · Phone: (308) 754-9112 · Fax: (308) 754-9125

E-MAIL: stpaulpdne@cityofstpaulne.org

March 6, 2024

NOTICE OF NUISANCE

TO : MICHAEL J. LYIONS

1823 W 16TH ST.

GRAND ISLAND, NE 68803

Pursuant to Section 4-312 of the Municipal Code of the City of St. Paul, Nebraska the following premise in the City of St. Paul, Nebraska, known as **1108 7th St.**, and more particularly described as follows:

LOT 8 BLOCK 4 OT ST PAUL

Is being maintained as a public nuisance contrary to Section 4-301-4-327 of the Municipal Code of the City of St. Paul, Nebraska. The conditions which constitute the public-nuisance upon the above described, real estate are as follows: **Junk all around the back and front yard, around all the vehicles, junk lined up the north bushes, all sides of camper, all along the red fencing in the back. Many unlicensed and uninsured vehicles and the camper (7)!**

You shall have (10) days from the date of this notice to abate said above described nuisances.

Dated March 6, 2024

CITY OF ST. PAUL, NEBRASKA

A handwritten signature in blue ink, appearing to read "Daniel Howard", is written over a horizontal line.

BY: DANIEL HOWARD-CHIEF OF POLICE

You shall have ten (10) days from the date of this Notice to abate said above described nuisance's or the City may correct said conditions and assess the cost to you. Please feel free to contact me at 308-754-9112, or stop in at the Police Department at 514 Grand St to discuss this letter.

A second handwritten signature in blue ink, appearing to read "Daniel Howard", is written over a horizontal line.

Chief of Police Daniel Howard

St. Paul Police Department

514 Grand St., St. Paul, NE 68873

ST. PAUL POLICE DEPARTMENT

514 Grand Street · Saint Paul, Nebraska 68873 · Phone: (308) 754-9112 · Fax: (308) 754-9125



[E-MAIL:STPAULPDNE@CITYOFSTPAULNE.ORG](mailto:STPAULPDNE@CITYOFSTPAULNE.ORG)

CERTIFICATE OF SERVICE—Baraba Lyons

1108 7th St.

St. Paul, NE 68873

Michael Lyons

1823 W 16th St.

Grand Island, NE 68802

The undersigned hereby certifies that a copy of the foregoing Notice of Nuisance was served by personal delivery or by certified U.S. Mail, postage prepaid, on the 6th day of March, 2024, to the individuals at their respective addresses, as noted above.

CITY OF ST. PAUL, NEBRASKA

Chief of Police Daniel Howard

St. Paul Police Department

St. Paul, NE 68873

cc: City Council



Parcel Information	
Parcel ID:	471009462
Map Number	471009462
State Geo Code	2917-00-0-11001-004-0021
Cadastral #	
Images	Photo #1 Photo #2 Photo #3 Photo #4 Photo #5 Sketch #1 Document #1 Document #2
Current Owner:	LYIONS, MICHAEL J 1823 W 16TH ST GRAND ISLAND, NE 68803
Situs Address:	1108\ 7TH ST
Tax District:	1
School District:	ST PAUL SCH DIST #1, 47-0001
Account Type:	Residential
Legal Description:	LOT 8 BLOCK 4 OT ST PAUL
Lot Width:	44.00
Lot Depth:	132.00
Total Lot Size:	5808.00 sq ft

Assessed Values				
Year	Total	Land	Outbuilding	Dwelling
2023	\$29,584	\$14,520	\$0	\$15,064
2022	\$29,584	\$14,520	\$0	\$15,064

Yearly Tax Information		
Year	Amount	Levy
2023	\$524.92	1.885677

2023 Tax Levy	
Description	Rate
ST PAUL SCH DIST #1	0.98084400
LOWER LOUP NRD #1	0.03617000
ST PAUL CITY	0.51563900
ED SERVICE UNIT #10	0.01370900
LOUP BASIN RECL#1	0.02747300
ST PAUL SCH #1 BOND 2009	0.06266000
HISTORICAL SOCIETY	0.00084000
AG SOCIETY	0.00318000
CENTRAL COMM-COLLEGE	0.08539100
COUNTY GENERAL	0.15977100

Sales Information				
Sale Date	Sale Price	Book & Page	Grantor	Parcel Ids
08/14/2020	\$25,000.00	20 / 4818	SCORE, WILLIAM R & DIANNE K	

3/6/2024

Howard County Assessor



Property Classification			
Status:	Improved	Location:	Urban
Property Class:	Residential	City Size:	800-2,500
Zoning:	Single Family	Lot Size:	<10,000 sq. ft.

Property Notes	
Date	Note

Land Information			
Lot Width (ft)	Lot Depth (ft)	Description	Lot Size
44.00	132.00		5808.00 sq ft

Residential Datasheet			
Zoning:	Single Family	Quality:	Fair
Year Built:	1920	Condition:	Badly Worn - Average
Exterior:	100% Frame, Siding	Style:	100% One Story
Bedrooms:	2	Bathrooms:	1.00
Plumbing Fixtures:	6	Heating/Cooling:	50% Forced Air Furnace 50% Electric Baseboard
Basement Size:	0 sq. ft	Min Finish:	0 sq. ft
Building Size:	640 sq. ft	Part Finish:	0 sq. ft

Dwelling Data		
Description	Units	Value
SLAB W/ROOF &~STEPS	16	\$555
CONC. STEPS~(STOOP)	36	\$485

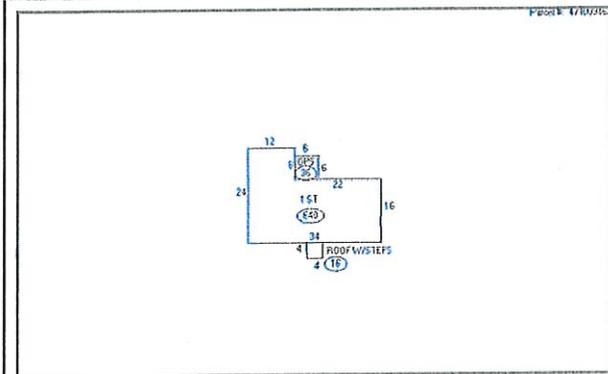
Outbuilding Data			
Description	Units	Year Built	Cost

3/6/2024

Howard County Assessor



Photo/Sketch





ST. PAUL POLICE DEPARTMENT

514 Grand Street · Saint Paul, Nebraska 68873 · Phone: (308) 754-9112 · Fax: (308) 754-9125

E-MAIL: stpaulpdne@cityofstpaulne.org

NOTICE OF HEARING TO BE DETERMINED

EXISTENCE OF PUBLIC NUISANCE AND TO ABATE IN WHOLE OR IN PART

EXISTENCE OF PUBLIC NUISANCE AND

TO ABATE IN WHOLE OR IN PART

TO: JANNEA S RUDOLF

If the nuisance is not abated within the period given in the notice, the City Council may determine to proceed. When, upon motion, it determines to proceed, the City Council shall give a second notice in the same manner set forth in section 4-313. The second notice shall establish a date, time and place at which all interested parties may appear before the City Council or such other person as the City Council specifies in the notice and present evidence to determine whether the premises constitute a public nuisance, and if determined to constitute a public nuisance, to be abated. Any interested party may appeal such decision of the City Council to the appropriate court for adjudication, during which proceedings, the decision of the City Council shall be stayed. The notice shall be substantially in the following form:

NOTICE OF HEARING TO BE DETERMINED

Notice is hereby given that on the **18th day of MARCH, 2024**, the City Council of the City of St. Paul passed a motion declaring its intent to ascertain whether certain premises situated in the City of St. Paul, State of Nebraska, known and designated as **920 INDIAN ST.**, in said City and more particularly described as follows:

LOT 9 & E 6' OF LOT 8 BLOCK 6 BARTLETTS ADD ST PAUL

constitute a public nuisance subject to abatement. Hearing upon said Motion to determine whether the above noted premises constitute a public nuisance shall be **on the ___ day of _____, 20__**, at **_____ o'clock a.m./p.m., before the City Council in the Council Chamber, City Hall, St. Paul, Nebraska**, at which time the City Council shall hear all evidence from any interested party pertaining to the above noted issue. If said premises in whole or part, are found to constitute a public nuisance, as defined by Sections 4-308 to 4-309 of the St. Paul Municipal Code and if the same are not promptly abated, the Municipal Authorities shall abate the same and the cost of abatement shall be assessed upon such premises and such costs shall constitute a lien upon such land until paid.

Said alleged violations consist of the following: **JUNK ALL AROUND THE HOUSE PLUS UP ON THE FRONT PORCH AND FRONT YARD, JUNK ON THE EAST SIDE LOOKS LIKE A LARGE MAT OF SOME KIND UNDER THE TRASH CAN, WEEDS IN THE BACK YARD AND A TIRE IN THE FRONT YARD ALONG WITH AN OLD SOFT.**

Dated: MARCH 19, 2024

CITY OF ST. PAUL, NEBRASKA

By: _____

CHIEF OF POLICE

ST. PAUL POLICE DEPARTMENT

514 Grand Street · Saint Paul, Nebraska 68873 · Phone: (308) 754-9112 · Fax: (308) 754-9125



[E-MAIL:STPAULPDNE@CITYOFSTPAULNE.ORG](mailto:STPAULPDNE@CITYOFSTPAULNE.ORG)

CERTIFICATE OF SERVICE Jannea Rudolf
920 Indian St.
St. Paul, NE 68873

The undersigned hereby certifies that a copy of the foregoing Notice of Nuisance was served by personal delivery or by certified U.S. Mail, postage prepaid, on the _____ day of _____, 20__, to the individuals at their respective address, as noted above.

CITY OF ST. PAUL, NEBRASA

Chief Daniel Howard
St. Paul Police Department
St. Paul, NE 68873

3-6-24

ST. PAUL POLICE DEPARTMENT

514 Grand Street · Saint Paul, Nebraska 68873 · Phone: (308) 754-9112 · Fax: (308) 754-9125



E-MAIL: stpaulpdne@cityofstpaulne.org

March 6, 2024

NOTICE OF NUISANCE

TO: Jannea Rudolf

920 Indian St.

St. Paul, NE 68873

Pursuant to Section 4-312 of the Municipal Code of the City of St. Paul, Nebraska the following premise in the City of St. Paul, Nebraska, known as **920 Indian**, and more particularly described as follows:

LOT 9 & E 6' OF LOT 8 BLOCK 6 BARTLETTS ADD ST PAUL

Is being maintained as a public nuisance contrary to Section 4-301-4-327 of the Municipal Code of the City of St. Paul, Nebraska. The conditions which constitute the public nuisance upon the above described, real estate are as follows: **Junk all around the house plus up on the front porch and front yard, junk on the East side looks like a large mat of some kind under the trash can, weeds in the back yard and a tire in the front yard along with an old sofa.**

You shall have (10) days from the date of this notice to abate said above described nuisances.

Dated March 6, 2024

CITY OF ST. PAUL, NEBRASKA

BY: DANIEL HOWARD-CHIEF OF POLICE

You shall have ten (10) days from the date of this Notice to abate said above described nuisance's or the City may correct said conditions and assess the cost to you. Please feel free to contact me at 308-754-9112, or stop in at the Police Department at 514 Grand St to discuss this letter.

Chief of Police Daniel Howard

St. Paul Police Department

514 Grand St., St. Paul, NE 68873

ST. PAUL POLICE DEPARTMENT

514 Grand Street · Saint Paul, Nebraska 68873 · Phone: (308) 754-9112 · Fax: (308) 754-9125



[E-MAIL:STPAULPDNE@CITYOFSTPAULNE.ORG](mailto:STPAULPDNE@CITYOFSTPAULNE.ORG)

CERTIFICATE OF SERVICE--Janea Rudolf

920 Indian St.

St. Paul, NE 68873

The undersigned hereby certifies that a copy of the foregoing Notice of Nuisance was served by personal delivery or by certified U.S. Mail, postage prepaid, on the 6th day of March, 2024, to the individuals at their respective addresses, as noted above.

CITY OF ST. PAUL, NEBRASKA

A handwritten signature in blue ink that reads "Daniel Howard".

Chief of Police Daniel Howard

St. Paul Police Department

St. Paul, NE 68873

cc: City Council

920 Indian Street

To:
Dan
H.



Parks

City Department 6-Month Status Update

Date:

FY 2023-2024: As of March 1st, 2024

Department:

Submitted By:

Items to be submitted:

1. Budget: (Income & Expenditure Guidelines as of March 1st, 2024)

a. Long term indebtedness: (terms of project bonds) *None*

2. Personnel: (Employee roster with wage & anniversary dates)

a. Training and Development that has been completed or will be completed.

Chris Townsend - Need new rate of pay for 2024

3. Needs: *2 new hires if possible*

a. Non-budgeted equipment/resource needs:

Replace 1996 Bullfield mower - End of year Approx 4500 hrs - 28 yrs old.

Replace 1982 750 Tractor - End of yr Approx 4200 hrs. 42 yrs old.

b. Items budgeted for but not yet purchased:

Steel sheeting for shelter ceiling

used Park P.C. (Reserve Funds)

4. Overall Outlook:

a. Challenges:

*Have city take control of Bathing cage keys
Not having Employees who can do major projects - not have them long enough.*

b. Achievements and Milestones:

Fieldhouse Improvements -

5. Goals/Upcoming Projects for the Next 6 Months:

Ballfields Replace more Parking Post. + Shelter Ceilings -

Add more dirt to Infield on Legion + North Field.

South Park - Fix or Replace Sidewalk.

" " Retaining wall south of Quonset Bldg.

North Park Shelter Ceilings + Skate Park Equip. Repair

6. Additional Comments/Notes:

1	PARK #14 June 2023	21-22 Actual	22-23 Budget	22-23 Estimate	23-24 Budget
2	REVENUE	A	B	C	D
3	Property Tax	\$ 59,652.00	\$ 60,000.00	\$ 60,000.00	\$ 60,000.00
4	Batting Cage Key Fob	\$ 440.00	\$ 340.00	\$ 500.00	\$ 340.00
5	Fee, Tennis Crt Meter	\$ 20.00	\$ -	\$ 31.00	\$ -
6	Interest: 505025; CD; ICS	\$ 1,256.00	\$ 1,600.00	\$ 4,500.00	\$ 3,000.00
7	Transfer In from Lights	\$ 66,800.00	\$ 66,800.00	\$ 66,800.00	\$ 66,800.00
8	Transfer In from LANDFILL	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00
9	Transfer In Water	\$ -	\$ -	\$ -	\$ 7,000.00
10	Reimb: Cond; Freight; Chalk; Skate Pk 1351	\$ 3,319.00	\$ 895.00	\$ 6,345.00	\$ 1,500.00
11	Reserves: Alum Can: Crumb Rubber	\$ -	\$ -	\$ -	\$ 1,640.00
12	Reserve (ICS): Shelter steel \$2500; Pickup \$25000		\$ -	\$ 13,939.00	\$ 27,500.00
13	TOTAL REVENUES	\$ 141,487.00	\$ 139,635.00	\$ 162,115.00	\$ 177,780.00
14	EXPENSE				
15	PERSONNEL SERVICES				
16	Salary/Wages - Randy	\$ 51,262.00	\$ 51,771.00	\$ 56,096.00	\$ 56,431.00
17	Overtime (ballfields & GCA Days)	\$ 3,461.00	\$ 2,000.00	\$ 2,750.00	\$ 2,000.00
18	Fica - 6.20%	\$ 3,080.00	\$ 3,334.00	\$ 3,648.00	\$ 3,623.00
19	Medicare - 1.45%	\$ 720.00	\$ 780.00	\$ 853.00	\$ 847.00
20	Pension 6%	\$ 3,283.00	\$ 3,226.00	\$ 3,530.00	\$ 3,506.00
21	Insurance: BCBS / LTD	\$ 30,051.00	\$ 23,692.00	\$ 23,251.00	\$ 23,982.00
22	OPERATING EXPENSE				
23	Bat Cage Fob: Monitor with Internet	\$ -	\$ 120.00	\$ 30.00	\$ 30.00
24	Prof & Schools - Turf; Chemical; CPR	\$ 65.00	\$ 900.00	\$ 100.00	\$ 900.00
25	Communication: St of NE	\$ 194.00	\$ 286.00	\$ 265.00	\$ 300.00
26	City Gas & Oil:	\$ 4,791.00	\$ 5,000.00	\$ 4,700.00	\$ 5,000.00
27	Insurance: LARM: 20%	\$ 12,314.00	\$ 14,962.00	\$ 14,861.00	\$ 17,833.00
28	City Lights	\$ 6,645.00	\$ 6,500.00	\$ 7,074.00	\$ 7,100.00
29	Uniforms: 1 person	\$ 275.00	\$ 400.00	\$ 400.00	\$ 400.00
30	Util R&M: Loup Vall; Bomg; J Deere;	\$ 6,501.00	\$ 10,000.00	\$ 8,800.00	\$ 10,000.00
31	(trash, towels, repairs, sprinkler heads)				
32	Reserve: Paint 3000, Shelter 1500; Back Stop 1000				
33	Veh R&M: mower repair	\$ 287.00	\$ 1,200.00	\$ 1,200.00	\$ 1,200.00
34	Tools:	\$ 342.00	\$ 500.00	\$ 380.00	\$ 500.00
35	Bldg R & M: Shelter Steel	\$ 686.00	\$ 9,935.00	\$ 10,858.00	\$ 2,500.00
36	Grounds: Garbage; Fert, Sprinkler, Lava,	\$ 12,683.00	\$ 14,500.00	\$ 13,500.00	\$ 16,140.00
37	Seed, Chem, Chalk, Cond; Crumb Rubber \$1640				
38	Reimbursement:				
39	CAPITAL OUTLAY				
40	Mach & Equipment: Vehicle	\$ -	\$ -	\$ -	\$ 25,000.00
41	Improvements:	\$ -	\$ -	\$ -	\$ -
42	Equipment Sinking	\$ -	\$ -	\$ -	\$ -
43	DEBT SERVICE				
44	TOTAL EXPENDITURES	\$ 136,640.00	\$ 149,106.00	\$ 152,296.00	\$ 177,292.00
45	NET ANNUAL CASH FLOW	\$ 4,847.00	\$ (9,471.00)	\$ 9,819.00	\$ 488.00
	M. Mkt 505025 = \$11,591	2022-2023 - NEW PARK TRUCK!!!			
	ICS = \$44,079				
	NPAIT = \$93,453				
	NE CLASS = \$44,501				
	772682 - Alum Can = \$5,651				

***	Ball Assoc. pays for 1 pallet of surface, 1/2 pallet chalk and 1/2 of freight					
	School pays 1/2 pallet of conditioner & chalk					
	2015-2016 Purchase Seeder with School \$2,000					
	2017 Ranger Polaris Gator Purchased \$5,500					
	2018-2019 Ranger Blade & Canopy \$2350 - Kearney Power Sports					
	2018-2019 Changing Tables in Womens Restroom					
	2020-2021 Park Border: Sterling West: from 772682 AND 21/22 more border					
	August 2021 Skate Park Vandalism					
	PARK #14					

CITY OF ST PAUL
 *Revenue Guideline©

Current Period: MARCH 23-24

		23-24	23-24	MARCH	23-24	% of YTD
		YTD Budget	YTD Amt	MTD Amt	YTD Balance	Budget
PARK						
Active	R 42-010 PROPERTY TAX	\$60,000.00	\$10,964.48	\$0.00	\$49,035.52	18.27%
Active	R 42-017 Ho Co Foundation	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	R 42-019 Batting Cage FOB	\$340.00	\$60.00	\$0.00	\$280.00	17.65%
Active	R 42-090 Park Aluminum	\$0.00	\$853.65	\$0.00	-\$853.65	0.00%
Active	R 42-100 SINKING FUND	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	R 42-220 Donation - Unrestricted	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	R 42-230 FEE,PERM,LIC	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	R 42-260 REFUNDS	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	R 42-290 INVESTMENT INT	\$3,000.00	\$4,094.13	\$0.00	-\$1,094.13	136.47%
Active	R 42-407 Elmwood Benches	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	R 42-420 TRANSFER IN	\$83,800.00	\$0.00	\$0.00	\$83,800.00	0.00%
Active	R 42-620 GRANT	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	R 42-630 REIMBURSEMENT	\$1,500.00	\$552.28	\$0.00	\$947.72	36.82%
Total PARK		\$148,640.00	\$16,524.54	\$0.00	\$132,115.46	11.12%

CITY OF ST PAUL
***Expenditure Guideline©**

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Current Period: MARCH 23-24

			23-24	23-24	MARCH	Enc	23-24	% of YTD
			YTD Budget	YTD Amt	MTD Amt	Current	YTD Balance	Budget
PARK								
Active	E 42-10-110	SALARY & WAGES	\$56,431.00	\$26,342.56	\$4,449.32	\$0.00	\$30,088.44	46.68%
Active	E 42-10-111	OVERTIME	\$2,000.00	\$529.05	\$50.87	\$0.00	\$1,470.95	26.45%
Active	E 42-10-115	FICA	\$3,623.00	\$1,545.97	\$258.72	\$0.00	\$2,077.03	42.67%
Active	E 42-10-116	MEDICARE	\$847.00	\$361.55	\$60.50	\$0.00	\$485.45	42.69%
Active	E 42-10-120	PENSION	\$3,506.00	\$1,612.32	\$270.02	\$0.00	\$1,893.68	45.99%
Active	E 42-10-130	INSURANCE	\$23,982.00	\$11,938.02	\$1,970.36	\$0.00	\$12,043.98	49.78%
Active	E 42-20-019	Batting Cage FOB	\$30.00	\$0.00	\$0.00	\$0.00	\$30.00	0.00%
Active	E 42-20-210	PROF&SCHOOLS	\$900.00	\$290.77	\$150.00	\$0.00	\$609.23	32.31%
Active	E 42-20-220	COMMUNICATION	\$300.00	\$115.02	\$19.17	\$0.00	\$184.98	38.34%
Active	E 42-20-231	CITY GAS & OIL	\$5,000.00	\$1,687.56	\$406.15	\$0.00	\$3,312.44	33.75%
Active	E 42-20-250	CITY INSURANCE	\$17,833.00	\$13,527.34	(\$1,372.77)	\$0.00	\$4,305.66	75.86%
Active	E 42-20-261	CITY LIGHTS	\$7,100.00	\$2,925.27	\$528.43	\$0.00	\$4,174.73	41.20%
Active	E 42-20-268	Uniforms	\$400.00	\$400.00	\$0.00	\$0.00	\$0.00	100.00%
Active	E 42-20-270	UTILITY R & M	\$10,000.00	\$4,188.82	\$810.08	\$0.00	\$5,811.18	41.89%
Active	E 42-20-271	VEHICLE R & M	\$1,200.00	\$1,313.10	\$0.00	\$0.00	-\$113.10	109.43%
Active	E 42-20-272	TOOLS	\$500.00	\$722.44	\$4.49	\$0.00	-\$222.44	144.49%
Active	E 42-20-309	COMPUTER	\$0.00	\$100.00	\$0.00	\$0.00	-\$100.00	0.00%
Active	E 42-20-520	BLDG/ R & M	\$2,500.00	\$763.42	\$198.27	\$0.00	\$1,736.58	30.54%
Active	E 42-20-521	GROUNDS / R & M	\$16,140.00	\$9,970.81	\$1,680.00	\$0.00	\$6,169.19	61.78%
Active	E 42-20-665	Reimbursement	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	E 42-50-540	MACH & EQUIPMEN	\$25,000.00	\$0.00	\$0.00	\$0.00	\$25,000.00	0.00%
Active	E 42-50-550	IMPROVEMENTS	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	E 42-50-630	EQUIP SINKING	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	E 42-70-160	TRANSFER OUT	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Total PARK			\$177,292.00	\$78,334.02	\$9,483.61	\$0.00	\$98,957.98	44.18%

Cemetery

City Department 6-Month Status Update

Date:

FY 2023-2024: As of March 1st, 2024

Department:

Submitted By:

Items to be submitted:

1. Budget: (Income & Expenditure Guidelines as of March 1st, 2024)

a. Long term indebtedness: (terms of project bonds) *None*

2. Personnel: (Employee roster with wage & anniversary dates)

a. Training and Development that has been completed or will be completed.

Parks Seasonal - overtime open + close - any city employee on call

3. Needs:

a. Non-budgeted equipment/resource needs:

Depends on Future of Cem.

b. Items budgeted for but not yet purchased:

None other than everyday expenses.

4. Overall Outlook:

a. Challenges:

*mowing + Trimming
controlling Sandbar + cactus
motes in circle*

b. Achievements and Milestones:

White Fence around Cem. Archway entrance

5. Goals/Upcoming Projects for the Next 6 Months:

Finish Posts + chain -

Plant - Approx 50 more Trees.

Fill in more low graves -

Remove Sand from existing graves - Fill with Black dirt + ReSeed.

6. Additional Comments/Notes:

Find Sexton when Ron Retires.

Future of Cem. w/ own Shed + Equipment. + employee

Driveway cracks -

CITY OF ST PAUL
***Revenue Guideline©**

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Current Period: MARCH 23-24

			23-24	23-24	MARCH	23-24	% of YTD
			YTD Budget	YTD Amt	MTD Amt	YTD Balance	Budget
CEMETERY							
Active	R 34-010	PROPERTY TAX	\$26,000.00	\$4,111.69	\$0.00	\$21,888.31	15.81%
Active	R 34-016	Ne Comm. Foundation	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	R 34-100	SINKING FUND	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	R 34-216	RECORDING FEE	\$100.00	\$10.00	\$0.00	\$90.00	10.00%
Active	R 34-220	Donation - Unrestricted	\$250.00	\$0.00	\$0.00	\$250.00	0.00%
Active	R 34-224	Donation - Restricted	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	R 34-262	Cemetery Lot Open/Close	\$9,500.00	\$5,150.00	\$0.00	\$4,350.00	54.21%
Active	R 34-263	Cemetery Niche Open/Clos	\$200.00	\$0.00	\$0.00	\$200.00	0.00%
Active	R 34-264	Niche Engraving	\$300.00	\$0.00	\$0.00	\$300.00	0.00%
Active	R 34-290	INVESTMENT INT	\$200.00	\$1,020.68	\$0.00	-\$820.68	510.34%
Active	R 34-405	Cemetery Vases	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	R 34-407	Elmwood Benches	\$200.00	\$0.00	\$0.00	\$200.00	0.00%
Active	R 34-409	PERPETUAL CARE	\$3,000.00	\$300.00	\$0.00	\$2,700.00	10.00%
Active	R 34-410	LOT/ LAND SALES	\$7,500.00	\$700.00	\$0.00	\$6,800.00	9.33%
Active	R 34-412	NICHE Sales	\$800.00	\$0.00	\$0.00	\$800.00	0.00%
Active	R 34-413	Grounds Conserv.	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	R 34-420	TRANSFER IN	\$10,000.00	\$2,658.53	\$0.00	\$7,341.47	26.59%
Active	R 34-610	GRANT	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	R 34-630	REIMBURSEMENT	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	R 34-951	Contribution	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Total CEMETERY			\$58,050.00	\$13,950.90	\$0.00	\$44,099.10	24.03%

CITY OF ST PAUL
***Expenditure Guideline©**

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Current Period: MARCH 23-24

			23-24	23-24	MARCH	Enc	23-24	% of YTD
			YTD Budget	YTD Amt	MTD Amt	Current	YTD Balance	Budget
CEMETERY								
Active	E 34-10-110	SALARY & WAGES	\$37,520.00	\$2,865.50	\$400.00	\$0.00	\$34,654.50	7.64%
Active	E 34-10-111	OVERTIME	\$1,750.00	\$270.78	\$0.00	\$0.00	\$1,479.22	15.47%
Active	E 34-10-115	FICA	\$2,435.00	\$193.25	\$24.80	\$0.00	\$2,241.75	7.94%
Active	E 34-10-116	MEDICARE	\$569.00	\$45.18	\$5.80	\$0.00	\$523.82	7.94%
Active	E 34-10-120	PENSION	\$0.00	\$11.45	\$0.00	\$0.00	-\$11.45	0.00%
Active	E 34-20-210	PROF&SCHOOLS	\$80.00	-\$127.40	\$0.00	\$0.00	\$207.40	-159.25%
Active	E 34-20-211	ADM. & DUES	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	E 34-20-212	LEGAL FEES	\$150.00	\$0.00	\$0.00	\$0.00	\$150.00	0.00%
Active	E 34-20-213	ENGINEER FEES	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	E 34-20-216	RECORDING FEE	\$300.00	\$70.00	\$20.00	\$0.00	\$230.00	23.33%
Active	E 34-20-219	CITY GAS & OIL	\$1,700.00	\$218.36	\$0.00	\$0.00	\$1,481.64	12.84%
Active	E 34-20-240	PUBLISH / CODIF	\$300.00	\$35.35	\$0.00	\$0.00	\$264.65	11.78%
Active	E 34-20-250	CITY INSURANCE	\$900.00	\$3,318.97	\$2,658.53	\$0.00	-\$2,418.97	368.77%
Active	E 34-20-260	PUBLIC UTILITY	\$600.00	\$242.77	\$38.24	\$0.00	\$357.23	40.46%
Active	E 34-20-261	CITY LIGHTS	\$1,200.00	\$139.36	\$18.28	\$0.00	\$1,060.64	11.61%
Active	E 34-20-270	UTILITY R & M	\$900.00	\$674.64	\$374.30	\$0.00	\$225.36	74.96%
Active	E 34-20-309	COMPUTER	\$350.00	\$0.00	\$0.00	\$0.00	\$350.00	0.00%
Active	E 34-20-310	OFFICE SUPPLIES	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	E 34-20-315	CEMETERY PERPET	\$3,000.00	\$700.00	\$400.00	\$0.00	\$2,300.00	23.33%
Active	E 34-20-316	Niche Engraving	\$300.00	\$0.00	\$0.00	\$0.00	\$300.00	0.00%
Active	E 34-20-407	Elmwood Benches	\$200.00	\$0.00	\$0.00	\$0.00	\$200.00	0.00%
Active	E 34-20-520	BLDG/ R & M	\$150.00	\$0.00	\$0.00	\$0.00	\$150.00	0.00%
Active	E 34-20-521	GROUNDS / R & M	\$500.00	\$18.87	\$0.00	\$0.00	\$481.13	3.77%
Active	E 34-20-524	Cem Stone Repair	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	E 34-20-665	Reimbursement	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	E 34-50-531	EQUIPMENT PURCH	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	E 34-50-550	IMPROVEMENTS	\$5,000.00	\$331.97	\$0.00	\$0.00	\$4,668.03	6.64%
Active	E 34-50-631	BUILDING SINKING	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	E 34-70-160	TRANSFER OUT	\$0.00	\$2,658.53	\$0.00	\$0.00	-\$2,658.53	0.00%
Total CEMETERY			\$57,904.00	\$11,667.58	\$3,939.95	\$0.00	\$46,236.42	20.15%

1	CEMETERY #11 June 2023	21-22 Actual	22-23 Budget	22-23 Estimate	23-24 Budget
2	REVENUE	A	B	C	D
3	Property Tax	\$ 26,512.00	\$ 26,000.00	\$ 26,000.00	\$ 26,000.00
4	Recording Fee	\$ 180.00	\$ 100.00	\$ 100.00	\$ 100.00
5	Donation:E Jorgensen; Kremlacek; Spilger	\$ 285.00	\$ 250.00	\$ 1,025.00	\$ 250.00
6	Donation (restrict) Kremlacek \$6000	\$ 6,600.00	\$ -	\$ -	\$ -
7	(to Cemetery Foundation)				
8	Lot Open / Close	\$ 14,203.00	\$ 9,000.00	\$ 11,725.00	\$ 9,500.00
9	Niche O/C: Rickertsen (Aug 2022)	\$ 750.00	\$ 200.00	\$ -	\$ 200.00
10	Niche Engraving: Rickertsen	\$ 225.00	\$ 225.00	\$ 150.00	\$ 300.00
11	Int: 753122; ICS; Cem Found	\$ 181.00	\$ 125.00	\$ 1,065.00	\$ 200.00
12	Cemetery Vases	\$ 18.00	\$ -	\$ -	\$ -
13	Elmwood Bench: cement pad	\$ -	\$ 200.00	\$ -	\$ 200.00
14	Perpetual Care	\$ 3,900.00	\$ 3,000.00	\$ 3,100.00	\$ 3,000.00
15	Cemetery Lot Sales	\$ 10,550.00	\$ 7,500.00	\$ 10,760.00	\$ 7,500.00
16	Niche Sales: Rickertsen (Aug 2022)	\$ 2,800.00	\$ 800.00	\$ -	\$ 800.00
17	Grant: Miller: Building 40x40	\$ -	\$ -	\$ -	\$ -
18	Grounds Conservation	\$ 540.00	\$ -	\$ -	\$ -
19	(terms 2021-2022) 5 years				
20	Reimb: Larm - Wojtalewicz Fence Trees	\$ 14,908.00	\$ -	\$ -	\$ -
21	Transfer from Water	\$ -	\$ -	\$ -	\$ 10,000.00
22	TOTAL REVENUES	\$ 81,652.00	\$ 47,400.00	\$ 53,925.00	\$ 58,050.00
23	EXPENSE				
24	PERSONNEL SERVICES				
25	Wages: Sext \$4800 & Seasonal	\$ 17,813.00	\$ 28,014.00	\$ 26,109.00	\$ 37,520.00
26	Overtime	\$ 1,323.00	\$ 1,100.00	\$ 1,331.00	\$ 1,750.00
27	Fica: 6.20%	\$ 1,165.00	\$ 1,805.00	\$ 1,701.00	\$ 2,435.00
28	Medicare : 1.45%	\$ 272.00	\$ 422.00	\$ 398.00	\$ 569.00
29	Pension 6% (Sexton + OT)	\$ 292.00	\$ 282.00	\$ 140.00	\$ -
30	School/Prof: Sec of St Cm Fd \$30	\$ -	\$ 80.00	\$ 30.00	\$ 80.00
31	Legal Fees - Foundation / Land	\$ -	\$ 150.00	\$ -	\$ 150.00
32	Recording Fees	\$ 200.00	\$ 300.00	\$ 110.00	\$ 300.00
33	City Gas (21-22 \$960)	\$ 960.00	\$ 1,500.00	\$ 1,600.00	\$ 1,700.00
34	Publication: flyers, mow notice	\$ -	\$ 300.00	\$ -	\$ 300.00
35	Insurance: LARM: 20%	\$ 580.00	\$ 705.00	\$ 842.00	\$ 900.00
36	Public Utility	\$ 488.00	\$ 500.00	\$ 522.00	\$ 600.00
37	City Lights:	\$ 875.00	\$ 1,200.00	\$ 890.00	\$ 1,200.00
38	Util. R & M:Cleanout Plug; repair N. well;	\$ 641.00	\$ 500.00	\$ 934.00	\$ 900.00
39	Security Sys; flags; tape reel; pipe;				
40	Computer: Prop Mgmt Support	\$ 295.00	\$ 195.00	\$ 295.00	\$ 350.00
41	Perpetual Care	\$ 3,900.00	\$ 3,000.00	\$ 3,100.00	\$ 3,000.00
42	Niche Engraving: Engrave; Postage	\$ 166.00	\$ 225.00	\$ 293.00	\$ 300.00
43	Elmwood Bench: cement pad	\$ -	\$ 200.00	\$ -	\$ 200.00
44	Bldg R&M:	\$ -	\$ 150.00	\$ -	\$ 150.00
45	Grounds: garb, spray, SEED	\$ 711.00	\$ 500.00	\$ 334.00	\$ 500.00
46	Equip Purch:	\$ 1,269.00	\$ -	\$ -	\$ -
47	CAPITAL OUTLAY				
48	Improve: chains; post	\$ 19,039.00	\$ 6,000.00	\$ -	\$ 5,000.00
49	DEBT SERVICE				
50	TOTAL EXPENDITURES	\$ 49,989.00	\$ 47,128.00	\$ 38,629.00	\$ 57,904.00
51	NET ANNUAL CASH FLOW	\$ 31,663.00	\$ 272.00	\$ 15,296.00	\$ 146.00

	Savings 753122 = \$14,331						
	Cemetery ICS = \$25,904						
	Cemetery Foundation #505168 = \$16,591						
	NE CLASS = \$26,296						
	2013-2014 Set Pins at Cemetery - \$5,000						
	Columbarium Purchase: Wilbert Memorials - \$14,705						
	18-19 Debt left \$9,045 - \$2800 = \$6245 on Columbarium (see Columbarium Sales)						
	19-20 \$1600= \$4645; 20-21 \$3,045 - 800 = \$2,245; 21-22 \$2,245 - \$2,800 (Szatko) = (\$555) Paid in Full						
	21-22 Building 40x40 = \$55,000						
	21-22 New Fence						
	CEMETERY #11						

City Department 6-Month Status Update

FY 2023-2024: As of March 1st, 2024

Date:

Department: Streets

Submitted By: Jamie Klanecky

Items to be submitted:

1. Budget: (Income & Expenditure Guidelines as of March 1st, 2024)

a. Long term indebtedness: (terms of project bonds) \$1,377,116⁰⁰

2. Personnel: (Employee roster with wage & anniversary dates)

a. Training and Development that has been completed or will be completed.

Jamie - Public health & aquatic Pest. endorsements to Pesticide applicator License.

Cody - Class B cdl with air brake. Pesticide applicator License with Right of Way

3. Needs: *Wants - heated bays for equipment. Hoping that the current fire hall can serve as the street dept. headquarters after the move is complete.

a. Non-budgeted equipment/resource needs:

- 1) Sell off retired trucks and equipment. Set a time & date.
- 2) Take a look at the current fee schedule. Are current prices still acceptable after current inflation.
- 3) Should there be language in it about only renting out for city work.

b. Items budgeted for but not yet purchased:

- 1) Motor Grader
- 2) Dump truck & plow

4. Overall Outlook:

Vehicle R & M looks rough, and will get worse. I intend to hold back some of the money in Machine & Equipment to make up for the overdraft, but most should come from having a good bottom line.

a. Challenges:

- 1) Aging equipment, trying to find quality equipment within a limited budget
- 2) Mother Nature.

b. Achievements and Milestones:

- 1) Established a good working relationship with other departments.
- 2) Successfully trained the guys to be good equipment operators. No one likes to be called in early to run equipment all day. But everyone I've asked to help has helped and done a good job without complaint. The job would be tough without good help.

5. Goals/Upcoming Projects for the Next 6 Months:

Projects

- 1) Crack seal Custer Street (West of Sheridan)
- 2) Crack seal Kendall Street (West of 6th)
- 3) Start work repairing 3rd Street by Loup Valley Supply.

Goals

- 1) Crack seal 1 road each spring.
- 2) Maintain good working relationships with other departments.

6. Additional Comments/Notes:

Thank you for your support, it is appreciated!

CITY OF ST PAUL
***Revenue Guideline©**

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Current Period: MARCH 23-24

		23-24	23-24	MARCH	23-24	% of YTD
		YTD Budget	YTD Amt	MTD Amt	YTD Balance	Budget
STREETS						
Active	R 21-010 PROPERTY TAX	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	R 21-022 Mtr Veh Sales Tax	\$45,000.00	\$35,246.71	\$0.00	\$9,753.29	78.33%
Active	R 21-023 Prorate -Mtr Veh Collection	\$1,000.00	\$0.00	\$0.00	\$1,000.00	0.00%
Active	R 21-024 MotorTaxColl (Regist)	\$45,000.00	\$20,949.17	\$0.00	\$24,050.83	46.55%
Active	R 21-100 SINKING FUND	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	R 21-110 HWY ALLOCATION	\$398,341.00	\$167,095.04	\$0.00	\$231,245.96	41.95%
Active	R 21-115 Street - Build NE Act	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	R 21-130 INCENTIVE PMNT	\$3,000.00	\$3,000.00	\$0.00	\$0.00	100.00%
Active	R 21-131 Motor Veh. Fee (Hwy Alloc)	\$23,000.00	\$12,645.53	\$0.00	\$10,354.47	54.98%
Active	R 21-216 RECORDING FEE	\$0.00	\$10.00	\$0.00	-\$10.00	0.00%
Active	R 21-222 BRICKS	\$0.00	\$30.00	\$0.00	-\$30.00	0.00%
Active	R 21-235 FLAGS	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	R 21-260 REFUNDS	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	R 21-272 Scrape Iron/Brass	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	R 21-275 MOWING	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	R 21-276 CURB GRIND	\$1,000.00	\$0.00	\$0.00	\$1,000.00	0.00%
Active	R 21-290 INVESTMENT INT	\$1,000.00	\$2,210.90	\$0.00	-\$1,210.90	221.09%
Active	R 21-330 SPECIAL ASSESSMENT	\$7,543.00	\$15,817.69	\$0.00	-\$8,274.69	209.70%
Active	R 21-350 ASSESSMENT INTEREST	\$2,685.00	\$2,751.64	\$0.00	-\$66.64	102.48%
Active	R 21-410 LOT/ LAND SALES	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	R 21-420 TRANSFER IN	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	R 21-580 SHOP SALES	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	R 21-589 BOND ANTICIPATION	\$2,792,220.00	\$0.00	\$0.00	\$2,792,220.00	0.00%
Active	R 21-615 BOND PROCEEDS	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	R 21-630 REIMBURSEMENT	\$0.00	\$2,280.81	\$0.00	-\$2,280.81	0.00%
Total STREETS		\$3,319,789.00	\$262,037.49	\$0.00	\$3,057,751.51	7.89%

CITY OF ST PAUL
***Expenditure Guideline©**

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Current Period: MARCH 23-24

		23-24	23-24	MARCH	Enc	23-24	% of YTD
		YTD Budget	YTD Amt	MTD Amt	Current	YTD Balance	Budget
STREETS							
Active	E 21-10-110 SALARY & WAGES	\$118,371.00	\$56,610.80	\$9,443.24	\$0.00	\$61,760.20	47.82%
Active	E 21-10-111 OVERTIME	\$10,500.00	\$6,584.22	\$84.03	\$0.00	\$3,915.78	62.71%
Active	E 21-10-115 FICA	\$7,990.00	\$3,533.69	\$529.19	\$0.00	\$4,456.31	44.23%
Active	E 21-10-116 MEDICARE	\$1,869.00	\$826.45	\$123.76	\$0.00	\$1,042.55	44.22%
Active	E 21-10-120 PENSION	\$7,732.00	\$3,227.45	\$487.76	\$0.00	\$4,504.55	41.74%
Active	E 21-10-130 INSURANCE	\$47,964.00	\$23,757.51	\$3,924.72	\$0.00	\$24,206.49	49.53%
Active	E 21-20-210 PROF&SCHOOLS	\$750.00	\$68.01	\$120.00	\$0.00	\$681.99	9.07%
Active	E 21-20-211 ADM. & DUES	\$4,000.00	\$1,220.00	\$0.00	\$0.00	\$2,780.00	30.50%
Active	E 21-20-212 LEGAL FEES	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	E 21-20-213 ENGINEER FEES	\$4,250.00	\$1,596.67	\$0.00	\$0.00	\$2,653.33	37.57%
Active	E 21-20-231 CITY GAS & OIL	\$20,000.00	\$8,453.95	\$64.99	\$0.00	\$11,546.05	42.27%
Active	E 21-20-240 PUBLISH / CODIF	\$500.00	\$108.00	\$0.00	\$0.00	\$392.00	21.60%
Active	E 21-20-250 CITY INSURANCE	\$15,970.00	\$14,226.99	\$660.62	\$0.00	\$1,743.01	89.09%
Active	E 21-20-261 CITY LIGHTS	\$39,000.00	\$16,420.73	\$0.00	\$0.00	\$22,579.27	42.10%
Active	E 21-20-262 BLACKHILLS GAS	\$3,800.00	\$2,348.98	\$0.00	\$0.00	\$1,451.02	61.82%
Active	E 21-20-268 Uniforms	\$800.00	\$800.00	\$0.00	\$0.00	\$0.00	100.00%
Active	E 21-20-270 UTILITY R & M	\$39,000.00	\$7,238.36	\$85.00	\$0.00	\$31,761.64	18.56%
Active	E 21-20-271 VEHICLE R & M	\$20,000.00	\$23,049.49	\$1,540.89	\$0.00	-\$3,049.49	115.25%
Active	E 21-20-272 TOOLS	\$1,000.00	\$164.36	\$27.99	\$0.00	\$835.64	16.44%
Active	E 21-20-275 PUBLIC HEALTH	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	E 21-20-279 St Concrete Grind	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	E 21-20-280 Concrete - Streets	\$25,000.00	\$6,013.55	\$0.00	\$0.00	\$18,986.45	24.05%
Active	E 21-20-309 COMPUTER	\$2,600.00	\$975.96	\$162.66	\$0.00	\$1,624.04	37.54%
Active	E 21-20-313 POSTAGE	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	E 21-20-340 SAND, GRAVEL, SAL	\$7,500.00	\$0.00	\$0.00	\$0.00	\$7,500.00	0.00%
Active	E 21-20-345 ACCOUNTING FEE	\$3,000.00	\$3,000.00	\$0.00	\$0.00	\$0.00	100.00%
Active	E 21-20-511 Survey Fee	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	E 21-20-515 Assess Reimb	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	E 21-20-520 BLDG/ R & M	\$750.00	\$76.00	\$0.00	\$0.00	\$674.00	10.13%
Active	E 21-20-530 EQUIP RENTAL	\$1,000.00	\$0.00	\$0.00	\$0.00	\$1,000.00	0.00%
Active	E 21-30-320 MERCH & SUPPLY	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	E 21-40-540 MACH & EQUIPMEN	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	E 21-50-540 MACH & EQUIPMEN	\$99,000.00	\$2,150.00	\$0.00	\$0.00	\$96,850.00	2.17%
Active	E 21-50-550 IMPROVEMENTS	\$2,792,220.00	\$0.00	\$0.00	\$0.00	\$2,792,220.00	0.00%
Active	E 21-60-630 EQUIP SINKING	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	E 21-60-640 DEBT SERVICE	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	E 21-70-160 TRANSFER OUT	\$31,247.00	\$0.00	\$0.00	\$0.00	\$31,247.00	0.00%
Total STREETS		\$3,305,813.00	\$182,451.17	\$17,254.85	\$0.00	\$3,123,361.83	5.52%

RESOLUTION NO. 2015-9

Equipment	Rate
Double Bucket	\$75.00 per hr
Digger	\$75.00 per hr
Backhoe	\$75.00 per hr
Bucket	\$75.00 per hr
Loader	\$75.00 per hr
Jack Hammer/Bobcat	\$75.00 per hr
Dump Truck	\$75.00 per hr
Flusher	\$50.00 per hr
Compressor	\$40.00 per hr
Piercing Arrow Mole	\$5.00 per foot
Concrete Sawing	\$2.00 per foot
Trencher	1-3 ft @ \$0.75 per foot 4-6 ft @ \$1.00 per foot
Painting stripes in parking lot, etc. Barricade rental	\$0.50 per running foot to include paint, labor, and machine \$3.00 per barricade per day for construction sites
Barricade rental with lights	* \$4.00 per barricade per day for construction sites
Cost of water used by contractors	Hookup \$25.00 plus \$2.00 per 1000 + tax on gallons \$100.00 per month water usage
Storage rate for vehicles/equipment (when allowed)	

Machine Rental Storage Rates

Machine rental rates include an operator with each unit and a minimum charge of one half hour per unit. Equipment will not be rented without an operator. All rental is subject to City worker's schedules. (No tax on labor)

Curb Grind add: **10% or a \$1.00 a foot**

When billing add: **15% on parts**

40% on labor

No tax on labor when separated on billing.

Effective July 20, 2015

City of St. Paul

Fee Schedule

Effective 10/1/22

Animal Permits

(Permits issued on calendar year basis)

Cat - neutered	\$5.00
Cat - unneutered	\$10.00
Dog - neutered	\$10.00
Dog - unneutered	\$15.00

Batting Cage

Annual fee	\$10.00
Key Fob Deposit	\$10.00
Fee for Lost Key Fob	\$25.00

Bricks (Residents only)

\$0.20

Cemetery Fees

Cemetery Space	\$300.00
Cemetery Lot (4 spaces per lot)	\$1,200.00
Cemetery Space - Section M	\$350.00
Cemetery Lot - Section M (4 spaces per lot)	\$1,400.00
Casket Open/Close Monday-Friday	\$500.00
Casket Open/Close Weekend or Holiday	\$750.00
Urn Open/Close Monday-Friday	\$300.00
Urn Open/Close Weekend or Holiday	\$450.00
Infant/Child (age 5 or under) Open/Close Monday-Friday	\$200.00
Infant/Child (age 5 or under) Open/Close Weekend or Holiday	\$350.00
Disinterment (+ hourly wage beyond 4 hours)	\$600.00
Re-Internment (+ hourly wage beyond 4 hours)	\$600.00
Recording Fee (per page)	\$10.00
Cross Marker	\$250.00
Bench (includes bench, pad, delivery & installation)	\$600.00
Staking Fee for monuments	\$100.00
Niche space (one person)	\$800.00
Niche space (two person)	\$1,200.00
Niche Open/Close Monday-Friday	\$200.00
Niche Open/Close Weekend or Holiday	\$350.00
Niche Door Engraving - 1 person	\$150.00
Niche Door Engraving - 2 person	\$225.00
Niche Vase, Name Plates & Name Etching (City will install)	\$100.00

Barricades cost ?

Equipment Charge

*A minimum charge of one-half hour per unit. An equipment operator charge will be added to the cost of using the equipment.

Double Bucket	\$75.00 per hour
Digger	\$75.00 per hour
Backhoe	\$75.00 per hour
Bucket	\$75.00 per hour
Loader	\$75.00 per hour
Jack Hammer / Bobcat	\$75.00 per hour
Dump Truck	\$75.00 per hour
Flusher	\$50.00 per hour <i>75</i>
Compressor	\$40.00 per hour
Piercing Arrow Mole	\$5.00 per foot
Concrete Sawing	\$4.00 per foot
Trencher	1-3 feet at \$0.75 per foot
Trencher	4-6 feet at \$1.00 per foot
	<i>75 per hour</i>
<i>Continue to Rent to small surrounding towns?</i>	
Labor Rates <i>Vac</i>	Add 40% to hourly wage

Landfill

Non-resident Use Fee	\$10 per load or \$48 per year
Landfill key (licensed lawn/tree service only)	\$35.00

Liquor License Fees

Class A	\$100.00
Class B	\$100.00
Class C	\$300.00
Class CK	\$300.00
Class D	\$200.00
Class I	\$250.00
Class ZK	\$350.00

Mobile Food Permit (per calendar year)	\$100.00
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Miscellaneous Fees

Photocopies (black & white)	\$0.50
Photocopies (color)	\$0.75
Recording Fees (per page)	\$10.00
Returned Check Fee	\$25.00

Peddler Permit (per person, per day)	\$50.00
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Police Department Fees

Accident Reports	\$8.00
Golf Cart / UTV Inspection Permit per (Chief Dan Howard)	\$25.00

Sewer Supplies

Blue Crystals (+ tax)	\$14.00
RootX (+ tax)	\$40.00
Sewer Line Maintainer (+ tax)	\$8.00

Shop Supplies

Add 15% to City cost

Tobacco License Fee (per calendar year)	\$10.00
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Water (used by contractors)

\$25.00 hookup fee plus \$2.00 per 1,000 gallons of water used, plus tax on water usage

Water Well Permit (private)	\$25.00
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Zoning

Residential Construction (new & additions)	\$25.00
Commercial Construction (new & additions)	\$100.00
Fence Permit	\$25.00
Sign Permit	\$50.00
Demolition of Building/Structures	\$10.00
Moving Building/Structures	\$20.00
Subdivision Fee	\$300.00
Administrative Subdivision Fee	\$150.00
Rezoning Fee	\$300.00
Conditional Use Permit	\$300.00
Construction w/o Permit	1% of value of structure up to \$2,000.00
Variance Fee	\$300.00
Violation of Zoning regulations	\$100.00

CITY OF ST. PAUL DEPARTMENT STATUS

REPORT

Date: March 18, 2024

Department: GENERAL

City Department 6-Month Status Update

Submitted By: Connie Jo Beck, City Clerk

FY 2023-2024: As of March 1st, 2024

Items to be submitted:

1. Budget: (Income & Expenditure Guidelines as of March 1st, 2024) = SEE ATTACHED

a. Long term indebtedness: (terms of project bonds) = SEE ATTACHED

2. Personnel: (Employee roster with wage & anniversary dates)

- Matt Helzer \$40.42 September 1, 1992 (Utilities Superintendent)
- Connie Jo Beck \$39.06 November 1, 1996 (City Clerk/Deputy Treasurer)
- Laura Berthelsen \$27.26 November 5, 2018 (Deputy Clerk)
- Liana Wroblewski \$24.88 April 1, 2011 (Utilities Clerk)
- Kristie Fousek \$23.66 June 1, 2020 (Payroll Clerk)

a. Training and Development that has been completed or will be completed

- City Clerk Beck: Completed Mid-Winter Conference 2 weeks ago;
- Completed a 2 ½ day Nebraska Emergency Management Conference last weekend to received Continuing Education hours for my EMT license;
- I will be attending the Clerk's Academy next week beginning Wednesday through Friday in Columbus, NE; City Deputy Berthelsen will be receiving her Certified Municipal Clerk (CMC) designation this year in Columbus, NE. She will begin her Clerk's Institute on Monday, March 18, 2024 through Friday, March 22, 2024;
- The Clerk & Deputy will be attending a Finance Conference in June 2024 in Lincoln, NE.

3. Needs:

a. Non-budgeted equipment/resource needs:

- Remove drive-thru window, restoring brick; purchase new Utility payment drop-box;

b. Items budgeted for but not yet purchased:

- Utilities Clerk Computer and Monitor

4. Overall Outlook:

a. Challenges:

- Ability to get work completed if one (1) or more employees are absent, on vacation or at conference; each staff member are busy with their own work, so difficult for anyone to take more duties on; lots of interruptions.
- City Office Staff is looking to retire in three (3) years or less.

- Safe guarding City records; Fire proof vaults are filling up. Looking at scanning of documents. Paper copies still need to be kept.

b. Achievements and Milestones:

- City Office Staff have been purging City records according to the Retention Schedule.
- Updating City Employee Job Descriptions.
- June 2024, Supervisor's will be performing City Employee Evaluations.

5. Goals/Upcoming Projects for the Next 6 Months:

- Revamp Municipal Code and Office policies;
- Move City Vault items to basement of Fire Station after the completion of the Fire Station;
- IBEW 1597 Contract coming due September 30, 2025; begin negotiations next year.
- Scanning of City Records through Eakes Office Equipment.
- Purchase a new City Office Copier.
- City Office renovation (unknown)

6. Additional Comments/Notes:

- Succession planning for upcoming City Office retiree's.

CITY OF ST PAUL
 *Revenue Guideline©

Current Period: MARCH 23-24

		23-24	23-24	MARCH	23-24	% of YTD
		YTD Budget	YTD Amt	MTD Amt	YTD Balance	Budget
GENERAL						
Active	R 10-009 Civic Ctr Grant (DED)	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	R 10-010 PROPERTY TAX	\$135,000.00	\$27,375.86	\$0.00	\$107,624.14	20.28%
Active	R 10-020 MUNI. EQUALIZATION	\$104,445.00	\$17,840.06	\$0.00	\$86,604.94	17.08%
Active	R 10-095 Treas 310 IRS	\$0.00	\$1,230.29	\$0.00	-\$1,230.29	0.00%
Active	R 10-100 SINKING FUND	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	R 10-210 FRANCHISE TAX	\$26,000.00	\$12,251.34	\$0.00	\$13,748.66	47.12%
Active	R 10-216 RECORDING FEE	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	R 10-221 ZONING PERMIT FEES	\$1,000.00	\$590.00	\$0.00	\$410.00	59.00%
Active	R 10-224 Donation - Restricted	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	R 10-229 DOG/CAT TAG	\$500.00	\$460.00	\$0.00	\$40.00	92.00%
Active	R 10-230 FEE,PERM,LIC	\$4,000.00	\$2,910.00	\$0.00	\$1,090.00	72.75%
Active	R 10-232 Mobile Food Fees	\$600.00	\$200.00	\$0.00	\$400.00	33.33%
Active	R 10-235 FLAGS	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	R 10-250 RENTAL	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	R 10-260 REFUNDS	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	R 10-290 INVESTMENT INT	\$30,000.00	\$49,323.11	\$0.00	-\$19,323.11	164.41%
Active	R 10-310 FINE/Penalty	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	R 10-410 LOT/ LAND SALES	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	R 10-420 TRANSFER IN	\$84,076.00	\$129,875.78	\$0.00	-\$45,799.78	154.47%
Active	R 10-580 SHOP SALES	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	R 10-610 GRANT	\$1,000,000.00	\$0.00	\$0.00	\$1,000,000.00	0.00%
Active	R 10-630 REIMBURSEMENT	\$1,500.00	\$1,453.81	\$0.00	\$46.19	96.92%
Active	R 10-631 REDLG Proceeds	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Total GENERAL		\$1,387,121.00	\$243,510.25	\$0.00	\$1,143,610.75	17.56%

CITY OF ST PAUL
Revenue/Expenditure
Audit Detail Full

Audit 23-24

Fund 10 GENERAL

Revenue

R 10-420 TRANSFER IN Budget \$84,076.00 Total \$129,875.78 Balance -\$45,799.78

23-24-02 NOVEMBER	Vendor SearchNam Comments	Invoice	-----Check----- Refer PO	Batch Name	Debit Begin	Credit
23-24-02 Rec				General TCD Cas	\$0.00	\$64,932.04
	#109367: City Cashed two (2) Time		1			
23-24-02 Rec				General TCD Cas	\$0.00	\$64,943.74
	#109366: City Cashed two (2) Time		1			
Total 23-24-02 NOVEMBER					\$0.00	\$129,875.78
					Ending	(\$129,875.78)
Control Act 10-13300 CHANG	Tota	R 10-420	TRANSFER IN		\$0.00	\$129,875.78
	<i>In Balance</i>	Total Year	\$129,875.78		Ending	(\$129,875.78)
<hr/>					\$0.00	\$129,875.78
Total Revenue					\$0.00	\$129,875.78
	Fund 10				\$0.00	\$129,875.78

CITY OF ST PAUL
 Revenue/Expenditure
 Audit Detail Full

Audit 23-24

Fund 10 GENERAL		Budget	Total	Debit	Credit	
Revenue						
R 10-630 REIMBURSEMENT		\$1,500.00		\$1,453.81	\$46.19	
23-24-03 DECEMBER	Vendor SearchNam Comments	Invoice	-----Check----- Refer PO	Batch Name	Debit Begin	Credit
						\$0.00
23-24-03 Rec	Porta Potties: Chamber of Comme	9		Dec5 BANK	\$0.00	\$506.00
23-24-03 Rec	Fireworks: Chamber of Commerce	9		Dec5 BANK	\$0.00	\$700.00
Total 23-24-03 DECEMBER					\$0.00	\$1,206.00
					Ending	(\$1,206.00)
23-24-04 JANUARY	Vendor SearchNam Comments	Invoice	-----Check----- Refer PO	Batch Name	Debit Begin	Credit
						(\$1,206.00)
23-24-04 Rec	Nuisance MOWING Proceeds Davi	5		Jan5 Yell Tickets	\$0.00	\$50.00
Total 23-24-04 JANUARY					\$0.00	\$50.00
					Ending	(\$1,256.00)
23-24-05 FEBRUARY	Vendor SearchNam Comments	Invoice	-----Check----- Refer PO	Batch Name	Debit Begin	Credit
						(\$1,256.00)
23-24-05 Rec	General: Reimb from Christensen I	15		Febr5 BANK	\$0.00	\$67.81
23-24-05 Rec	Royal Coachman: General: Porta P	11		Febr5 Yellow Tick	\$0.00	\$130.00
Total 23-24-05 FEBRUARY					\$0.00	\$197.81
					Ending	(\$1,453.81)
Control Act 10-13300 CHANG		Tota R 10-630 REIMBURSEMENT			\$0.00	\$1,453.81
	In Balance	Total Year			Ending	(\$1,453.81)
Total Revenue					\$0.00	\$1,453.81
Fund 10					\$0.00	\$1,453.81

CITY OF ST PAUL
 *Expenditure Guideline©

Current Period: MARCH 23-24

		23-24 YTD Budget	23-24 YTD Amt	MARCH MTD Amt	Enc Current	23-24 YTD Balance	% of YTD Budget
GENERAL							
Active	E 10-10-110 SALARY & WAGES	\$237,599.00	\$100,730.22	\$8,539.21	\$0.00	\$136,868.78	42.40%
Active	E 10-10-111 OVERTIME	\$2,000.00	\$92.00	\$0.00	\$0.00	\$1,908.00	4.60%
Active	E 10-10-115 FICA	\$14,855.00	\$5,673.50	\$480.43	\$0.00	\$9,181.50	38.19%
Active	E 10-10-116 MEDICARE	\$3,474.00	\$1,326.90	\$112.37	\$0.00	\$2,147.10	38.20%
Active	E 10-10-120 PENSION	\$13,440.00	\$5,617.41	\$512.36	\$0.00	\$7,822.59	41.80%
Active	E 10-10-130 INSURANCE	\$50,268.00	\$23,860.07	\$3,545.48	\$0.00	\$26,407.93	47.47%
Active	E 10-20-122 125PLAN	\$1,955.00	\$0.00	\$0.00	\$0.00	\$1,955.00	0.00%
Active	E 10-20-209 Pay ACH Fee	\$450.00	\$123.40	\$0.00	\$0.00	\$326.60	27.42%
Active	E 10-20-210 PROF&SCHOOLS	\$8,400.00	\$3,046.35	\$180.00	\$0.00	\$5,353.65	36.27%
Active	E 10-20-211 ADM. & DUES	\$4,000.00	\$1,912.72	\$0.00	\$0.00	\$2,087.28	47.82%
Active	E 10-20-212 LEGAL FEES	\$9,000.00	\$281.25	\$0.00	\$0.00	\$8,718.75	3.13%
Active	E 10-20-216 RECORDING FEE	\$500.00	\$62.00	\$0.00	\$0.00	\$438.00	12.40%
Active	E 10-20-220 COMMUNICATION	\$2,200.00	\$1,096.36	\$129.48	\$0.00	\$1,103.64	49.83%
Active	E 10-20-231 CITY GAS & OIL	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	E 10-20-240 PUBLISH / CODIF	\$7,200.00	\$2,928.82	\$0.00	\$0.00	\$4,271.18	40.68%
Active	E 10-20-250 CITY INSURANCE	\$15,751.00	\$15,346.35	(\$14.58)	\$0.00	\$404.65	97.43%
Active	E 10-20-261 CITY LIGHTS	\$11,000.00	\$4,173.55	\$0.00	\$0.00	\$6,826.45	37.94%
Active	E 10-20-268 Uniforms	\$2,000.00	\$799.92	\$0.00	\$0.00	\$1,200.08	40.00%
Active	E 10-20-273 PUBLIC MAINTENAN	\$1,000.00	\$1,920.00	\$0.00	\$0.00	-\$920.00	192.00%
Active	E 10-20-301 Donate / Market	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	E 10-20-309 COMPUTER	\$6,000.00	\$1,511.32	\$698.02	\$0.00	\$4,488.68	25.19%
Active	E 10-20-310 OFFICE SUPPLIES	\$2,500.00	\$920.25	\$195.89	\$0.00	\$1,579.75	36.81%
Active	E 10-20-313 POSTAGE	\$1,400.00	\$184.02	\$42.80	\$0.00	\$1,215.98	13.14%
Active	E 10-20-345 ACCOUNTING FEE	\$2,000.00	\$2,000.00	\$0.00	\$0.00	\$0.00	100.00%
Active	E 10-20-510 LAND <i>Mid-Loup Subd.</i>	\$50,000.00	\$0.00	\$0.00	\$0.00	\$50,000.00	0.00%
Active	E 10-20-520 BLDG/ R & M <i>Fire Station</i>	\$2,800.00	\$4,753.80	\$48.60	\$0.00	-\$1,953.80	169.78%
Active	E 10-20-542 INTERLOCAL AGRE	\$500.00	\$0.00	\$0.00	\$0.00	\$500.00	0.00%
Active	E 10-20-665 Reimbursement	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	E 10-50-540 MACH & EQUIPMEN	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	E 10-50-550 IMPROVEMENTS	\$1,035,000.00	\$0.00	\$0.00	\$0.00	\$1,035,000.00	0.00%
Active	E 10-50-555 Vehicle Purchase	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Active	E 10-70-160 TRANSFER OUT	\$0.00	\$129,875.78	\$0.00	\$0.00	-\$129,875.78	0.00%
	Total GENERAL	\$1,485,292.00	\$308,235.99	\$14,470.06	\$0.00	\$1,177,056.01	20.75%

CITY OF ST PAUL
 Revenue/Expenditure
 Audit Detail Full

Audit 23-24

Fund 10 GENERAL

Expenditure

E 10-20-273 PUBLIC MAINTENANCE		Budget	\$1,000.00	Total	\$1,920.00	Balance	-\$920.00
23-24-05 FEBRUARY	Vendor SearchNam	Invoice	-----Check-----	Batch Name	Debit	Credit	
	Comments	Refer	PO		Begin		\$0.00
23-24-05 Pay	STANTEISKI JUNK	1046 070699	2/5/2024	Disb Feb5 2024	\$1,920.00		\$0.00
	Gen - nuisance abatement at 1220	44					
	Total 23-24-05 FEBRUARY				\$1,920.00		\$0.00
					Ending		\$1,920.00
Control Act 10-13300 CHANG	Tota	E 10-20-273	PUBLIC MAINTENANCE		\$1,920.00		\$0.00
	In Balance	Total Year	\$1,920.00		Ending		\$1,920.00
Total Expenditure					\$1,920.00		\$0.00
	Fund 10				\$1,920.00		\$0.00

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 Holdrege NE
 Radnos Prop.
 Need lien or
 wage garnishment
 (Police)

CITY OF ST PAUL
Revenue/Expenditure
Audit Detail Full

Audit 23-24

Fund 10 GENERAL
Expenditure

E 10-20-520 BLDG/ R & M		Budget	\$2,800.00	Total	\$4,511.84	Balance	-\$1,711.84
23-24-01 OCTOBER		Vendor SearchNam	Invoice	-----Check-----	Batch Name	Debit	Credit
		Comments	Refer	PO		Begin	\$0.00
23-24-01	Pay	PSSI PEST SERVIC	264820 070374	10/16/2023	Disb Oct16	\$48.60	\$0.00
		Gen - pest management at City offi	44				
Total 23-24-01 OCTOBER						\$48.60	\$0.00
						Ending	\$48.60
23-24-02 NOVEMBER		Vendor SearchNam	Invoice	-----Check-----	Batch Name	Debit	Credit
		Comments	Refer	PO		Begin	\$48.60
23-24-02	Pay	CRESCENT ELECT	1838316.001 070399	11/6/2023	Disb Nov6	\$167.24	\$0.00
		Gen - mini circuit breaker for Civic	14				
23-24-02	Pay	EAKES OFFICE SOL	INV499913 070404	11/6/2023	Disb Nov6	\$0.00	\$131.01
		Gen - Police copier contract (7/25/2	19 0				
23-24-02	Pay	EAKES OFFICE SOL	INV499913 070404	11/6/2023	Disb Nov6	\$131.01	\$0.00
		Gen - Police copier contract (7/25/2	19				
23-24-02	Pay	PSSI PEST SERVIC	268539 070423	11/6/2023	Disb Nov6	\$48.60	\$0.00
		Gen - pest management at city offic	38				
23-24-02	Pay	HEARTLAND DISPO	196518 070456	11/20/2023	Disb Nov20	\$600.00	\$0.00
		Gen - sanitation disposal during GC	22				
Total 23-24-02 NOVEMBER						\$946.85	\$131.01
						Ending	\$864.44
23-24-03 DECEMBER		Vendor SearchNam	Invoice	-----Check-----	Batch Name	Debit	Credit
		Comments	Refer	PO		Begin	\$864.44
23-24-03	Pay	PSSI PEST SERVIC	275719 070551	12/18/2023	Disb Dec18	\$48.60	\$0.00
		Gen - pest management at City offi	34				
Total 23-24-03 DECEMBER						\$48.60	\$0.00
						Ending	\$913.04
23-24-04 JANUARY		Vendor SearchNam	Invoice	-----Check-----	Batch Name	Debit	Credit
		Comments	Refer	PO		Begin	\$913.04
23-24-04	Pay	ADVANCED CLIMAT	070606	1/16/2024	Disb Jan16 2024	\$520.00	\$0.00
		Gen - annual service agreement for	1				
23-24-04	Pay	PSSI PEST SERVIC	281658 070640	1/16/2024	Disb Jan16 2024	\$48.60	\$0.00
		Gen - pest management at City offi	35				
Total 23-24-04 JANUARY						\$568.60	\$0.00
						Ending	\$1,481.64
23-24-05 FEBRUARY		Vendor SearchNam	Invoice	-----Check-----	Batch Name	Debit	Credit
		Comments	Refer	PO		Begin	\$1,481.64
23-24-05	Pay	EAKES OFFICE SOL	INV523498 070674	2/5/2024	Disb Feb5 2024	\$0.00	\$110.95
		Gen - Police copier contract (10/25	19 0				
23-24-05	Pay	EAKES OFFICE SOL	INV523498 070674	2/5/2024	Disb Feb5 2024	\$110.95	\$0.00
		Gen - Police copier contract (10/25	19				
23-24-05	Pay	PSSI PEST SERVIC	287582 070695	2/5/2024	Disb Feb5 2024	\$48.60	\$0.00
		Gen - pest management at City offi	40				
23-24-05	Pay	ISLAND GLASS CO	070703	2/9/2024	Island Glass 7070	\$2,853.00	\$0.00
		General: St. Paul Civic Center Auto	1				
23-24-05	Pay	HYDRO TECH INC	48441 070727	2/20/2024	Disb Feb20 2024	\$80.00	\$0.00
		Gen - fire extinguisher inspection a	23				

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CITY OF ST PAUL
Revenue/Expenditure
Audit Detail Full

Audit 23-24

Fund 10 GENERAL

Expenditure

E 10-20-520 BLDG/ R & M	Budget	\$2,800.00	Total	\$4,511.84	Balance	-\$1,711.84
<hr/>						
Total 23-24-05 FEBRUARY				\$3,092.55	\$110.95	
				Ending	\$4,463.24	
23-24-06 MARCH	Vendor SearchNam	Invoice	-----Check-----	Batch Name	Debit	Credit
	Comments	Refer	PO		Begin	\$4,463.24
23-24-06 Pay	PSSI PEST SERVIC	293926 070795	3/4/2024	Disb March4 202	\$48.60	\$0.00
	Gen - pest management at City offi	34				
Total 23-24-06 MARCH				\$48.60	\$0.00	
				Ending	\$4,511.84	
Control Act 10-13300 CHANG	Tota	E 10-20-520	BLDG/ R & M	\$4,753.80	\$241.96	
	<i>In Balance</i>	Total Year	\$4,511.84	Ending	\$4,511.84	
<hr/>						
Total Expenditure				\$4,753.80	\$241.96	
	Fund 10			\$4,753.80	\$241.96	

CITY OF ST PAUL
 Revenue/Expenditure
 Audit Detail Full

Audit 23-24

Fund 10 GENERAL
 Expenditure

E 10-70-160 TRANSFER OUT		Budget	\$0.00	Total	\$129,875.78	Balance	-\$129,875.78
23-24-02 NOVEMBER	Vendor SearchNam Comments	Invoice	-----Check----- Refer	Batch Name PO	Debit Begin	Credit	\$0.00
23-24-02 Pay	CITY OF ST PAUL	000022	11/15/2023	Cash 2 General T	\$64,932.04		\$0.00
	#109367: City Cashed two (2) Time		1				
23-24-02 Pay	CITY OF ST PAUL	000022	11/15/2023	Cash 2 General T	\$64,943.74		\$0.00
	#109366: City Cashed two (2) Time		1				
Total 23-24-02 NOVEMBER					\$129,875.78		\$0.00
					Ending	\$129,875.78	
Control Act 10-13300 CHANG	Tota	E 10-70-160	TRANSFER OUT		\$129,875.78		\$0.00
In Balance		Total Year	\$129,875.78		Ending	\$129,875.78	
Total	Expenditure				\$129,875.78		\$0.00
	Fund 10				\$129,875.78		\$0.00

1	GENERAL #5 June 2023	21-22 Actual	22-23 Budget	22-23 Estimate	23-24 Budget
2	REVENUE	A	B	C	D
3	Property Tax	\$ 134,542.00	\$ 135,000.00	\$ 135,000.00	\$ 135,000.00
4	Muni-Equalization	\$ 127,671.00	\$ 132,840.00	\$ 132,840.00	\$ 104,445.00
5	Franchise Tax: Spectrum (4) / Blackhills (1)	\$ 26,519.00	\$ 26,000.00	\$ 26,764.00	\$ 26,000.00
6	Zoning Permit Fees	\$ 1,365.00	\$ 1,000.00	\$ 1,250.00	\$ 1,000.00
7	Pet Tag Fees	\$ 628.00	\$ 500.00	\$ 690.00	\$ 500.00
8	Fee, Permits; Liquor; Tobacco	\$ 3,854.00	\$ 4,000.00	\$ 4,220.00	\$ 4,000.00
9	Mobile Food Fees	\$ 800.00	\$ 600.00	\$ 800.00	\$ 600.00
10	Int. 100027,411025, 504805,	\$ 21,646.00	\$ 20,000.00	\$ 45,000.00	\$ 30,000.00
11	2 TCD, ICS, Npait, NE Class				
12	Trfr In: Lt US Wage \$19,282	\$ 18,710.00	\$ 19,282.00	\$ 19,282.00	\$ 21,019.00
13	Trfr In: Wt US Wage \$19,282	\$ 18,710.00	\$ 19,282.00	\$ 19,282.00	\$ 21,019.00
14	Trfr In: Sw US Wage \$19,282	\$ 18,710.00	\$ 19,282.00	\$ 19,282.00	\$ 21,019.00
15	Trfr In: Str US Wage \$19,282	\$ 18,710.00	\$ 19,282.00	\$ 19,282.00	\$ 21,019.00
16	GRANT: Rural Workforce Housing Grant	\$ -	\$ -	\$ -	\$ 1,000,000.00
17	Reimbursement: ACE; Fax; House Grant 1 Million	\$ -	\$ 50,000.00	\$ -	\$ 1,500.00
18	RESERVES: Fire Land Acquisition = \$50,000		\$ 1,500.00	\$ 3,575.00	\$ 50,000.00
19	RESERVES: Council Speaker System; Off. Update		\$ 35,000.00	\$ -	\$ 35,000.00
20	\$5,000 / \$30,000 General ICS				
21	TOTAL REVENUES	\$ 391,865.00	\$ 483,568.00	\$ 427,267.00	\$ 1,472,121.00
22	EXPENSE				
23	PERSONNEL SERVICES				
24	Wage: Clerk; Deputy; US; Council	\$ 214,330.00	\$ 219,270.00	\$ 215,382.00	\$ 237,599.00
25	Overtime: Laura	\$ 929.00	\$ 2,000.00	\$ 2,191.00	\$ 2,000.00
26	Fica - 6.20%	\$ 11,904.00	\$ 13,719.00	\$ 13,490.00	\$ 14,855.00
27	Medicare - 1.45%	\$ 2,784.00	\$ 3,209.00	\$ 3,155.00	\$ 3,474.00
28	Pension 6%	\$ 11,818.00	\$ 12,340.00	\$ 13,054.00	\$ 13,440.00
29	Insurance: BCBS / LTD	\$ 63,207.00	\$ 49,412.00	\$ 48,909.00	\$ 50,268.00
30	OPERATING EXPENSE				
31	125 Plan: All Dept Tasc annual fee	\$ 1,115.00	\$ 1,955.00	\$ 1,606.00	\$ 1,955.00
32	Payroll ACH Fees: ALL DEPTS	\$ 350.00	\$ 450.00	\$ 356.00	\$ 450.00
33	Prof/School: NPZA, Conf, Drug, Election Exp	\$ 8,380.00	\$ 8,380.00	\$ 8,380.00	\$ 8,400.00
34	\$5400, Tobacco/Liquor School				
35	Memb & Dues: Pet Lic (NE Treas) 100; IIMC 250;	\$ 7,446.00	\$ 4,000.00	\$ 4,000.00	\$ 4,000.00
36	League 700; Open Caret 2400				
37	Legal Fees:	\$ 4,148.00	\$ 9,000.00	\$ 5,500.00	\$ 9,000.00
38	Record Fee: Register of Deeds	\$ 132.00	\$ 500.00	\$ 200.00	\$ 500.00
39	Comm: Clearly; Spectrum	\$ 1,891.00	\$ 2,200.00	\$ 1,933.00	\$ 2,200.00
40	Publish: Amer Legal; Phonog; Election 1800	\$ 6,181.00	\$ 6,500.00	\$ 9,000.00	\$ 7,200.00
41	Insur: LARM: Liab; WC; Bonding E/O:	\$ 11,422.00	\$ 14,578.00	\$ 13,126.00	\$ 15,751.00
42	(Plus \$700 Fireworks)				
43	City Lights	\$ 9,576.00	\$ 10,300.00	\$ 10,639.00	\$ 11,000.00
44	Uniforms: Office; Helzer	\$ 1,641.00	\$ 2,000.00	\$ 2,000.00	\$ 2,000.00
45	Public Maint: - Eiberger / Vacant Lots	\$ 1,734.00	\$ 1,000.00	\$ 100.00	\$ 1,000.00
46	Computer: COR,Banyon,Cyber;Off365, Email	\$ 22,889.00	\$ 6,000.00	\$ 3,000.00	\$ 6,000.00
47	Office Supplies	\$ 1,451.00	\$ 2,500.00	\$ 2,000.00	\$ 2,500.00
48	Postage:	\$ 106.00	\$ 1,400.00	\$ 600.00	\$ 1,400.00
49	Acct Fees-Audit 17,400; Budget 9,400	\$ 2,000.00	\$ 2,000.00	\$ 2,000.00	\$ 2,000.00
50	LAND: Acquisition (Fire Station)		\$ 50,000.00	\$ -	\$ 50,000.00
51	Bldg R&M:Entech; Copier; Police Copier 600;	\$ 3,008.00	\$ 2,800.00	\$ 2,700.00	\$ 2,800.00
52	Fire \$540, US 600; HVAC \$700				

53	LIGHT Ins: Interlocal Agreement	\$ -	\$ -	\$ -	\$ 500.00
54	CAPITAL OUTLAY				
55	Improve: Council Speaker \$5000; Office	\$ -	\$ 35,000.00	\$ -	\$ 1,035,000.00
56	\$30,000; Housing Grant \$1 Million				
57	(Acct 504684: S. Welcome Sign: GH Construction)				
58	TOTAL EXPENDITURES	\$ 388,442.00	\$ 460,513.00	\$ 363,321.00	\$ 1,485,292.00
59	NET ANNUAL CASH FLOW	\$ 3,423.00	\$ 23,055.00	\$ 63,946.00	\$ (13,171.00)
	Time CD's: \$127,806				
	ICS \$684,170				
	NPAIT = \$462,632				
	NE CLASS = \$666,499				
	M. Mkt 504805 = \$13,286				
	Health Deductible #102482 = \$160,076				
	2015 NETS; 2017 SparqData				
	2016 Office Window - Northup \$1150				
	2017 Office Window - \$1,000				
	2017 Paint \$6158 & Wrap doors \$5900				
	2018 New Copier \$7,824				
	2018 Scarborough Fix Roof \$2,000				
	2018 Council Chamber flooring \$4,500				
	2019 Doors - Northup Siding \$3,800				
	2019 Timecard Module				
	2020 Advance Climate new Rheem \$8800				
	2020 BTS - Ph Sys \$4941 = #504805				
	2022 Server Rack System / Emails to Icloud				
	2022-2023: 2017 Ford F150 (Utility Superintendent): \$24,000) General ICS				
	GENERAL #5				

GCA Days / Fireworks will be funded by Keno!!!

City of St. Paul Investment Interest Rates

- City's Insured Cash Sweep (ICS) Accounts at Citizens Bank & Trust = 4.40% (Invested \$2,940,412)
 - NPAIT = 5.337% (Invested \$3,866,349)
 - NE Class = 5.47% (Invested \$2,413,724)
- Total \$9,220,485

Approximate Treasurer's Report Total for
February End 2024 = \$11,780,715.

Debt Service City of St. Paul	Rate	Amount Bond	Yearly Pymt	Pay Frequenc	Balance	Maturity
Wednesday, March 13, 2024						
New 2021 Wastewater Treatment Facility	0.01%	\$ 6,016,000.00	\$ 101,000.00	June/Dec	\$ 6,016,000.00	12/15/2053
30 Years		First Payment is December 15, 2024				
2022 New Fire Station GO Building	4.64%	\$2,055,000	\$155,000.00	May/Nov.	\$1,975,000.00	11/15/2042
Bond, Series 2022		First Payment is May 15, 2023				
20 Years		Utilize Sales Tax Proceeds of half cent (1/2 cent)				
2020 VP: Howard Ave; "M" (Hospital);						
	1.63%	\$ 920,000.00	\$ 65,000.00		\$ 740,000.00	11/15/2035
Paul (Matelyn), Kendall East (Archer Credit)						
(Street 82%; Sewer 12%; and Water 6%)						
2020 WATER BOND (BOKF)	1.86%	\$ 375,000.00	\$ 40,000.00	Dec / June	\$ 225,000.00	12/15/2029
New Well House, Trans. Line, Paint Water Tower & Detention Tanks (Refinanced Water SRF /NDEQ and Ameritas; Now BOKF)						
Water 100%						
2017 Series GO Street Impr Bond (BOK)	2.27%	\$620,000	\$ 70,000.00	Dec / June	\$ 495,000.00	12/15/2031
STREETS 100% - (Jay, 3rd, "L" & "O")						
3/6/2017						
Dalton Meadows Improve (BOK)	2.15%	\$265,000	\$29,923.00	Dec / June	\$ 90,000.00	12/15/2026
Wt 37%, Sw 32%, St 31%						

2016 Sewer UV Bulb (BOK)	1.59%	\$ 165,000.00	\$16,600	June/Dec	\$ 55,000.00	10/15/2025
Sewer 100%						
2021 Refund Water Treatment Plant (\$1,185,000) and 2010 Street District (\$605,000) (BOK)						
Wt 69.6%, Sw 3.38%, St 27.04%	1.21%	\$ 1,220,000.00	\$ 155,000.00	Oct/April	\$ 915,000.00	10/1/2031
	Total	\$ 11,636,000.00	\$ 376,523.00		\$ 10,511,000.00	Okay
LOAN AMOUNTS SPLIT INTO DEPARTMENTS						
Water (Pay through Water Rates)		\$ 939,357.00				
Sewer (Pay through Sewer Rates)		\$ 6,219,527.00				
Street (Pay through Street Assessments)		\$ 1,377,116.00				
Fire (Pay through 1/2% Sales Tax)		\$ 1,975,000.00				
TOTAL		\$ 10,511,000.00				

CITY OF ST. PAUL, NEBRASKA
 GO WATER REFUNDING BONDS, SERIES 2020
 REFUNDING 2015, CALLABLE 4/7/2020
 DATED 4/7/2020

Wtr Bond
Series 2020
New wtr well; trans line;
detention tank

Debt Service Schedule

Date	Principal	Coupon	Interest	Total P+I
06/15/2020	-	-	1,004.42	1,004.42
12/15/2020	40,000.00	1.250%	2,658.75	42,658.75
06/15/2021	-	-	2,408.75	2,408.75
12/15/2021	40,000.00	1.250%	2,408.75	42,408.75
06/15/2022	-	-	2,158.75	2,158.75
12/15/2022	35,000.00	1.250%	2,158.75	37,158.75
06/15/2023	-	-	1,940.00	1,940.00
12/15/2023	35,000.00	1.400%	1,940.00	36,940.00
06/15/2024	-	-	1,695.00	1,695.00
12/15/2024	35,000.00	1.400%	1,695.00	36,695.00
06/15/2025	-	-	1,450.00	1,450.00
12/15/2025	35,000.00	1.400%	1,450.00	36,450.00
06/15/2026	-	-	1,205.00	1,205.00
12/15/2026	35,000.00	1.400%	1,205.00	36,205.00
06/15/2027	-	-	960.00	960.00
12/15/2027	40,000.00	1.600%	960.00	40,960.00
06/15/2028	-	-	640.00	640.00
12/15/2028	40,000.00	1.600%	640.00	40,640.00
06/15/2029	-	-	320.00	320.00
12/15/2029	40,000.00	1.600%	320.00	40,320.00
Total	\$375,000.00	-	\$29,218.17	\$404,218.17

Yield Statistics

Bond Year Dollars	\$1,958.33
Average Life	5.222 Years
Average Coupon	1.4919917%
Net Interest Cost (NIC)	1.7313534%
True Interest Cost (TIC)	1.7447911%
Bond Yield for Arbitrage Purposes	1.4901229%
All Inclusive Cost (AIC)	1.8686956%

IRS Form 8038

Net Interest Cost	1.4919917%
Weighted Average Maturity	5.222 Years

CITY OF ST. PAUL, NEBRASKA
 COMBINED UTILITIES REVENUE REFUNDING
 BONDS, SERIES 2016
 \$165,000 - DATED 10-14-16

UV Bulb
 10-14-16
 \$165,000
 Sewer

Debt Service Schedule

Date	Principal	Coupon	Interest	Total P+I	Fiscal Total
10/14/2016	-	-	-	-	-
06/15/2017	-	-	1,576.54	1,576.54	-
12/15/2017	15,000.00	0.850%	1,177.50	16,177.50	17,754.04
06/15/2018	-	-	1,113.75	1,113.75	-
12/15/2018	15,000.00	0.950%	1,113.75	16,113.75	17,227.50
06/15/2019	-	-	1,042.50	1,042.50	-
12/15/2019	15,000.00	1.050%	1,042.50	16,042.50	17,085.00
06/15/2020	-	-	963.75	963.75	-
12/15/2020	15,000.00	1.200%	963.75	15,963.75	16,927.50
06/15/2021	-	-	873.75	873.75	-
12/15/2021	15,000.00	1.300%	873.75	15,873.75	16,747.50
06/15/2022	-	-	776.25	776.25	-
12/15/2022	15,000.00	1.500%	776.25	15,776.25	16,552.50
06/15/2023	-	-	663.75	663.75	-
12/15/2023	20,000.00	1.650%	663.75	20,663.75	21,327.50
06/15/2024	-	-	498.75	498.75	-
12/15/2024	20,000.00	1.750%	498.75	20,498.75	20,997.50
06/15/2025	-	-	323.75	323.75	-
12/15/2025	35,000.00	1.850%	323.75	35,323.75	35,647.50
Total	\$165,000.00	-	\$15,266.54	\$180,266.54	-

Yield Statistics

Bond Year Dollars	\$957.96
Average Life	5.806 Years
Average Coupon	1.5936539%
Net Interest Cost (NIC)	1.5936539%
True Interest Cost (TIC)	1.5884687%
Bond Yield for Arbitrage Purposes	0.6824179%
All Inclusive Cost (AIC)	1.9577471%

IRS Form 8038

Net Interest Cost	1.5936539%
Weighted Average Maturity	5.806 Years

\$ 265,000

City of St. Paul, Nebraska

GO VP Bonds, Series 2016

BPA 11/21/16, Dated 12/22/16

10 Year Amortization - Dalton Meadows

Dalton Meadows
Water, Sewer, Strm Sewer (St)
37% 32% 31%

BOK Fin

Debt Service Schedule

Date	Principal	Coupon	Interest	Total P+I	Fiscal Total
12/22/2016	-	-	-	-	-
06/15/2017	-	-	2,412.39	2,412.39	-
12/15/2017	25,000.00	1.100%	2,510.00	27,510.00	29,922.39
06/15/2018	-	-	2,372.50	2,372.50	-
12/15/2018	25,000.00	1.250%	2,372.50	27,372.50	29,745.00
06/15/2019	-	-	2,216.25	2,216.25	-
12/15/2019	25,000.00	1.450%	2,216.25	27,216.25	29,432.50
06/15/2020	-	-	2,035.00	2,035.00	-
12/15/2020	25,000.00	1.600%	2,035.00	27,035.00	29,070.00
06/15/2021	-	-	1,835.00	1,835.00	-
12/15/2021	25,000.00	1.750%	1,835.00	26,835.00	28,670.00
06/15/2022	-	-	1,616.25	1,616.25	-
12/15/2022	25,000.00	1.900%	1,616.25	26,616.25	28,232.50
06/15/2023	-	-	1,378.75	1,378.75	-
12/15/2023	25,000.00	2.150%	1,378.75	26,378.75	27,757.50
06/15/2024	-	-	1,110.00	1,110.00	-
12/15/2024	30,000.00	2.300%	1,110.00	31,110.00	32,220.00
06/15/2025	-	-	765.00	765.00	-
12/15/2025	30,000.00	2.500%	765.00	30,765.00	31,530.00
06/15/2026	-	-	390.00	390.00	-
12/15/2026	30,000.00	2.600%	390.00	30,390.00	30,780.00
Total	\$265,000.00	-	\$32,359.89	\$297,359.89	-

Yield Statistics

Bond Year Dollars	\$1,504.85
Average Life	5.679 Years
Average Coupon	2.1503771%
Net Interest Cost (NIC)	2.4277308% ✓
True Interest Cost (TIC)	2.4422527%
Bond Yield for Arbitrage Purposes	2.1398415%
All Inclusive Cost (AIC)	2.5009894% ✓

IRS Form 8038

Net Interest Cost	2.1503771%
Weighted Average Maturity	5.679 Years

\$1,220,000

Refund

CITY OF ST. PAUL, NEBRASKA
GO VP REFUNDING, SERIES 2021
REFUNDING SERIES 2016 BONDS, CALLABLE 10/5/2026
DATED 7/27/2021

2010 Wtr Dist
Wtr Trmt Plant 69.6%
2010 Str. Dist 27.04%
2010 Swr Dist 3.38%

Debt Service Schedule

Date	Principal	Coupon	Interest	Total P+I
10/01/2021	-	-	-	-
04/01/2022	-	-	6,098.31	6,098.31
10/01/2022	150,000.00	0.300%	4,498.75	154,498.75
04/01/2023	-	-	4,273.75	4,273.75
10/01/2023	155,000.00	0.350%	4,273.75	159,273.75
04/01/2024	-	-	4,002.50	4,002.50
10/01/2024	155,000.00	0.450%	4,002.50	159,002.50
04/01/2025	-	-	3,653.75	3,653.75
10/01/2025	155,000.00	0.600%	3,653.75	158,653.75
04/01/2026	-	-	3,188.75	3,188.75
10/01/2026	150,000.00	0.700%	3,188.75	153,188.75
04/01/2027	-	-	2,663.75	2,663.75
10/01/2027	90,000.00	1.050%	2,663.75	92,663.75
04/01/2028	-	-	2,191.25	2,191.25
10/01/2028	90,000.00	1.050%	2,191.25	92,191.25
04/01/2029	-	-	1,718.75	1,718.75
10/01/2029	95,000.00	1.250%	1,718.75	96,718.75
04/01/2030	-	-	1,125.00	1,125.00
10/01/2030	90,000.00	1.250%	1,125.00	91,125.00
04/01/2031	-	-	562.50	562.50
10/01/2031	90,000.00	1.250%	562.50	90,562.50
Total	\$1,220,000.00	-	\$57,357.06	\$1,277,357.06

Yield Statistics

Bond Year Dollars	\$6,151.89
Average Life	5.043 Years
Average Coupon	0.9323488%
Net Interest Cost (NIC)	1.1425606%
True Interest Cost (TIC)	1.1462913%
Bond Yield for Arbitrage Purposes	0.9283860%
All Inclusive Cost (AIC)	1.2090776%

IRS Form 8038

Net Interest Cost	0.9323488%
Weighted Average Maturity	5.043 Years

CITY OF ST. PAUL, NEBRASKA

\$ 920,000

VARIOUS PURPOSE BONDS, SERIES 2020

15 YEAR AMORTIZATION-FUNDING \$902K IN CONSTRUCTION

PARAMETERS 10/5/2020- DATED 11/23/2020

Debt Service Schedule

Ho. Ave, m st, Paul, Kendall

Date	Principal	Coupon	Interest	Total P+I
05/15/2021	-	-	5,085.94	5,085.94
11/15/2021	60,000.00	0.550%	5,322.50	65,322.50
05/15/2022	-	-	5,157.50	5,157.50
11/15/2022	60,000.00	0.550%	5,157.50	65,157.50
05/15/2023	-	-	4,992.50	4,992.50
11/15/2023	60,000.00	0.550%	4,992.50	64,992.50
05/15/2024	-	-	4,827.50	4,827.50
11/15/2024	60,000.00	0.650%	4,827.50	64,827.50
05/15/2025	-	-	4,632.50	4,632.50
11/15/2025	60,000.00	0.650%	4,632.50	64,632.50
05/15/2026	-	-	4,437.50	4,437.50
11/15/2026	60,000.00	0.950%	4,437.50	64,437.50
05/15/2027	-	-	4,152.50	4,152.50
11/15/2027	60,000.00	0.950%	4,152.50	64,152.50
05/15/2028	-	-	3,867.50	3,867.50
11/15/2028	60,000.00	1.200%	3,867.50	63,867.50
05/15/2029	-	-	3,507.50	3,507.50
11/15/2029	60,000.00	1.200%	3,507.50	63,507.50
05/15/2030	-	-	3,147.50	3,147.50
11/15/2030	60,000.00	1.400%	3,147.50	63,147.50
05/15/2031	-	-	2,727.50	2,727.50
11/15/2031	60,000.00	1.400%	2,727.50	62,727.50
05/15/2032	-	-	2,307.50	2,307.50
11/15/2032	65,000.00	1.650%	2,307.50	67,307.50
05/15/2033	-	-	1,771.25	1,771.25
11/15/2033	65,000.00	1.650%	1,771.25	66,771.25
05/15/2034	-	-	1,235.00	1,235.00
11/15/2034	65,000.00	1.900%	1,235.00	66,235.00
05/15/2035	-	-	617.50	617.50
11/15/2035	65,000.00	1.900%	617.50	65,617.50
Total	\$920,000.00	-	\$105,170.94	\$1,025,170.94

Yield Statistics

Bond Year Dollars	<i>St - 82%</i>	\$7,449.56
Average Life		8.097 Years
Average Coupon		1.4117747%
Net Interest Cost (NIC)	<i>SW - 12%</i>	1.5846709%
True Interest Cost (TIC)		1.5882385%
Bond Yield for Arbitrage Purposes		1.4013901%
All Inclusive Cost (AIC)	<i>Wdr - 6%</i>	1.6286111%
IRS Form 8038		
Net Interest Cost		1.4117747%
Weighted Average Maturity		8.097 Years

CITY OF ST. PAUL, NEBRASKA

streets

GO VP REFD - 2021

REFUNDING SERIES 2017 BONDS, CALLABLE 4/17/2022

PARAMTERS 12/6/2021, DATED 1/27/2022

\$ 620,000

Debt Service Schedule

Date	Principal	Coupon	Interest	Total P+I
06/15/2022	-	-	2,669.92	2,669.92
12/15/2022	65,000.00	0.700%	3,482.50	68,482.50
06/15/2023	-	-	3,255.00	3,255.00
12/15/2023	60,000.00	0.700%	3,255.00	63,255.00
06/15/2024	-	-	3,045.00	3,045.00
12/15/2024	60,000.00	0.700%	3,045.00	63,045.00
06/15/2025	-	-	2,835.00	2,835.00
12/15/2025	60,000.00	0.700%	2,835.00	62,835.00
06/15/2026	-	-	2,625.00	2,625.00
12/15/2026	65,000.00	1.400%	2,625.00	67,625.00
06/15/2027	-	-	2,170.00	2,170.00
12/15/2027	60,000.00	1.400%	2,170.00	62,170.00
06/15/2028	-	-	1,750.00	1,750.00
12/15/2028	60,000.00	1.400%	1,750.00	61,750.00
06/15/2029	-	-	1,330.00	1,330.00
12/15/2029	60,000.00	1.400%	1,330.00	61,330.00
06/15/2030	-	-	910.00	910.00
12/15/2030	65,000.00	1.400%	910.00	65,910.00
06/15/2031	-	-	455.00	455.00
12/15/2031	65,000.00	1.400%	455.00	65,455.00
Total	\$620,000.00	-	\$42,902.42	\$662,902.42

Yield Statistics

Bond Year Dollars	\$3,352.67
Average Life	5.408 Years
Average Coupon	1.2796506%

Net Interest Cost (NIC)	1.5154331%
True Interest Cost (TIC)	1.5253822%
Bond Yield for Arbitrage Purposes	1.2766041%
All Inclusive Cost (AIC)	1.6050027%

IRS Form 8038

Net Interest Cost	1.2796506%
Weighted Average Maturity	5.408 Years

4.43%

BOND DEBT SERVICE

New Fire Station

St. Paul - Nebraska

GO Building Bonds, Series 2022 - Dated 1/24/2023. FINAL

Keep

Period Ending	Principal	Coupon	Interest	Debt Service	Annual Debt Service
05/15/2023			26,586.04	26,586.04	
11/15/2023	80,000	3.400%	43,112.50	123,112.50	149,698.54
05/15/2024			41,752.50	41,752.50	
11/15/2024	70,000	3.400%	41,752.50	111,752.50	153,505.00
05/15/2025			40,562.50	40,562.50	
11/15/2025	75,000	3.400%	40,562.50	115,562.50	156,125.00
05/15/2026			39,287.50	39,287.50	
11/15/2026	75,000	3.500%	39,287.50	114,287.50	153,575.00
05/15/2027			37,975.00	37,975.00	
11/15/2027	80,000	3.500%	37,975.00	117,975.00	155,950.00
05/15/2028			36,575.00	36,575.00	
11/15/2028	85,000	3.500%	36,575.00	121,575.00	158,150.00
05/15/2029			35,087.50	35,087.50	
11/15/2029	85,000	4.500%	35,087.50	120,087.50	155,175.00
05/15/2030			33,175.00	33,175.00	
11/15/2030	90,000	4.500%	33,175.00	123,175.00	156,350.00
05/15/2031			31,150.00	31,150.00	
11/15/2031	95,000	4.500%	31,150.00	126,150.00	157,300.00
05/15/2032			29,012.50	29,012.50	
11/15/2032	95,000	4.500%	29,012.50	124,012.50	153,025.00
05/15/2033			26,875.00	26,875.00	
11/15/2033	100,000	4.250%	26,875.00	126,875.00	153,750.00
05/15/2034			24,750.00	24,750.00	
11/15/2034	105,000	4.250%	24,750.00	129,750.00	154,500.00
05/15/2035			22,518.75	22,518.75	
11/15/2035	110,000	4.250%	22,518.75	132,518.75	155,037.50
05/15/2036			20,181.25	20,181.25	
11/15/2036	115,000	4.250%	20,181.25	135,181.25	155,362.50
05/15/2037			17,737.50	17,737.50	
11/15/2037	120,000	4.250%	17,737.50	137,737.50	155,475.00
05/15/2038			15,187.50	15,187.50	
11/15/2038	125,000	4.500%	15,187.50	140,187.50	155,375.00
05/15/2039			12,375.00	12,375.00	
11/15/2039	130,000	4.500%	12,375.00	142,375.00	154,750.00
05/15/2040			9,450.00	9,450.00	
11/15/2040	135,000	4.500%	9,450.00	144,450.00	153,900.00
05/15/2041			6,412.50	6,412.50	
11/15/2041	140,000	4.500%	6,412.50	146,412.50	152,825.00
05/15/2042			3,262.50	3,262.50	
11/15/2042	145,000	4.500%	3,262.50	148,262.50	151,525.00
	2,055,000		1,036,353.54	3,091,353.54	3,091,353.54

Wastewater Treatment Facility

ATTACHMENT A

PROJECTED AMORTIZATION SCHEDULE

WWTF

TOTAL PRINCIPAL: \$ 6,016,000
 LOAN FORGIVENESS: \$ -
 SMALL TOWN GRANT: \$ -
 TOTAL SRF ASSISTANCE: \$ 6,016,000

INTEREST RATE (%): 0.01
 ADMIN FEE (%): 0.01
 TERM (YEARS): 30

Principal Payment	Principal	Principal Payment	Interest	Admin Fee	Total Payment	Remaining Principal
6/15/2024	\$ 6,016,000.00	\$ 100,118.85	\$ 300.80	\$ 300.80	\$ 100,720.45	\$ 5,915,881.15
12/15/2024	\$ 5,915,881.15	\$ 100,123.85	\$ 295.79	\$ 295.79	\$ 100,715.44	\$ 5,815,757.30
6/15/2025	\$ 5,815,757.30	\$ 100,128.86	\$ 290.79	\$ 290.79	\$ 100,710.44	\$ 5,715,628.44
12/15/2025	\$ 5,715,628.44	\$ 100,133.87	\$ 285.78	\$ 285.78	\$ 100,705.43	\$ 5,615,494.57
6/15/2026	\$ 5,615,494.57	\$ 100,138.87	\$ 280.77	\$ 280.77	\$ 100,700.42	\$ 5,515,355.70
12/15/2026	\$ 5,515,355.70	\$ 100,143.88	\$ 275.77	\$ 275.77	\$ 100,695.42	\$ 5,415,211.81
6/15/2027	\$ 5,415,211.81	\$ 100,148.89	\$ 270.76	\$ 270.76	\$ 100,690.41	\$ 5,315,062.93
12/15/2027	\$ 5,315,062.93	\$ 100,153.90	\$ 265.75	\$ 265.75	\$ 100,685.40	\$ 5,214,909.03
6/15/2028	\$ 5,214,909.03	\$ 100,158.90	\$ 260.75	\$ 260.75	\$ 100,680.39	\$ 5,114,750.13
12/15/2028	\$ 5,114,750.13	\$ 100,163.91	\$ 255.74	\$ 255.74	\$ 100,675.39	\$ 5,014,586.22
6/15/2029	\$ 5,014,586.22	\$ 100,168.92	\$ 250.73	\$ 250.73	\$ 100,670.38	\$ 4,914,417.30
12/15/2029	\$ 4,914,417.30	\$ 100,173.93	\$ 245.72	\$ 245.72	\$ 100,665.37	\$ 4,814,243.37
6/15/2030	\$ 4,814,243.37	\$ 100,178.94	\$ 240.71	\$ 240.71	\$ 100,660.36	\$ 4,714,064.43
12/15/2030	\$ 4,714,064.43	\$ 100,183.95	\$ 235.70	\$ 235.70	\$ 100,655.35	\$ 4,613,880.49
6/15/2031	\$ 4,613,880.49	\$ 100,188.95	\$ 230.69	\$ 230.69	\$ 100,650.34	\$ 4,513,691.53
12/15/2031	\$ 4,513,691.53	\$ 100,193.96	\$ 225.68	\$ 225.68	\$ 100,645.33	\$ 4,413,497.57
6/15/2032	\$ 4,413,497.57	\$ 100,198.97	\$ 220.67	\$ 220.67	\$ 100,640.32	\$ 4,313,298.60
12/15/2032	\$ 4,313,298.60	\$ 100,203.98	\$ 215.66	\$ 215.66	\$ 100,635.31	\$ 4,213,094.61
6/15/2033	\$ 4,213,094.61	\$ 100,208.99	\$ 210.65	\$ 210.65	\$ 100,630.30	\$ 4,112,885.62
12/15/2033	\$ 4,112,885.62	\$ 100,214.00	\$ 205.64	\$ 205.64	\$ 100,625.29	\$ 4,012,671.62
6/15/2034	\$ 4,012,671.62	\$ 100,219.01	\$ 200.63	\$ 200.63	\$ 100,620.28	\$ 3,912,452.60
12/15/2034	\$ 3,912,452.60	\$ 100,224.03	\$ 195.62	\$ 195.62	\$ 100,615.27	\$ 3,812,228.57
6/15/2035	\$ 3,812,228.57	\$ 100,229.04	\$ 190.61	\$ 190.61	\$ 100,610.26	\$ 3,711,999.54
12/15/2035	\$ 3,711,999.54	\$ 100,234.05	\$ 185.60	\$ 185.60	\$ 100,605.25	\$ 3,611,765.49
6/15/2036	\$ 3,611,765.49	\$ 100,239.06	\$ 180.59	\$ 180.59	\$ 100,600.24	\$ 3,511,526.43
12/15/2036	\$ 3,511,526.43	\$ 100,244.07	\$ 175.58	\$ 175.58	\$ 100,595.22	\$ 3,411,282.36
6/15/2037	\$ 3,411,282.36	\$ 100,249.08	\$ 170.56	\$ 170.56	\$ 100,590.21	\$ 3,311,033.27
12/15/2037	\$ 3,311,033.27	\$ 100,254.10	\$ 165.55	\$ 165.55	\$ 100,585.20	\$ 3,210,779.18
6/15/2038	\$ 3,210,779.18	\$ 100,259.11	\$ 160.54	\$ 160.54	\$ 100,580.19	\$ 3,110,520.07
12/15/2038	\$ 3,110,520.07	\$ 100,264.12	\$ 155.53	\$ 155.53	\$ 100,575.17	\$ 3,010,255.94
6/15/2039	\$ 3,010,255.94	\$ 100,269.14	\$ 150.51	\$ 150.51	\$ 100,570.16	\$ 2,909,986.81
12/15/2039	\$ 2,909,986.81	\$ 100,274.15	\$ 145.50	\$ 145.50	\$ 100,565.15	\$ 2,809,712.66
6/15/2040	\$ 2,809,712.66	\$ 100,279.16	\$ 140.49	\$ 140.49	\$ 100,560.13	\$ 2,709,433.50
12/15/2040	\$ 2,709,433.50	\$ 100,284.18	\$ 135.47	\$ 135.47	\$ 100,555.12	\$ 2,609,149.32
6/15/2041	\$ 2,609,149.32	\$ 100,289.19	\$ 130.46	\$ 130.46	\$ 100,550.11	\$ 2,508,860.13
12/15/2041	\$ 2,508,860.13	\$ 100,294.21	\$ 125.44	\$ 125.44	\$ 100,545.09	\$ 2,408,565.92
6/15/2042	\$ 2,408,565.92	\$ 100,299.22	\$ 120.43	\$ 120.43	\$ 100,540.08	\$ 2,308,266.70
12/15/2042	\$ 2,308,266.70	\$ 100,304.24	\$ 115.41	\$ 115.41	\$ 100,535.06	\$ 2,207,962.47
6/15/2043	\$ 2,207,962.47	\$ 100,309.25	\$ 110.40	\$ 110.40	\$ 100,530.05	\$ 2,107,653.22
12/15/2043	\$ 2,107,653.22	\$ 100,314.27	\$ 105.38	\$ 105.38	\$ 100,525.03	\$ 2,007,338.95
6/15/2044	\$ 2,007,338.95	\$ 100,319.28	\$ 100.37	\$ 100.37	\$ 100,520.02	\$ 1,907,019.67
12/15/2044	\$ 1,907,019.67	\$ 100,324.30	\$ 95.35	\$ 95.35	\$ 100,515.00	\$ 1,806,695.37
6/15/2045	\$ 1,806,695.37	\$ 100,329.31	\$ 90.33	\$ 90.33	\$ 100,509.98	\$ 1,706,366.06
12/15/2045	\$ 1,706,366.06	\$ 100,334.33	\$ 85.32	\$ 85.32	\$ 100,504.97	\$ 1,606,031.73
6/15/2046	\$ 1,606,031.73	\$ 100,339.35	\$ 80.30	\$ 80.30	\$ 100,499.95	\$ 1,505,692.38
12/15/2046	\$ 1,505,692.38	\$ 100,344.36	\$ 75.28	\$ 75.28	\$ 100,494.93	\$ 1,405,348.02
6/15/2047	\$ 1,405,348.02	\$ 100,349.38	\$ 70.27	\$ 70.27	\$ 100,489.92	\$ 1,304,998.64
12/15/2047	\$ 1,304,998.64	\$ 100,354.40	\$ 65.25	\$ 65.25	\$ 100,484.90	\$ 1,204,644.24
6/15/2048	\$ 1,204,644.24	\$ 100,359.42	\$ 60.23	\$ 60.23	\$ 100,479.88	\$ 1,104,284.82
12/15/2048	\$ 1,104,284.82	\$ 100,364.43	\$ 55.21	\$ 55.21	\$ 100,474.86	\$ 1,003,920.39
6/15/2049	\$ 1,003,920.39	\$ 100,369.45	\$ 50.20	\$ 50.20	\$ 100,469.84	\$ 903,550.93
12/15/2049	\$ 903,550.93	\$ 100,374.47	\$ 45.18	\$ 45.18	\$ 100,464.83	\$ 803,176.46
6/15/2050	\$ 803,176.46	\$ 100,379.49	\$ 40.16	\$ 40.16	\$ 100,459.81	\$ 702,796.97
12/15/2050	\$ 702,796.97	\$ 100,384.51	\$ 35.14	\$ 35.14	\$ 100,454.79	\$ 602,412.46
6/15/2051	\$ 602,412.46	\$ 100,389.53	\$ 30.12	\$ 30.12	\$ 100,449.77	\$ 502,022.94
12/15/2051	\$ 502,022.94	\$ 100,394.55	\$ 25.10	\$ 25.10	\$ 100,444.75	\$ 401,628.39
6/15/2052	\$ 401,628.39	\$ 100,399.57	\$ 20.08	\$ 20.08	\$ 100,439.73	\$ 301,228.82
12/15/2052	\$ 301,228.82	\$ 100,404.59	\$ 15.06	\$ 15.06	\$ 100,434.71	\$ 200,824.24
6/15/2053	\$ 200,824.24	\$ 100,409.61	\$ 10.04	\$ 10.04	\$ 100,429.69	\$ 100,414.63
12/15/2053	\$ 100,414.63	\$ 100,414.63	\$ 5.02	\$ 5.02	\$ 100,424.67	\$ 0.00
TOTAL:	\$6,016,000		\$9,178.91	\$9,178.91	\$6,034,357.82	

AGENDA ITEM REQUEST FORM

Anyone wishing to place an item on the City Council agenda must complete this form. The completed form must be submitted to the City Clerk, City of St. Paul, 704 6th Street, St. Paul, NE 68873 no later than Noon on the Wednesday prior to the City Council meeting. If the Wednesday prior to the City Council meeting is a holiday, the deadline is noon on the previous day. The City Council generally meets at 7:00 p.m. on the 1st and 3rd Monday of each month.

City Council Meeting Date: 3/18/2024

Requested Agenda Item: Road Closures March 23rd 11:30AM to 1PM.
for Chamber Easter Egg hunt in the park.

Please state your Agenda Item (please be specific, providing documentation if available):

Asking For Indian St. to be closed from 6th St to 5th St.
and close street on Indian between 4th + 5th Streets

What action do you want the City Council to take?

Requesting Barricades

Will this project/item require City funding? YES ___ NO X If so, how much? _____

Name (please print): Tyler Eberle

Name (signature): Tyler Eberle

Address: 1306 Bruce St St. Paul NE

Phone Number: 402 367 8823

.....
For City Official Use Only

___ Added to City Council Agenda. Date of City Council meeting: _____

___ Referred to City Council Committee for Recommendation

City Council Action Taken: _____

City Funds Authorized: _____

CITY OF ST. PAUL, NEBRASKA
 GENERAL FUND
 COMBINING SCHEDULE OF REVENUES, EXPENDITURES, AND CHANGES IN FUND BALANCES
 MODIFIED CASH BASIS
 FOR THE YEAR ENDED SEPTEMBER 30, 2023
 WITH COMPARATIVE TOTALS FOR THE YEAR ENDED SEPTEMBER 30, 2022

	General Fund	Police Fund	Fire Fund	Ambulance Fund	Cemetery Fund	Pool Fund	Library Fund	Parks Fund	Recreation Fund	Total	2022 Total
<i>2023</i>											
REVENUES											
Taxes											
Property	146,926	273,409	27,341		27,341	68,380	75,188	61,517	6,835	686,937	658,543
Franchise	26,707									26,707	26,519
Intergovernmental	129,049	1,500	21,755	19,358			31,605			203,267	216,950
Charges for services	7,755			57,312	16,660	44,843				126,570	137,880
Grants		2,800		75,000			1,739			79,539	211,348
Contributions											10,000
Interest income	82,600	989	75,112	14,160	1,713	1,245	5,002	7,323	6	188,150	28,332
Bond/loan proceeds			2,055,000							2,055,000	
Other	4,936	16,879	15,068		24,291	83	8,598	17,204		87,059	87,023
Total revenues	<u>397,973</u>	<u>295,577</u>	<u>2,194,276</u>	<u>165,830</u>	<u>70,005</u>	<u>114,551</u>	<u>122,132</u>	<u>86,044</u>	<u>6,841</u>	<u>3,453,229</u>	<u>1,376,595</u>
EXPENDITURES											
Personnel services	290,289	327,452	3,499	2,074	18,652	52,302	37,499	81,512		813,279	827,082
Operating expenses	70,264	111,149	46,432	108,912	6,958	36,511	68,456	69,024	8,000	525,706	463,482
Supplies	1,759	1,811	9,785	5,178		3,341	2,415			24,289	21,659
Other expenses	1,125				4,700	2,540				8,365	6,262
Capital Outlay	91,926	49,191		100,682	2,356		2,300			246,455	137,319
Debt Service											
Interest			26,586							26,586	
Bond issue cost			48,024							48,024	
Total expenditures	<u>455,363</u>	<u>489,603</u>	<u>134,326</u>	<u>216,846</u>	<u>32,666</u>	<u>94,694</u>	<u>110,670</u>	<u>150,536</u>	<u>8,000</u>	<u>1,692,704</u>	<u>1,455,804</u>
EXCESS (DEFICIENCY) OF REVENUES OVER EXPENDITURES BEFORE TRANSFERS	<u>(57,390)</u>	<u>(194,026)</u>	<u>2,059,950</u>	<u>(51,016)</u>	<u>37,339</u>	<u>19,857</u>	<u>11,462</u>	<u>(64,492)</u>	<u>(1,159)</u>	<u>1,760,525</u>	<u>(79,209)</u>
TRANSFERS FROM (TO) OTHER FUNDS											
Transfers in	77,128	178,500						76,800		332,428	291,640
Transfers out	(32,712)	(13,068)						(4,356)		(50,136)	(29,040)
Net transfers	<u>44,416</u>	<u>165,432</u>						<u>72,444</u>		<u>282,292</u>	<u>262,600</u>
EXCESS (DEFICIENCY) OF REVENUES OVER EXPENDITURES	<u>(12,974)</u>	<u>(28,594)</u>	<u>2,059,950</u>	<u>(51,016)</u>	<u>37,339</u>	<u>19,857</u>	<u>11,462</u>	<u>7,952</u>	<u>(1,159)</u>	<u>2,042,817</u>	<u>183,391</u>

new
Amb.
took funds from reserves / RFB

05

City of St. Paul's Treasurer's Report:

<i>Account Number</i>	<i>Prev. Mth Total</i>	<i>Current Mth Total</i>	<i>Total</i>	
HOMESTEAD BANK	January 31, 2024	February 29, 2024		Comments
Checking 100-027	\$ (795,865.37)	\$ 794,255.93	\$ (1,609.44)	
Sales Tax 300-277	\$ (36,079.37)	\$ 94,526.09	\$ 58,446.72	Mtr Veh \$6465; 25% Infrast \$11,709; Fire Station \$23,418; Trfr 100,000 504420
Civic Center 300-749	\$ (237.95)	\$ 238.14	\$ 0.19	
City REDLG 301-465	\$ (141,237.60)	\$ 149,305.67	\$ 8,068.07	Vogel; Teresa's Fl; Bootlegger; HCMC;
City ARP 303057	\$ (257,918.09)	\$ 205.02	\$ (257,713.07)	Rutjens \$257,569
Water Trmt 504-189	\$ (7,500.72)	\$ 8,361.87	\$ 861.15	
Keno 504-409	\$ (9,456.22)	\$ 14,922.04	\$ 5,465.82	Keno Rev \$6,250; Interest; H & H Express Dept Rev \$100 (City 50G Form)
Sales Tax 504420	\$ (318,100.55)	\$ 283,621.23	\$ (34,479.32)	LB840 Rev; Sales Tax \$76,719; Wroblewski \$291 (Release Elster Fl; SPDC: Middle Loup Subd Engineering \$10,384 & 13,817; Trfr \$100,000 300277
Pool 504-442	\$ (14,076.36)	\$ 14,093.14	\$ 16.78	
General 504-805	\$ (13,440.19)	\$ 13,456.21	\$ 16.02	
Sewer 504-849	\$ (19,481.90)	\$ 19,505.12	\$ 23.22	
Police 504-860	\$ (16,243.74)	\$ 16,263.10	\$ 19.36	
Senior Center 504-882	\$ (8,444.46)	\$ 8,454.52	\$ 10.06	
Brick (Street) 504-915	\$ (2,049.49)	\$ 2,051.93	\$ 2.44	
Library Maint. 504-970	\$ (2,867.27)	\$ 2,870.69	\$ 3.42	
Light Sinking 504-981	\$ (14,395.22)	\$ 14,662.63	\$ 267.41	
Fire Sinking 504-992	\$ (7,575.70)	\$ 7,584.73	\$ 9.03	
EMT Sinking 505-003	\$ (7,995.97)	\$ 8,005.50	\$ 9.53	
Street Sinking 505-014	\$ (12,072.10)	\$ 12,086.49	\$ 14.39	
Park Sinking 505-025	\$ (11,725.83)	\$ 11,739.81	\$ 13.98	
TIF Projects 505-036	\$ (1,201.29)	\$ 1,212.34	\$ 11.05	
Elmwood Cem Found 505168	\$ (16,641.44)	\$ 16,647.39	\$ 5.95	
Civic Center Sink 505179	\$ (1,852.26)	\$ 1,854.47	\$ 2.21	
Walk/Bike 5482-7	\$ (3,449.09)	\$ 3,449.09	\$ -	
CITIZENS BANK & TRUST				
Consumer Dep 102-415	\$ (55,750.71)	\$ 56,000.71	\$ 250.00	
Cafeteria 125 102-407	\$ (17,028.69)	\$ 16,775.01	\$ (253.68)	
Health Ded 102-482	\$ (88,893.08)	\$ 94,529.48	\$ 5,636.40	Regional Care Activity RE Deductible
25% Infrast 102-342	\$ (70,599.96)	\$ 81,656.32	\$ 11,056.36	25% Infrast Deposit \$11,709 + Interest RVW Inc \$800 (GIS)
Sales Tax Fire Station Proceeds	\$ (78,384.78)	\$ 101,973.05	\$ 23,588.27	Proceeds \$23,418 + Interest
Fire Station Construct #103683	\$ (99,677.15)	\$ 93,554.66	\$ (6,122.49)	JEO Engineering \$6,318
Cemetery Sav 753-122	\$ (16,879.16)	\$ 14,220.63	\$ (2,658.53)	

Park Aluminum 772682	\$ (7,115.47)	\$ 7,335.07	\$ 219.60	Alum Cans + Interest
Light ICS 103217	\$ (728,391.58)	\$ 730,942.22	\$ 2,550.64	Interest
Water ICS 103225	\$ (277,152.72)	\$ 278,123.21	\$ 970.49	
Sewer ICS 103241	\$ (284,882.68)	\$ 285,880.25	\$ 997.57	
General ICS 103209	\$ (809,974.80)	\$ 812,811.14	\$ 2,836.34	
Building ICS 103233	\$ (25,755.62)	\$ 25,845.78	\$ 90.16	
Fire ICS 103268	\$ (20,004.99)	\$ 20,075.04	\$ 70.05	
Ambulance ICS 103276	\$ (67,825.00)	\$ 68,062.48	\$ 237.48	
Park ICS 103284	\$ (45,324.17)	\$ 45,482.85	\$ 158.68	
Police ICS 103292	\$ (2,652.50)	\$ 2,661.78	\$ 9.28	
Keno ICS 103314	\$ (69,411.27)	\$ 69,654.33	\$ 243.06	
Street ICS 103349	\$ (73,397.10)	\$ 73,654.08	\$ 256.98	
Library ICS 103365	\$ (36,901.86)	\$ 37,031.08	\$ 129.22	
Senior Center ICS 103373	\$ (22,009.27)	\$ 22,086.34	\$ 77.07	
Redlg ICS 103381	\$ (100,221.28)	\$ 100,572.20	\$ 350.92	
Pool ICS 103438	\$ (18,274.39)	\$ 18,338.38	\$ 63.99	
Cemetery ICS 103446	\$ (26,635.83)	\$ 26,729.10	\$ 93.27	
25% Infrastructure ICS	\$ (203,804.99)	\$ 204,518.66	\$ 713.67	
Sales Tax ICS 103462	\$ (13,945.19)	\$ 13,993.97	\$ 48.78	
Health Ded ICS 102-482	\$ (103,586.88)	\$ 103,949.57	\$ 362.69	
HERITAGE BANK				
UB ACH 411025	\$ (500,096.46)	\$ 611,486.50	\$ 111,390.04	UB ACH Deposit
NPAIT INVESTMENTS				
Light #23251-101	\$ (479,314.97)	\$ 481,347.51	\$ 2,032.54	ALL INTEREST
Water #23251-102	\$ (158,716.27)	\$ 159,389.33	\$ 673.06	
General #23251-104	\$ (479,314.97)	\$ 481,347.51	\$ 2,032.54	
Sewer #23251-106	\$ (211,747.62)	\$ 212,645.57	\$ 897.95	
Fire #23251-107	\$ (90,508.87)	\$ 90,892.66	\$ 383.79	
Ambulance #23251-108	\$ (158,919.96)	\$ 159,593.82	\$ 673.86	
Park #23251-109	\$ (96,823.38)	\$ 97,233.94	\$ 410.56	
Library #23251-110	\$ (52,621.47)	\$ 52,844.61	\$ 223.14	
Keno #23251-111	\$ (106,295.22)	\$ 106,745.95	\$ 450.73	
Redlg #23251-112	\$ (52,621.47)	\$ 52,844.61	\$ 223.14	
Fire Station(Build) #23251-201	\$ (1,963,139.18)	\$ 1,971,463.79	\$ 8,324.61	
NEBRASKA CLASS				
Lights 01-0005-0001	\$ (623,261.58)	\$ 640,151.68	\$ 16,890.10	
Water 01-0005-0002	\$ (119,599.68)	\$ 120,117.58	\$ 517.90	
Sewer 01-0005-0003	\$ (229,781.47)	\$ 230,776.49	\$ 995.02	
General 01-0005-0004	\$ (691,521.83)	\$ 694,516.32	\$ 2,994.49	
Street 01-0005-0005	\$ (43,023.37)	\$ 43,209.67	\$ 186.30	

Fire 01-0005-0006	\$ (31,480.51)	\$ 31,616.83	\$ 136.32	
Police 01-0005-0007	\$ (15,740.26)	\$ 15,808.42	\$ 68.16	
Fire Station Construction			\$ -	
01-0005-0008				
Cemetery 01-0005-0009	\$ (27,283.10)	\$ 27,401.24	\$ 118.14	
Ambulance 01-0005-0010	\$ (123,823.33)	\$ 124,359.52	\$ 536.19	
Park 01-0005-0011	\$ (46,171.42)	\$ 46,371.36	\$ 199.94	
Library 01-0005-0012	\$ (40,924.65)	\$ 41,101.87	\$ 177.22	
Keno 01-0005-0013	\$ (38,825.98)	\$ 38,994.11	\$ 168.13	
Sales Tax 01-0005-0014	\$ (126,971.39)	\$ 127,521.21	\$ 549.82	
25% Infrast. 01-0005-0015	\$ (75,513.86)	\$ 75,840.86	\$ 327.00	
Sales Tax (Fire Station)	\$ -		\$ -	
01-0005-0016				
REDLG 01-0005-0017	\$ (17,838.95)	\$ 17,916.20	\$ 77.25	
Building Sinking	\$ (25,184.41)	\$ 25,293.47	\$ 109.06	
01-5000-0019				
Swimming Pool	\$ (15,740.26)	\$ 15,808.42	\$ 68.16	
01-0005-0020				
Senior Center	\$ (20,987.01)	\$ 21,077.89	\$ 90.88	
01-5000-0021				
Health Ded 01-5000-0022	\$ (75,513.86)	\$ 75,840.86	\$ 327.00	
CITY FUND TOTAL	\$ (11,823,696.06)	\$ 11,797,390.34	\$ (26,305.72)	



City of St. Paul, Nebraska

704 6th Street • St. Paul, NE 68873

Phone (308) 754-4483

As of February 29, 2024

Homestead Bank

Checking (NOW) 300-100-027.....	\$	794,255.93
City Sales Tax (Checking) 300-300-277.....	\$	94,526.09
St. Paul Civic Center (MMDA) 300-300-749.....	\$	238.14
City REDLG (Secure Plus) 300-301-465.....	\$	149,305.67
American Rescue Plan (ARP) Funds 300-303-057.....	\$	205.02
Water Treatment Plant (Bond Reserve) (MMDA) 300-504-189.....	\$	8,361.87
Keno (MMDA) 300-504-409.....	\$	14,922.04
Sales Tax (P.I.) 300-504-420.....	\$	283,621.23
Pool Construction (MMDA) 300-504-442.....	\$	14,093.14
General Equipment Sinking (MMDA) 300-504-805.....	\$	13,456.21
Sewer Building & Equipment Fund (MMDA) 300-504-849.....	\$	19,505.12
Police Equipment Fund (MMDA) 300-504-860.....	\$	16,263.10
Senior Center Fund (MMDA) 300-504-882.....	\$	8,454.52
Brick Account (MMDA) 300-504-915.....	\$	2,051.93
Library Maintenance Reserve (MMDA) 300-504-970.....	\$	2,870.69
Light Sinking Fund (MMDA) 300-504-981.....	\$	14,662.63
Fire Sinking Fund (MMDA) 300-504-992.....	\$	7,584.73
EMT Sinking Fund (MMDA) 300-505-003.....	\$	8,005.50
Street Sinking Fund (MMDA) 300-505-014.....	\$	12,086.49
Park Equipment Sinking Fund (MMDA) 300-505-025.....	\$	11,739.81
TIF Projects (MMDA) 300-505-036.....	\$	1,212.34
St. Paul Elmwood Cemetery Foundation (MMDA) 300-505-168.....	\$	16,647.39
Civic Center Sinking Fund (MMDA) 300-505-179.....	\$	1,854.47
Walk/Bike Trail (Savings) 300054827.....	\$	3,449.09

Citizens Bank & Trust

Consumer Deposit Fund (Checking) 102415.....	\$	56,000.71
Cafeteria 125 (NOW) 102407.....	\$	16,775.01
Health Deductible Account (NOW) 102482.....	\$	94,529.48
Sales Tax Infrastructure (NOW) 102342.....	\$	81,656.32
Sales Tax Fire Station Proceeds 103667.....	\$	101,973.05
Fire Station Construction 103683.....	\$	93,554.66
Cemetery (Savings) 753122.....	\$	14,220.63
City Park Aluminum Improvement (Savings) 772682.....	\$	7,335.07
Lights (ICS MMA) 103217.....	\$	730,942.22
Water (ICS MMA) 103225.....	\$	278,123.21
Sewer (ICS MMA) 103241.....	\$	285,880.25
General (ICS MMA) 103209.....	\$	812,811.14
Building (ICS MMA) 103233.....	\$	25,845.78



"This institution is an equal opportunity provider, and employer".



Fire (ICS MMA) 103268.....	\$	20,075.04
Ambulance (ICS MMA) 103276.....	\$	68,062.48
Park (ICS MMA) 103284.....	\$	45,482.85
Police (ICS MMA) 103292.....	\$	2,661.78
Keno (ICS MMA) 103314.....	\$	69,654.33
Streets (ICS MMA) 103349.....	\$	73,654.08
Library (ICS MMA) 103365.....	\$	37,031.08
Senior Center (ICS MMA) 103373.....	\$	22,086.34
Red Leg (ICS MMA) 103381.....	\$	100,572.20
Pool (ICS MMA) 103438.....	\$	18,338.38
Elmwood Cemetery (ICS MMA) 103446.....	\$	26,729.10
25% Sales Tax Infrastructure (ICS MMA) 102342.....	\$	204,518.66
City Sales Tax (ICS Bus. Int.) 103462.....	\$	13,993.97
Health Deductible Account (ICS MMA) 102482.....	\$	103,949.57

Heritage Bank

ACH Account (MMDA) 411025.....	\$	611,486.50
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NPAIT Funds

Light Funds 23251-101.....	\$	481,347.51
Water Funds 23251-102.....	\$	159,389.33
General Funds 23251-104.....	\$	481,347.51
Sewer Funds 23251-106.....	\$	212,645.57
Fire Funds 23251-107.....	\$	90,892.66
Ambulance Funds 23251-108.....	\$	159,593.82
Park Funds 23251-109.....	\$	97,233.94
Library Funds 23251-110.....	\$	52,844.61
Keno Funds 23251-111.....	\$	106,745.95
REDLG Funds 23251-112.....	\$	52,844.61
New Fire Station 23251-201.....	\$	1,971,463.79

NEBRASKA CLASS

Lights 01-0005-0001.....	\$	640,151.68
Water 01-0005-0002.....	\$	120,117.58
Sewer 01-0005-0003.....	\$	230,776.49
General 01-0005-0004.....	\$	694,516.32
Street 01-0005-0005.....	\$	43,209.67
Fire 01-0005-0006.....	\$	31,616.83
Police 01-0005-0007.....	\$	15,808.42
Fire Station Construction 01-0005-0008.....	\$	-
Cemetery 01-0005-0009.....	\$	27,401.24
Ambulance 01-0005-0010.....	\$	124,359.52
Park 01-0005-0011.....	\$	46,371.36
Library 01-0005-0012.....	\$	41,101.87
Keno 01-0005-0013.....	\$	38,994.11
Sales Tax 01-0005-0014.....	\$	127,521.21
25% Infrastructure 01-0005-0015.....	\$	75,840.86
Sales Tax (Fire Station) 01-0005-0016.....	\$	-

REDLG 01-0005-0017.....	\$	17,916.20
ARPA 01-0005-0018.....	\$	-
Building Sinking Fund 01-0005-0019.....	\$	25,293.47
Swimming Pool 01-0005-0020.....	\$	15,808.42
Senior Center 01-0005-0021.....	\$	21,077.89
Health Deductible 01-0005-0022.....	\$	75,840.86
Total City Funds.....	\$	11,797,390.34



 City Treasurer

Deposits and Checks printed for Month (held in statement folder)				
2023-2024				
Month / Year	Deposit Total	Check Total	Grand Total	Comment
October 31, 2023	\$ 760,672.09	\$ (750,526.71)	\$ 10,145.38	BOKF \$159,474; LARM \$168,704
November 30, 2023	\$ 524,242.33	\$ (594,253.80)	\$ (70,011.47)	BOKF Fire Station; Ambulance Transfer
December 31, 2023	\$ 477,205.78	\$ (771,895.29)	\$ (294,689.51)	BOKF \$148,038 Street Bond; #411025 Trfr to 100027 = \$200,000; \$61,668 Ambulance Trfr to Ambulance Npait
January 31, 2024	\$ 622,156.50	\$ (446,768.68)	\$ 175,387.82	\$107,900 Trfr from Light ICS to #100027 RE: Electrical Bucket Truck Altec Capital: 1/2 Bucket Truck \$53,950
February 28, 2024	\$ 904,639.48	\$ (794,858.88)	\$ 109,780.60	Amer Tower \$14,153 (Deposit); Rutjens \$270,524 WD; Altec Cap \$53,950 WD
March 31, 2024				
April 30, 2024				
May 31, 2024				
June 30, 2024				
July 31, 2024				
August 31, 2024				
September 30, 2024				
Grand Total	\$ 3,288,916.18	\$ (3,358,303.36)	\$ (69,387.18)	
Deposit & Checks Monthly Total (Shared)				

City of St. Paul Regular Meeting
704 6th Street
St. Paul, NE 68873

Monday, March 4, 2024

A meeting of the Mayor and City Council of the City of St. Paul, Nebraska was held at City Hall in said City on Monday, March 4, 2024, at 6:30 p.m. Present were Mayor Mike Feeken and Council members Katie Kowalski, Chuck Schmid, Bill Peters & Brian Sack. Absent: None. Notice of the meeting was given in advance thereof by publication in the Phonograph Herald, a legal newspaper published in said City and County. Notice of the meeting was also posted in four (4) public places. Notice of this meeting was communicated in the advance notice. All proceeds thereafter shown were taken while the convened meeting was opened to the attendance of the public.

Mayor Feeken opened the meeting at 6:30 p.m. with the "Pledge of Allegiance" and thanking the public for attending and announcing that the City of St. Paul abides by the Open Meetings Act, which is posted on the west wall as required by Nebraska State Law §84-1407 through §84-1414. Mayor Feeken also stated that the City Council may vote to go into Closed Session on any agenda item as allowed by NE State Law §84-1410.

Mayor Feeken continued the meeting by announcing that individuals who have appropriate agenda items for City Council consideration should complete the "Request for Future Agenda Items" form located at the City Office. If the issue can be handled administratively without Council action, notification will be provided. If the item is scheduled for a meeting or study session, notification of the date will be given. Also, any City patrons that are requesting "Public Records" or have "Questions or Concerns" in regard to the City, they need to be submitted in writing to the City of St. Paul, so that it can be addressed appropriately. These forms are available online, in a file folder on the back wall of the Council Chambers or at the City Office.

There was an opportunity for individuals wishing to provide input on any of tonight's agenda items. Those individuals were asked to reserve time to speak; per Mayor Feeken, there will be a five (5) minute limit per person on speaking.

Gary Hinrichs, Certified Public Accountant with Dana F. Cole & Co. provided an audit presentation regarding the City of St. Paul's 2022-2023 Financial Statement for year ending September 30, 2023. Mr. Hinrichs announced that this was an unqualified audit, which represents a clean audit report; expenditures were within the approved budget limits. Mr. Hinrichs stated that the City Clerk and her staff do an exceptional job of maintaining City records. Council member Kowalski moved to approve the City of St. Paul's 2022-2023 Financial Statement as presented. Council member Schmid seconded the motion. Council members Kowalski, Schmid, Peters & Sack voted aye, nays none. Motion carried 4/0.

Chief of Police Dan Howard presented pictures of a nuisance property at 807 7th Street regarding four (4) unlicensed vehicles; one (1) camper; and a trailer full of trash. Council member Schmid moved to approve sending a "Notice of Hearing to be Determined Existence of Public Nuisance and to Abate in Whole or in Part" to be heard at the City Council meeting on Monday, March 18, 2024 at 6:30 p.m. regarding the property (formerly the old Parts Bin store). The property is more legally described as the N 71' of Lots Four (4), Five (5), Six (6) and Seven (7), Block Seventy-Eight (78), Original Town, Howard County, St. Paul, NE. Council member Sack seconded the motion. Council members Kowalski, Schmid, Peters & Sack voted aye, nays none. Motion carried 4/0.

Next on the agenda for consideration was St. Paul Fire Chief Becker paying for gas and oil out of his personal funds pertaining to Fire Truck #50. The truck is described as a 2015 Ford F-250 Super Duty XL 4x4 four (4) door. The City purchased the truck from Jacobs Ford for \$22,995, with the St. Paul Rural Fire Board absorbing half (1/2) of the cost of the vehicle. Fire Chief Becker has been utilizing the truck to directly respond to incidents without having to utilize precious response time for on scene care. This has allowed the Fire Dept. to get on scene quicker, provide scene resources and to relay valuable information back to dispatch and responding fire and rescue personnel. After Mayor Feeken provided background information regarding Fire Truck #50, comments and discussion ensued from Jerry Woodgate, Fire Chief Mike Becker, Isaiah Graham and Joel Bergman (previous Mayor). Council member Schmid moved to approve paying all fuel, oil and maintenance cost on Truck #50, with the St. Paul Rural Fire Board sharing the cost. Council member Sack seconded the motion. Council members Kowalski, Schmid, Peters & Sack voted aye, nays none. Motion carried 4/0. Mayor Feeken is requesting hours and receipts on all vehicles.

The City of St. Paul Department Heads provided updates per the perspective Departments:
Fire Department: (1) St. Paul Fire Chief Mike Becker was in attendance to provide updates on placing flatbeds on fire trucks; toolboxes were moved from the cab to the back of the truck, along with installing safety bars and cages constructed by Bernt Welding for safety purposes; placed safety seats in back of fire rigs, with the front rides removed; (2) Assistant Fire Chief Mark Wilson went with Alda, NE to assist with a rural grass fire; (3) Fire-fighter and EMS addresses need to be updated; (4) St. Paul Fire Dept. was awarded a SRS Volunteer Fire Dept. (VFD) Radio Grant in the amount of \$30,000. The grant is through the NE State Legislature for providing \$5 million in grants for the State of NE Volunteer Fire Departments. The grant is intended to supply volunteer fire departments with radio equipment to facilitate communication with state agencies; and (5) The St. Paul Rural Fire Board fully supports the St. Paul Fire Department.

Library: Kelli Helton, St. Paul Library Director was in attendance to provide updates on the budget; personnel; needs of the library (computers); challenges (changing technology); achievements (new community room flooring and painting); receiving the Silver Library Accreditation; goals (summer reading for all ages); grants for digitizing the St. Paul Yearbooks dating back to 1910; and repairing a library window on the west side of the building.

Police: Chief of Police Dan Howard was in attendance to provide updates regarding the Police Dept. Mayor Mike Feeken stated that some of the information that Chief of Police Howard provided is not to be released for public knowledge. Information that was provided in the

updates included: budget, the revenue and expenditure guideline, training and continuing education hours and Department challenges (understaffed).

Ambulance: St. Paul Rescue Squad Captain Nathan Meyer was in attendance to provide an update regarding the ambulance. The updates included: 2022-2023 emergency calls; currently, there are two (2) persons taking the EMT course; a new bumper guard will be installed on St. Paul Unit 99-1; six (6) EMT's will be attending the Nebraska Emergency Medical Services Association (NEMSA) Conference in Kearney, NE this coming weekend; five (5) nurses will be joining the St. Paul Rescue Squad to assist in EMT calls; and (6) the St. Paul Rescue Squad does not carry a County levy.

Brian Friedrichsen was in attendance to provide a recap of the Middle Loup Subdivision Black-Hills gas line. The recap includes: The NE State Fire Marshal sent a letter to Olsson's stating that there were no federal regulations limiting how close structures could be built to the gas line. The Fire Marshal did say that there were recommendations to keep homes/businesses/places of public gatherings 50 feet from the gas line and to keep garden sheds/outbuildings 25 feet from the gas line. These distances were both recommendations and not regulations. The only regulation that the City has is that there will not be any building on the gas easement. The estimate to replace the existing gas line is approximately \$135,000. This estimate did not include some of the gas work that will need to be done along 1st Street. Olsson's are still waiting to see what the number will be. Since the gas line work is included under Elsbury Constructions contract, they will be in charge of coordinating and paying the gas company to complete the work. As part of the bid package, Olsson's had already included a \$50,000 allotment for the gas line work. Olsson's are seeing numbers exceeding this amount from the gas company; Olsson's anticipate Elsbury asking for a change order for the correct amount as soon as his contracts are in place. Since the existing gas easement is described as a 40 foot wide easement centered on the gas line, when the line gets replaced and shifted to the east, the easement will follow to keep the main centered. Olsson's don't know what the exact distance is yet as it depends on how clear the corridor will be to install the line; Black-Hills thought it would shift five (5) to ten (10) feet east. According to City of St. Paul Zoning regulations, fences are not allowed to be placed over existing gas easements.

The Middle Loup Subdivision bids were received and opened on Wednesday, February 14, 2024, at 2:00 p.m. in the City Council Chambers. A total of four (4) bids were submitted and have been reviewed by Olsson's, Grand Island, NE. After the review of the bids, Olsson's recommendation that "Notice of Award" be given to the low bidder, Elsbury Construction LLC, in the contract amount of \$3,218,403.94. Council member Schmid moved to approve the Middle Loup Subdivision "Notice of Award" to be given to Elsbury Construction LLC, in the contract amount of \$3,218,403.94; this comes with the pending approval from the St. Paul Development Corp. (SPDC). Council member Peters seconded the motion. Council members Kowalski, Schmid, Peters & Sack voted aye, nays none. Motion carried 4/0.

The discussion regarding burying a drainage ditch pipe on the east side of 4th Street between Jay Street and Kendall Street pertaining to the new Fire Station was tabled. This is due to the City acquiring additional information regarding the construction of the project.

Council member Schmid moved to approve the Consent Agenda Items: (1) Council Minutes dated February 20, 2024 (regular); (2) March 4, 2024 Disbursements; and the (3) new St. Paul Rescue Squad Members: Emilee Almond; Chloe Carlson; Amy Kruse; Tarah Ondracek; and Paula Ryan. Council member Kowalski seconded the motion. Council members Kowalski, Schmid, Peters & Sack voted aye, nays none. Motion carried 4/0. Council member Peters had a few questions regarding the disbursements.

March 4, 2024 Disbursements

Gross Wages - February	96899.80
Altec Capital Services LLC (Electrical Bucket Truck) (truck)	53950.00
Amazon Capital Services (books)	556.20
Aquafix (lab)	400.00
Blue Cross Blue Shield of NE (insurance)	18420.28
Bomgaars (supplies)	2121.72
Bound Tree (supplies)	1956.36
Brehm's Drug (supplies)	11.50
Cengage Learning (books)	95.97
Central Comm. College (education)	768.00
Charter/Spectrum (service)	239.96
City Health Deductible Savings (insurance)	5445.00
City of St. Paul 125 Plan (insurance)	100.00
Core & Main (supplies)	4095.57
Crescent Electric (supplies)	377.66
Custer County Recycling (Service)	40.80
Dana F Cole & Co (accounting)	3880.00
Dutton Lainson (supplies)	65.02
Eakes Office Solutions (contract)	77.69
Elan Financial (meals, supplies, education, postage, lodging, parking)	4370.57
Filtercare of NE (service)	65.80
Hamilton Information Systems (agreement)	1568.50
Hastings Fiber Glass Products (supplies)	3649.08
Heartland Disposal (service)	84.00
Howard Co. Treasurer (Dispatch Fee)	3158.54
HTM Sales (supplies)	126.00
Jarecke Motors (service)	1490.57
John Deere Financial (supplies)	276.51
LARM (insurance)	2085.53
Madison Nat'l Life (insurance)	209.38
Meyer, Deb (education)	780.00
Midwest Service & Sales (supplies)	1220.75
Modern Marketing (supplies)	380.55
Mutual of Omaha (insurance)	144.00
NE State Patrol (licenses, fees)	357.00

NE Public Health Envir (lab)	31.00
PSSI Pest Services (service)	216.00
Pulse Finders (education)	900.00
Quick Med Claims (service)	840.69
Road Builders Machinery (supplies)	173.11
Robinson, Grady (meal)	16.58
State of NE Central Svcs (telephone)	38.34
Stepanek Plumbing (repair)	174.00
Woodgate, Lisa (education)	260.00

Non-General Disbursements

Keno: NE Dept of Revenue: 2024 City 50G Fee (fee)	100.00
Cem: Transfer from Cemetery Svgs to General for Work Comp Audit adjustment	2658.53
TIF: St. Paul Development Corp (Bed Head Coffee TIF) (TIF Proceeds)	121.38
TIF: S. Squared Enterprises: Prairie Falls Tif Proceeds (TIF Proceeds)	1032.70
TIF: City of St. Paul: MAD Development 1/2 Share: (TIF Proceeds)	1903.68
TIF: MAD Development: 1/2 Share of MAD Dev. (TIF Proceeds)	1903.67
Sales Tax: Street: Mtr Veh Tax: Dec. 2023 Proceeds (Mtr Veh Tax)	6464.77
Sales Tax: Fire Station: Dec. 2023 Proceeds (Fire Station)	23418.14
Sales Tax: 25% Infrastructure: Dec. 2023 Proceeds (25% Infrast)	11709.07
Keno: Dana F. Cole & Co: 22-23 Financial Statement Preparation (financial statement preparation)	700.00
Sales Tax: Transfer from M. Mkt 504420 to Chg 100027 (transfer)	100000.00
Fire Stn Construction: JEO Consulting (design/bid)	6318.75

Council member Kowalski moved to approve City Clerk Connie Jo Beck transferring \$300,000 from the City Utility Billing Heritage Bank account and depositing the funds into the City's Light, Water and Sewer Nebraska Class accounts. Council member Schmid seconded the motion. Council members Kowalski, Schmid, Peters & Sack voted aye, nays none. Motion carried 4/0.

Council member Sack moved to approve replacing the St. Paul Police Dept. "evidence door" with a door that will be constructed at the Smith Welding shop in the approximate cost of \$930. The door is being replaced, due to the overheating of the room. The cost of the door will be disbursed from the Building Insured Cash Sweep (ICS) fund. Council member Kowalski seconded the motion. Council member Kowalski, Schmid, Peters & Sack voted aye, nays none. Motion carried 4/0.

Chief of Police Dan Howard gave a brief update on the nuisance committee report. The Mayor and City Council members were in agreement to send the first letter to landlord and tenant pertaining to: 920 Indian Street (J. Rudolf); (2) 1108 7th Street (B. Lyons); and 224 5th Street (G. Thompson). Chief of Police Howard also stated that the Honda vehicle has been removed from the Eiberger home at 304 8th Street.

Council member Peters had questioned why the cars haven't been removed from the Padrnos property, along with the rest of the trash. Chief of Police Howard will be contacting the proper persons regarding the cleanup and removal of the cars.

Utilities Superintendent Helzer updates included: (1) the new Electrical Bucket Truck has arrived; Electrical Commissioner James Summers will be placing tools in the truck according to the budget; and (2) a vehicle list is being prepared to sell City Trucks on Big Iron.

Chief of Police Howard stated that this was an expensive month with vehicle repairs in the approximate amount of \$2,500, along with purchasing tires. Chief of Police Howard is in the process of applying for a grant to acquire thermal imaging devices; the grant is \$1000.

Mayor Feeken updates:

(1) St. Paul Municipal Code updates are still in progress Chapter 1, Articles 1 - 11; Deputy Clerk Berthelsen and Payroll Clerk Kristie Fousek are making the changes; (2) The City received the Energy Research and Development Fund Grant (ERDF) in the amount of \$1,405.78; Electrical Commissioner James Summers is requesting to utilize it for Electrical engineering fees regarding the Middle Loup Subdivision; (3) The final payment regarding the Electrical Bucket Truck was delivered to Altec Capital Services in the amount of \$53,950; the Electrical Bucket Truck is insured for \$120,000, due to material and equipment on the truck; (4) the Cybersecurity Grant has been submitted to the NE Cybersecurity Board for review and scoring of the applications. Once they are scored, the state will send an email stating that the grant has been approved at the state level, and then it will be sent to FEMA and CISA for approval. Jennifer Dennis with Hamilton will be the City of St. Paul's new contact person (2-28-24); (5) EPIC - Eliminate Property, Income and Corporate tax (See LB 79) bill is attached to SparqData for reading; and the Howard County Tire Amnesty will be held on April 6, 2024 at the Howard County Fairgrounds.

Mayor Feeken adjourned the City Council meeting at 8:24 p.m.

Date

Mike Feeken, Mayor

Connie Jo Beck, City Clerk/Deputy Treasurer

St. Paul Planning Commission
March 11, 2024
Meeting Minutes

A meeting of the St. Paul Planning Commission was convened in open and public session on the 11th day of March, 2024 in the Council Chambers at the City office, 704 6th Street, St. Paul, Nebraska.

Acting Chairman Scheer called the meeting to order at 12:10 p.m. with a statement regarding the Open Meetings Act; which is posted on the west wall of the City Council chambers. The notice of the meeting was posted in four (4) public places. The agenda was sent to the Commission members prior to the meeting, and was posted in four (4) public places. Commission members present: Connie Becker, Arvilla Jacobs, and Dan Scheer. Commission member absent: None. Tyler Solko and Tony Walch. Also present Zoning Administrator Matt Helzer, Laura Berthelsen (minutes).

Commission member Becker moved to approve the February 7, 2024 meeting minutes. Commission member Jacobs seconded the motion. Commission members Becker, Jacobs, and Scheer voted aye, nays none. Motion carried 3/0.

Commission member Jacobs moved to ratify the administrative approve the following zoning permits:

- (a) 2024-2 Tristin Kincheloe – fence at 310 6th Street
- (b) 2024-4 Jerod & Stephanie Fling – fence at 915 Davis Street

Commission member Becker seconded the motion. Commission members Becker, Jacobs, and Scheer voted aye, nays none. Motion carried 3/0.

Commission member Becker moved to approve the following zoning permits:

- (a) 2024-3 River Valley Auto – commercial building at 964 Highway 92
- (b) 2024-5 Brandon Rasmussen – house at 1617 Jay Street

Commission member Jacobs seconded the motion. Commission members Becker, Jacobs, and Scheer voted aye, nays none. Motion carried 3/0.

The meeting was adjourned at 12:23 p.m.

Sincerely,

Matthew T. Helzer
Zoning Administrator

Dan Scheer
Acting Chairman

Laura Berthelsen
Planning Secretary

Zoning Classification R-3 Value \$ 2595⁰⁰ PERMIT NUMBER 2024-2
FEE \$25.00 CASH CHECK# CC paid 2/27/24

APPLICATION FOR A FENCE PERMIT

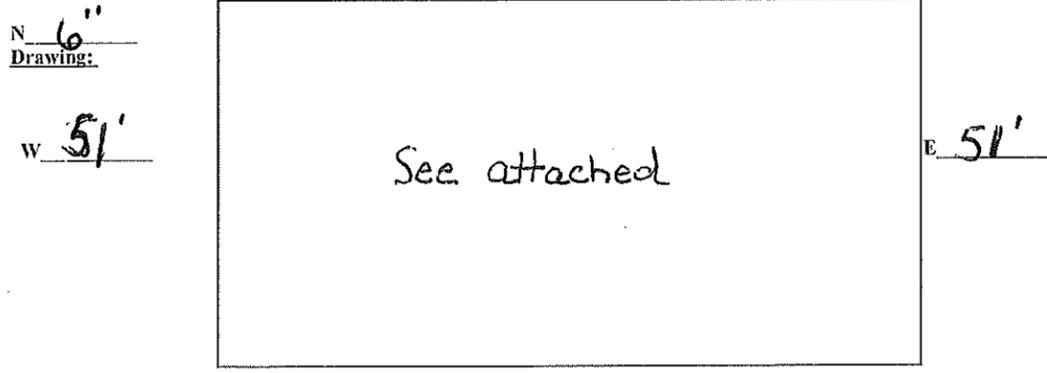
St. Paul, Nebraska: DIRECTIONS: Fill in the following information as accurately and completely as possible. This application is not acceptable unless all required information is furnished.

Property Owner Tristin Kincheloe Contractor American Fence
Address 310 6th Street Address 1605 N Shady Bend BI, NE 68801
City, State, Zip St. Paul, NE 68873 Phone Number 308-395-0793
Phone Number 308-379-3031 Cell Phone 308-249-7856
Complete Legal Description of the Property Lot 6 Block 101 CT St. Paul
Address of Fence Site 310 6th Street Size & Kind 5' Chain links
Replacement or New Fence: New fence
Approximately when will the construction: Start March 1, 2024 Finish March 2, 2024
To Whom Should the Improvements be assessed? Tristin Kincheloe
Contact Utility Superintendent at (308) 754-4483 regarding Inspection Matt Helzer Date of visit 2-12-24
(Matt Helzer's signature)

Recommendations needed before approval: _____

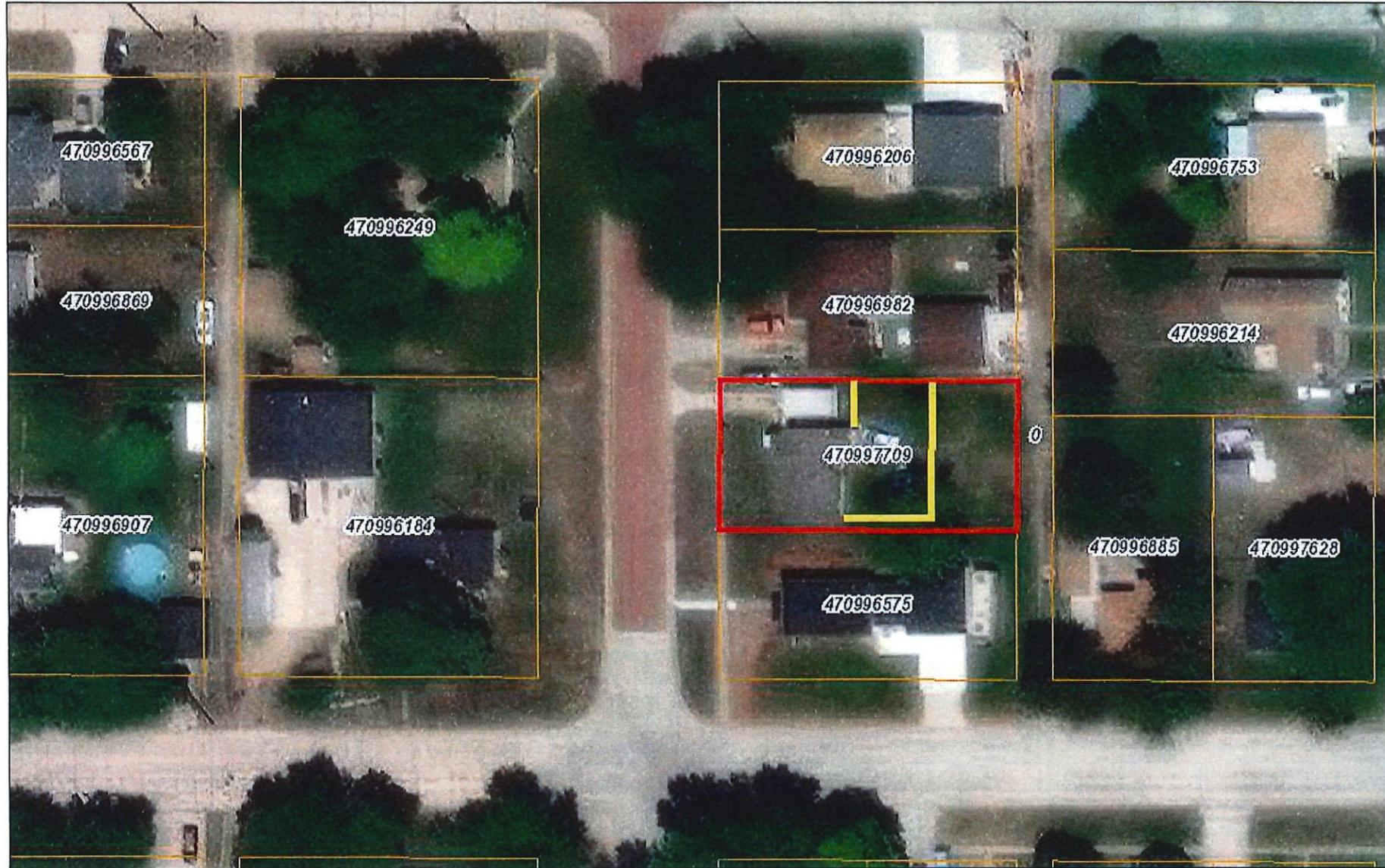
MUST CALL DIGGERS HOTLINE @ 811 BEFORE DIGGING – CONSTRUCTION ON UTILITY EASEMENTS IS NOT PERMITTED. The above information is, to the best of my knowledge, true and accurate. It is understood and agreed that any error, misstatement or misrepresentation of fact, either with or without intention on my part, such as might, if known, cause a refusal of this application, or any alteration or change in plans made without the approval of the Zoning Administrator subsequent to the issuance of the Permit, shall constitute sufficient grounds for the revocation of such permit. This permit is valid for one (1) year from approval date. The signature also indicates permission granted to the Zoning Administrator to inspect the site in which this permit is granted at any time until completed.

Signature of Applicant [Signature] Date 02-12-2024



For Office Use Only: Permit is Approved Denied s 6' _____ Date _____
Zoning Administrator

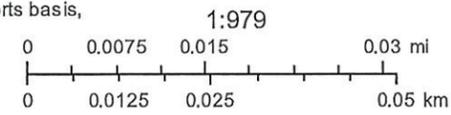
Reasons for Denial: _____



February 12, 2024

DISCLAIMER: This map is not intended for conveyances, nor is it a legal survey. The information is presented on a best-efforts basis, and should not be relied upon for making financial, survey, legal or other commitments.

□ Parcels



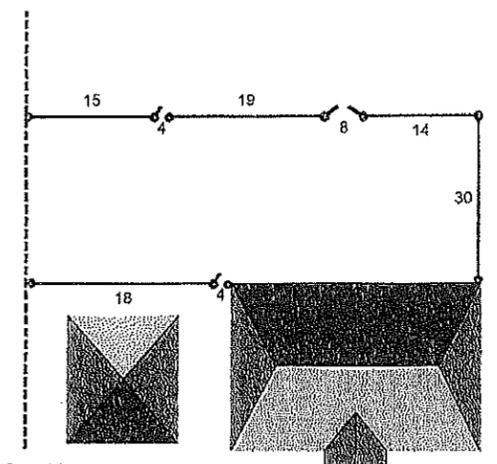
2024-2

AMERICAN FENCE COMPANY

Sioux City Rochester Kansas City Omaha Lincoln Grand Island Sioux Falls Des Moines Wichita Iowa City
 ADDRESS 1605 N. Shady Bend Rd., Grand Island, NE 68802 SALESMAN Patrick Donovan
 PH: (308) 395-0793

DATE 2/7/2024 PHONE: 308-379-7317 CELL _____
 CUSTOMER Gale Kincheloe WORK _____
 PROJECT LOCATION: 310 6th St
 CITY St Paul STATE NE ZIP 68873
 BILLING ADDRESS: _____ AFC JOB# _____
 CITY _____ STATE _____ ZIP _____
 EMAIL KINCHELOEGALE@GMAIL.COM

STYLE DRAWING	HEIGHT	LENGTH
5' Galv	5.0'	96.0'
PROJECT TOTAL		



GATE INFORMATION

4' wide x 5' tall	<input checked="" type="checkbox"/> SS	<input type="checkbox"/> DD
4' wide x 5' tall	<input checked="" type="checkbox"/> SS	<input type="checkbox"/> DD
8' wide x 5' tall	<input type="checkbox"/> SS	<input checked="" type="checkbox"/> DD
	<input type="checkbox"/> SS	<input type="checkbox"/> DD

Fence Price \$2,595.99

OPTIONAL ITEMS BELOW ARE NOT INCLUDED IN FENCE PRICE

ESTIMATED SURVEY	\$0.00
SPRINKLER INS.	\$200.00
DIRT HAUL	\$162.00
OPTIONAL ITEMS SUB TOTAL	\$0.00

OFFICE USE ONLY	DATE
	TYPE
	AMOUNT

DESCRIPTION OF GALE KINCHELOE PROJECT QUOTE IS GOOD FOR 14 DAYS

Fence 1: Install 96' of 5' Galvanized Chain Link with bottom tension wire and two 4' wide x 5' tall single swing gates and one 8' wide x 5' tall double drive gate. Posts are set in wet cement.

On the back and or second page of this proposal are very important terms and conditions that we are requesting that you review. If you do not have these terms and conditions; do not execute and contact your sales rep. Upon your review, if you have any questions please contact us. After review and agreement, please sign below indicating that you have fully read, understood and agree with the terms and conditions stated above. We impose a surcharge of 3% on all credit cards that is not greater than our cost of acceptance.

AFC REPRESENTATIVE:	DATE	CUSTOMER SIGNATURE:	DATE
Patrick Donovan	2/7/2024		2/7/2024

Please provide Billing Email Address: KINCHELOEGALE@GMAIL.COM

Zoning Classification R-2 Value \$ 7500

PERMIT NUMBER 2024-4
FEE \$25.00 CASH CHECK# 4086 CC
pd 3/6/24

APPLICATION FOR A FENCE PERMIT

St. Paul, Nebraska: DIRECTIONS: Fill in the following information as accurately and completely as possible. This application is not acceptable unless all required information is furnished.

Property Owner Jerod + Stephanie Fling Contractor Schumacher Bros Fencing

Address 915 Davis Address 3107 W Hwy 30 Kearney, NE 68845

City, State, Zip St. Paul, NE 68873 Phone Number 308-224-7647

Phone Number 402-760-2548 Cell Phone _____

Complete Legal Description of the Property E 1/3 of Lot 2 Block 5 Darnalls Add St. Paul

Address of Fence Site 915 Davis St Is Fence new or replacing a current fence? New

Size and Type (material) of Fence: 6' Vinyl privacy

Approximately when will the construction: Start Mid March Finish approx. 1 week

Contact Utility Superintendent at (308) 754-4483 regarding Inspection Matt Helzer Date of visit 3-7-24
(Matt Helzer's signature)

Recommendations needed before approval: _____

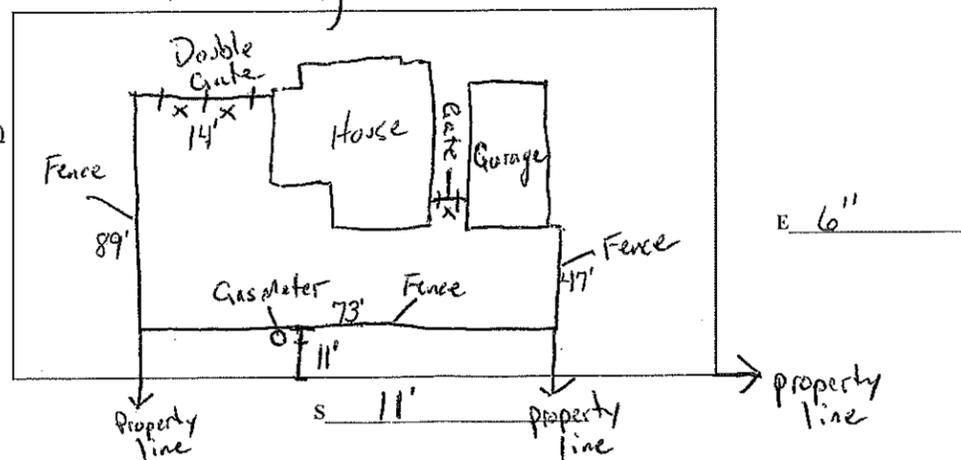
MUST CALL DIGGERS HOTLINE @ 811 BEFORE DIGGING – CONSTRUCTION ON UTILITY EASEMENTS IS NOT PERMITTED. The above information is, to the best of my knowledge, true and accurate. It is understood and agreed that any error, misstatement or misrepresentation of fact, either with or without intention on my part, such as might, if known, cause a refusal of this application, or any alteration or change in plans made without the approval of the Zoning Administrator subsequent to the issuance of the Permit, shall constitute sufficient grounds for the revocation of such permit. This permit is valid for one (1) year from approval date. The signature also indicates permission granted to the Zoning Administrator to inspect the site in which this permit is granted at any time until completed.

Signature of Applicant [Signature] Date 3-6-24

N 32'

Drawing showing placement of Proposed fence on the property (include location of house, sheds, etc.)

W 6''



For Office Use Only:
Permit is Approved Denied Zoning Administrator _____ Date _____

Reasons for Denial: _____

Davis Street

2024-4

OFFICIAL SURVEY F

**Legal Description: East One-1
Lot Two (2), Block Five (5), Dar
to St. Paul, Howard County**

Survey Record Repository
RECEIVED

\$2.50

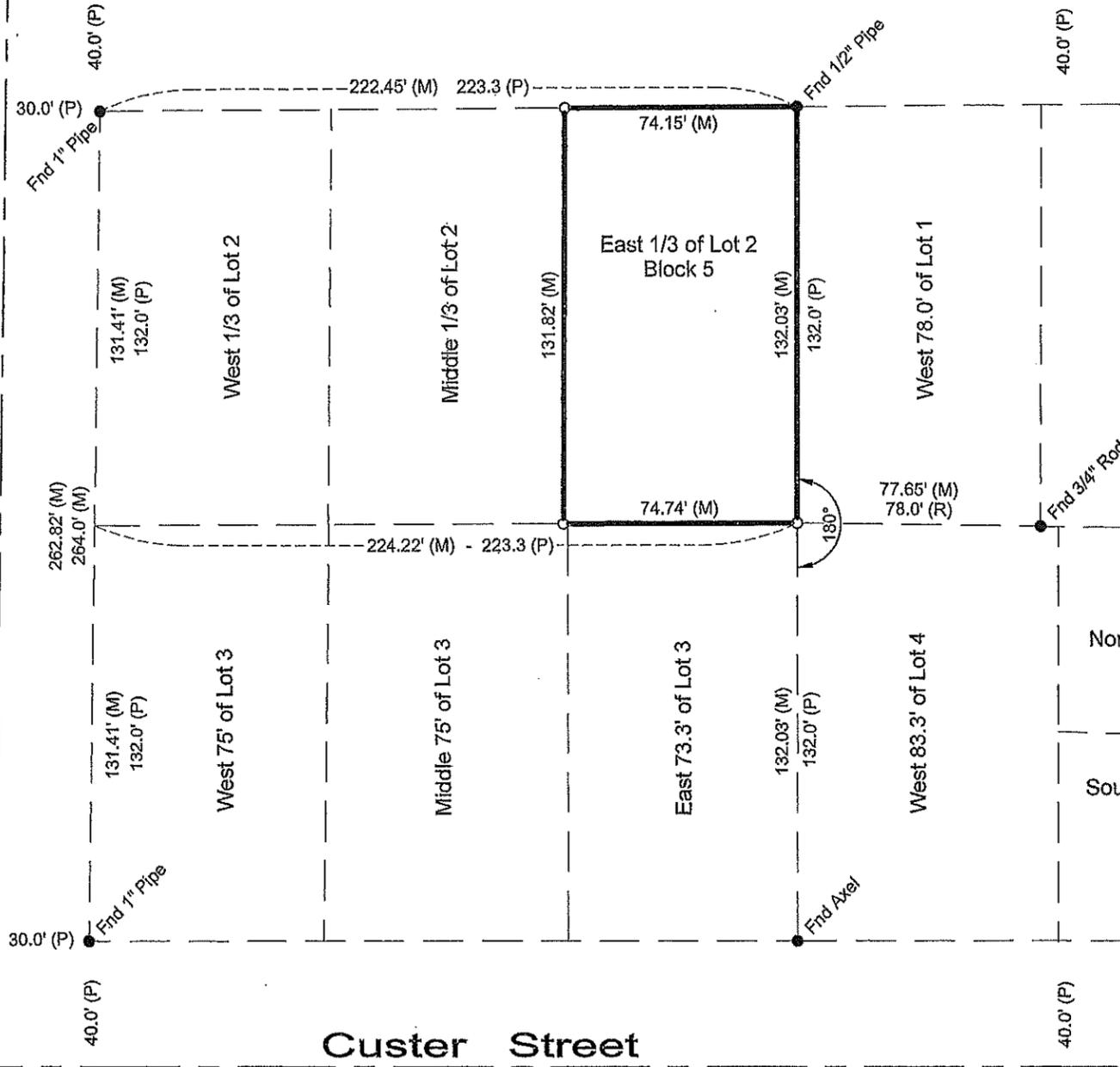
APR 17 2013

HOWARD
1117-230

SURVEYOR'S I

This survey w
report. Property
easements, agr
documents whic

Grant Street



North 66' of the East 140' Lot 4

South Half of the East 140' Lot 4

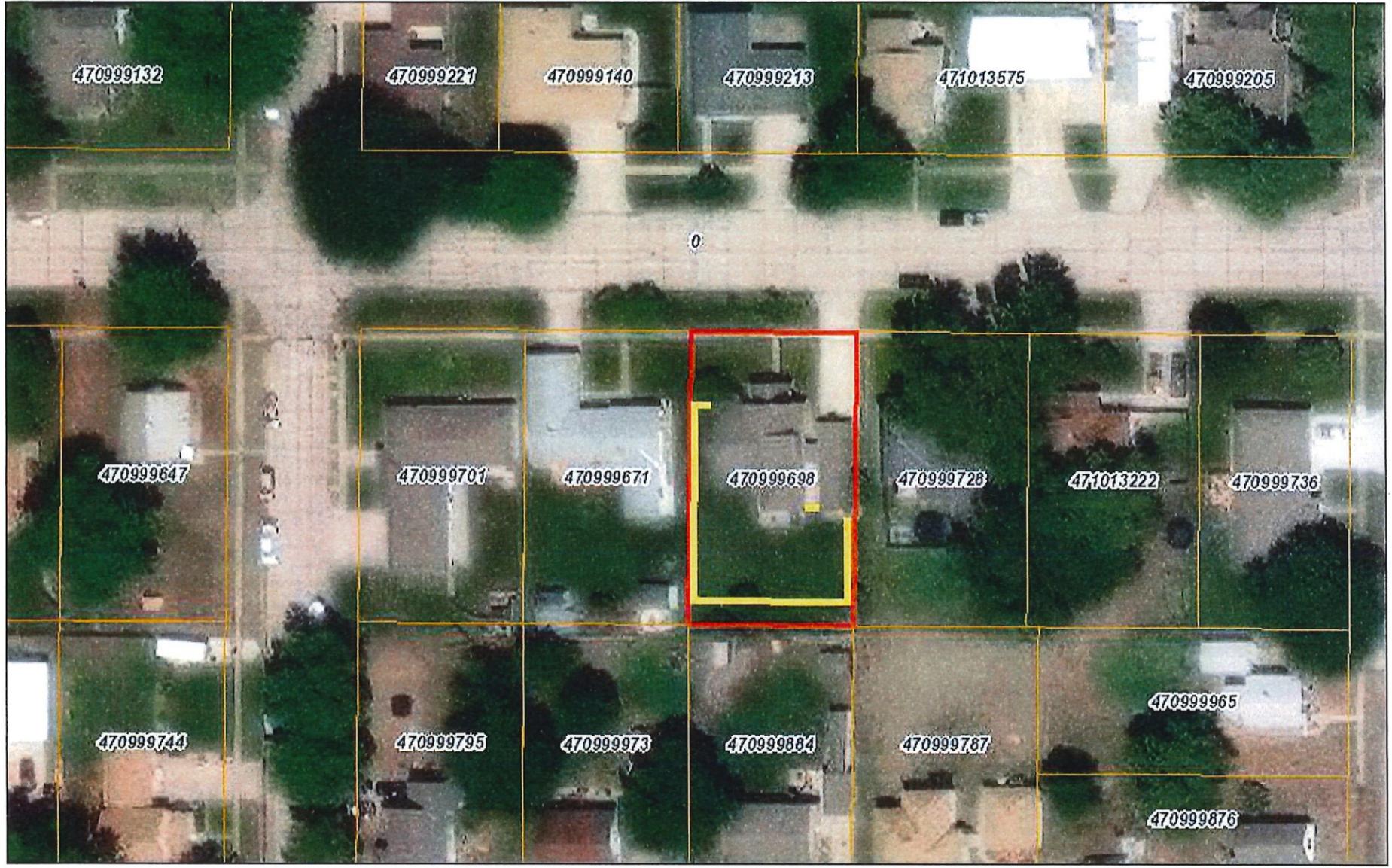
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I hereby c
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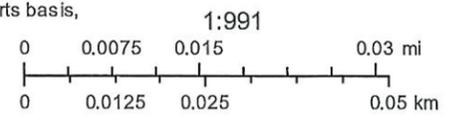
Jamie L
License
Pages c



March 7, 2024

DISCLAIMER: This map is not intended for conveyances, nor is it a legal survey. The information is presented on a best-efforts basis, and should not be relied upon for making financial, survey, legal or other commitments.

□ Parcels



Zoning Classification HC Value \$ 130,000 PERMIT NUMBER 2024-3
 FEE \$100.00 CASH _____ CHECK# 1161
paid 2/14/24

APPLICATION FOR A COMMERCIAL ZONING PERMIT

St. Paul, Nebraska: DIRECTIONS: Fill in the following information as accurately and completely as possible. This application is not acceptable unless all requirement information is furnished.

Property Owner River Valley Auto LLC Contractor Star Key Construction
 Address 4264 Arizona Ave. Address 121 Jansen Circle St. Paul Ne. 68873
 City, State, Zip Grand Island NE, 68803 Phone Number 308-750-7968
 Phone Number 308-227-4238 Cell Phone 308-750-7968

Complete Legal Description of the Property Lot 1, Pauls North Subdivision, a part of the SW 1/4 of section 34, Township 15 North, Range 10 West of the 6th P.M., Howard County, Ne.

Address of Construction Site 964 Hwy 92, ST. Paul Ne. 68873
 (If none, one must be registered with City of St. Paul or the 911 center.) Is property in the Flood Plain? No See attached LOMA

Proposed Structure & Use Auto Sales/Storage Dimension of Structure 40'x80'
Pole Sign, banners, fence
 Plans Submitted to Fire Marshall Office YES

Distance from Front property line 110' Distance from Rear Property Line 96'
 Distance from Side Property Line 100' Distance from Second Side Property Line 644'

Is there a utility easement on either the back or side property? No If so attach a copy of neighbor approval.
 Approximately when will construction Start 3/1/2024 Finish 3/1/2025

Contact Utility Superintendent at (308) 754-4483 regarding Set-Back Inspection. Matt Helzer Date of visit 2-14-24
 (Matt Helzer's signature)

Recommendations needed before approval: _____

(One Mile radius outside city limits) If the structure is a residence on less than 10 acres indicate the date this property was platted as a separate parcel _____ and the Name of the Lot Split or Subdivision _____

For Office Use Only:

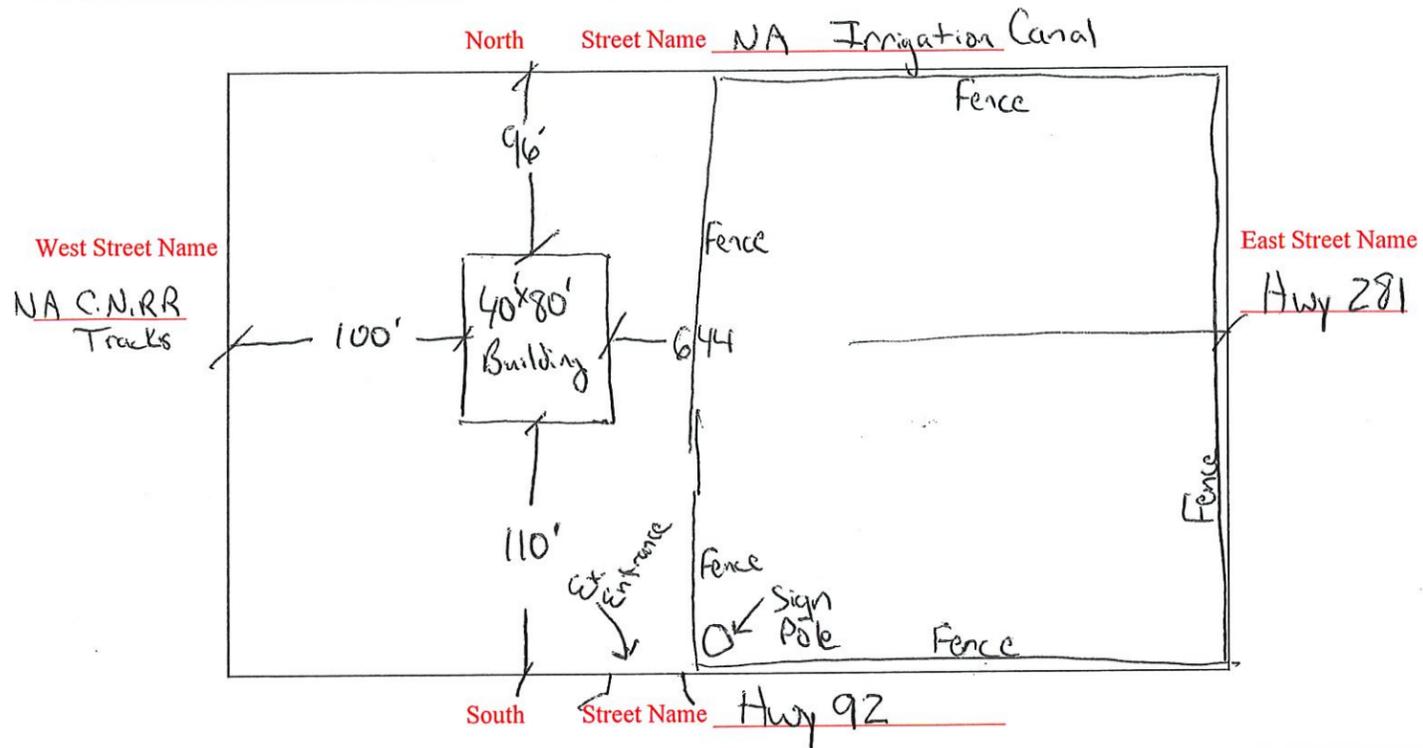
Is the proposed use permitted within this zoning district? YES NO _____

Does the proposed use meet all the required setback distances? YES NO _____

Is a conditional use required for the proposed use? YES _____ NO

Has a Conditional Use Permit been issued for this proposed use? YES _____ NO
 If yes, when does it expire? _____

Site Plan Sketch:



Indicate, by drawing, the shape and dimensions of the land, shape and dimensions of all existing and proposed building and structures and the distances from the proposed building and structures to all lot lines (from road frontages, side and rear lot lines). Show the location of roads fronting the property. **MUST CALL DIGGERS HOTLINE @ 811 BEFORE DIGGING - CONSTRUCTION ON UTILITY EASEMENTS IS NOT PERMITTED. NEW CONSTRUCTION MUST CALL Electrical Inspector, Kim Farnstrom 308-728-7612**

The above information is, to the best of my knowledge, true and accurate. It is understood and agreed that any error, misstatement or misrepresentation of fact, either with or without intention on my part, such as might, if known, cause a refusal of this application, or any alteration or change in plans made without the approval of the Zoning Administrator subsequent to the issuance of the Permit, shall constitute sufficient grounds for the revocation of such permit. This permit is valid for one (1) year from approval date and work must be started within the first 6 months.

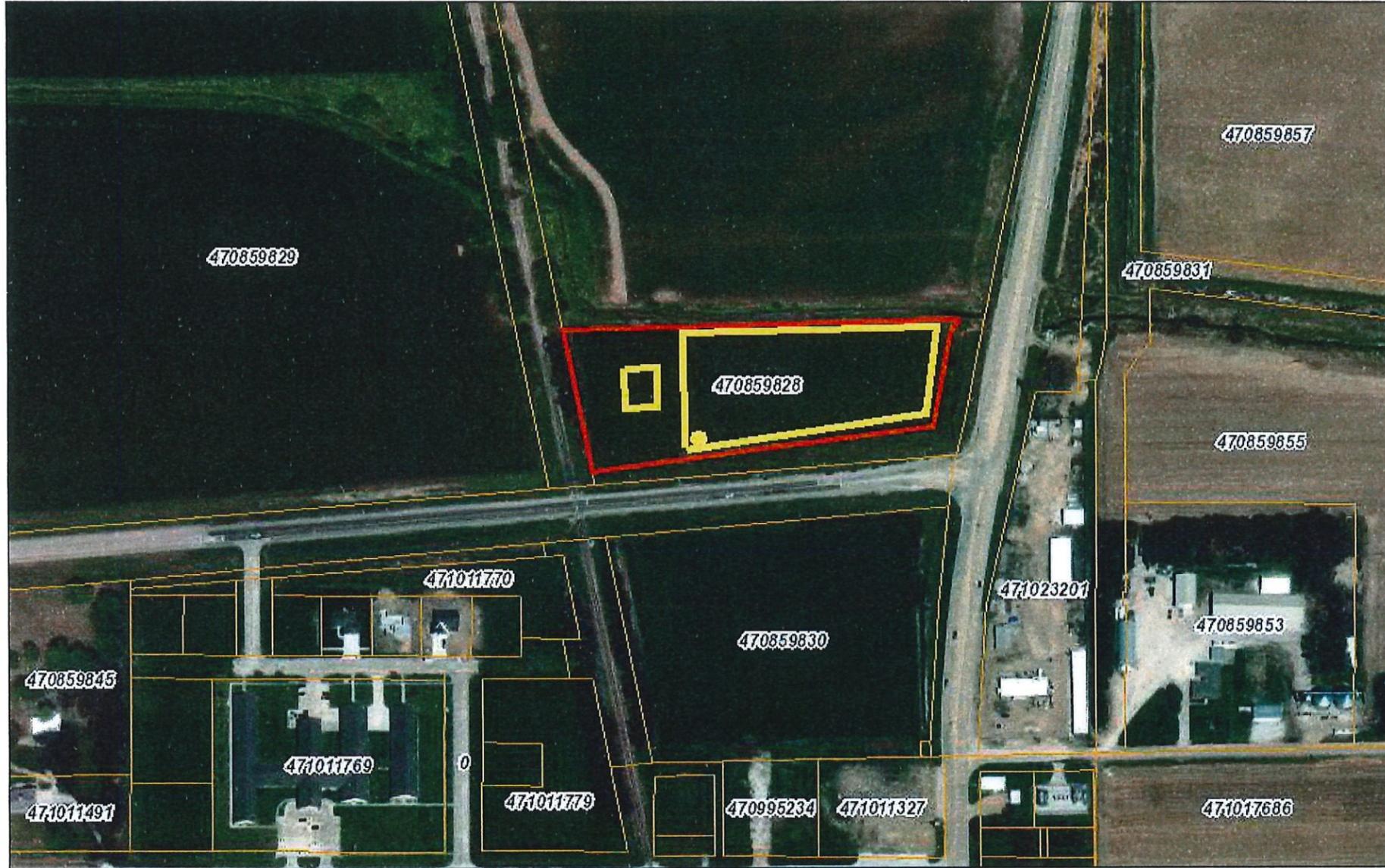
The signature also indicates permission granted to the Zoning Administrator to inspect the construction site in which this permit is granted at any time until construction is completed and a Certificate of Occupancy is issued.

Signature of Applicant Chad D River Valley Auto Date 2/13/24

For Office Use Only:

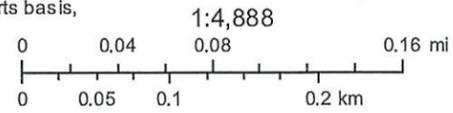
Permit is Approved _____ Denied _____ Date _____
 Zoning Administrator Signature _____

Reasons for Denial: _____



February 15, 2024 **DISCLAIMER:** This map is not intended for conveyances, nor is it a legal survey. The information is presented on a best-efforts basis, and should not be relied upon for making financial, survey, legal or other commitments.

 Parcels





Federal Emergency Management Agency

Washington, D.C. 20472

2024-3

LETTER OF MAP AMENDMENT DETERMINATION DOCUMENT (REMOVAL)

COMMUNITY AND MAP PANEL INFORMATION

LEGAL PROPERTY DESCRIPTION

COMMUNITY	CITY OF ST. PAUL, HOWARD COUNTY, NEBRASKA	A portion of Lot 1, Paul's North Subdivision, as shown on the Plat recorded in Records Book 23, Pages 2392 and 2393, in the Office of the County Clerk, Howard County, Nebraska The portion of property is more particularly described by the following metes and bounds: Commencing at the Southwest Corner of said Lot 1; thence North 11°32'15" West a distance of 10.03 feet to the POINT OF BEGINNING; thence North 11°32'15" West a
	COMMUNITY NO: 310119	
AFFECTED MAP PANEL	NUMBER: 31093C0255D	APPROXIMATE LATITUDE & LONGITUDE OF PROPERTY: 41.222956, -98.452983 SOURCE OF LAT & LONG: GPS DATUM: NAD 83
	DATE: 7/7/2014	
FLOODING SOURCE: MIDDLE LOUP RIVER		

DETERMINATION

LOT	BLOCK/SECTION	SUBDIVISION	STREET	OUTCOME WHAT IS REMOVED FROM THE SFHA	FLOOD ZONE	1% ANNUAL CHANCE FLOOD ELEVATION (NAVD 88)	LOWEST ADJACENT GRADE ELEVATION (NAVD 88)	LOWEST LOT ELEVATION (NAVD 88)
1	--	Paul's North	964 Highway 92	Portion of Property	X (unshaded)	--	--	1792.8 feet

Special Flood Hazard Area (SFHA) - The SFHA is an area that would be inundated by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood).

ADDITIONAL CONSIDERATIONS (Please refer to the appropriate section on Attachment 1 for the additional considerations listed below.)

LEGAL PROPERTY DESCRIPTION
PORTIONS REMAIN IN THE SFHA/FLOODWAY
ZONE A
eLOMA DETERMINATION

This document provides the Federal Emergency Management Agency's determination regarding a request for a Letter of Map Amendment for the property described above. Using the information submitted and the effective National Flood Insurance Program (NFIP) map, we have determined that the described portion(s) of the property(ies) is/are not located in the SFHA, an area inundated by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood). This document amends the effective NFIP map to remove the subject property from the SFHA located on the effective NFIP map; therefore, the Federal mandatory flood insurance requirement does not apply. However, the lender has the option to continue the flood insurance requirement to protect its financial risk on the loan.

This determination is based on the flood data presently available. If there are any errors on this eLOMA Determination Letter that cause FEMA to rescind and/or nullify the determination the property owner should consult the Licensed Professional that submitted this eLOMA. The enclosed documents provide additional information regarding this determination. If you have any questions about this document, please contact the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, Attn: North Wind Resource Partners (NWRP) eLOMA Coordinator, 3601 Eisenhower Avenue, Alexandria, VA 22304-4605, Fax: 703-751-7415.


 Patrick "Rick" F. Sacbibit, P.E., Branch Chief
 Engineering Services Branch
 Federal Insurance and Mitigation Administration

eLOMA



Federal Emergency Management Agency

Washington, D.C. 20472

2024-3

LETTER OF MAP AMENDMENT DETERMINATION DOCUMENT (REMOVAL) ATTACHMENT 1 (ADDITIONAL CONSIDERATIONS)

LEGAL PROPERTY DESCRIPTION (CONTINUED)

distance of 302.01 feet; thence North 89°29'27" East a distance of 856.75 feet; thence South 10°01'03" West a distance of 216.33 feet; thence South 83°11'54" West a distance of 764.06 feet to the POINT OF BEGINNING.

This attachment provides additional information regarding this request. If you have any questions about this attachment, please contact the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, Attn: North Wind Resource Partners (NWRP) eLOMA Coordinator, NWRP eLOMA Coordinator, 3601 Eisenhower Ave., Alexandria, VA 22304-6439, Fax: 703-751-7415

Patrick "Rick" F. Sacbibit, P.E., Branch Chief
Engineering Services Branch
Federal Insurance and Mitigation Administration

eLOMA



Federal Emergency Management Agency

Washington, D.C. 20472

2024-3

LETTER OF MAP AMENDMENT DETERMINATION DOCUMENT (REMOVAL)

ATTACHMENT 1 (ADDITIONAL CONSIDERATIONS)

Portion of Property Removal:

The following considerations may or may not apply to the determination for your Portion of Property:

ZONE A - The National Flood Insurance Program map affecting this property depicts a Special Flood Hazard Area that was determined using the best flood hazard data available to FEMA, but without performing a detailed engineering analysis. The flood elevation used to make this determination is based on approximate methods and has not been formalized through the standard process for establishing base flood elevations published in the Flood Insurance Study. This flood elevation is subject to change.

PORTIONS OF THE PROPERTY REMAIN IN THE SFHA and/or FLOODWAY - Portions of this property, but not the subject of the Determination document, may remain in the Special Flood Hazard Area (SFHA) and/or the regulatory floodway for the flooding source indicated on the Determination Document. The NFIP regulatory floodway is the area that must remain unobstructed in order to prevent unacceptable increases in base flood elevations. Therefore, no construction may take place in an NFIP regulatory floodway that may cause an increase in the base flood elevation. Therefore, any future construction or substantial improvement on the property remains subject to Federal, State/Commonwealth, and local regulations for floodplain management. The NFIP regulatory floodway is provided to the community as a tool to regulate floodplain development. Modifications to the NFIP regulatory floodway must be accepted by both the Federal Emergency Management Agency (FEMA) and the community involved. Appropriate community actions are defined in Paragraph 60.3(d) of the NFIP regulations. Any proposed revision to the NFIP regulatory floodway must be submitted to FEMA by community officials. The community should contact either the Regional Director (for those communities in Regions I-IV, and VI-X), or the Regional Engineer (for those communities in Region V) for guidance on the data which must be submitted for a revision to the NFIP regulatory floodway. Contact information for each regional office can be obtained by calling the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or from our web site at <https://www.fema.gov/regional-contact-information>

STUDY UNDERWAY - This determination is based on the flood data presently available. However, the Federal Emergency Management Agency may be currently revising the National Flood Insurance Program (NFIP) map for the community. New flood data could be generated that may affect this property. If a new NFIP map is issued it will supersede this determination. The Federal requirement for the purchase of flood insurance will then be based on the newly revised NFIP map.

EXTRATERRITORIAL JURISDICTION - The subject of the determination is shown on the National Flood Insurance Program map and may be located in an Extraterritorial Jurisdiction area for the community indicated on the Determination Document.

This attachment provides additional information regarding this request. If you have any questions about this attachment, please contact the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, Attn: North Wind Resource Partners (NWRP) eLOMA Coordinator, NWRP eLOMA Coordinator, 3601 Eisenhower Ave., Alexandria, VA 22304-6439, Fax: 703-751-7415

Patrick "Rick" F. Sacbibit, P.E., Branch Chief
Engineering Services Branch
Federal Insurance and Mitigation Administration

eLOMA



Federal Emergency Management Agency

Washington, D.C. 20472

2024-3

LETTER OF MAP AMENDMENT DETERMINATION DOCUMENT (REMOVAL)

ATTACHMENT 1 (ADDITIONAL CONSIDERATIONS)

GREAT LAKES - The Federal Emergency Management Agency (FEMA) has based this determination on elevation data which is published in the current Flood Insurance Study for the community. However, the elevations established in the U.S. Army Corps of Engineers (USACE) reports on the Great Lakes are the best available data known to us. If in the future there are any subsequent map revisions to the National Flood Insurance Program map and the USACE reports remain the best available data known, FEMA will use those elevations for any such revisions. Further, be advised that the elevations on the Flood Insurance Rate Map (FIRM) may only reflect the Stillwater elevation for the lake and may not account for the effects of wind driven waves or wave run-up. On-site conditions such as wind speed, wind direction, fetch distance, water depth and the slope of the beach or bluff may result in significant increases to the base flood elevation. Therefore, it is strongly recommended that the requestor be aware of these circumstances and, if warranted, evaluate the effects of wind driven waves along the shoreline of the property.

STATE AND LOCAL CONSIDERATIONS - Please note that this document does not override or supersede any State or local procedural or substantive provisions which may apply to floodplain management requirements associated with amendments to State or local floodplain zoning ordinances, maps, or State or local procedures adopted under the National Flood Insurance Program.

COASTAL BARRIER RESOURCE SYSTEM - Based upon information provided to FEMA by the U.S. Fish and Wildlife Service (USFWS), the subject property may be within a System Unit or an Otherwise Protected Area (OPA) of the John H. Chafee Coastal Barrier Resource System (CBRS). Federal flood insurance is generally not available within the CBRS for new construction or substantial improvements occurring after the flood insurance prohibition date (which is generally tied to the date that the area was first established as either a System Unit or OPA, but may differ in some cases). Other federal expenditures and financial assistance (including certain types of disaster assistance) are also restricted within System Units of the CBRS. The USFWS is the authoritative source for information regarding the CBRS. Additional information, including the CBRS Mapper, can be found on the USFWS website at: <https://www.fws.gov/cbra>.

This attachment provides additional information regarding this request. If you have any questions about this attachment, please contact the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, Attn: North Wind Resource Partners (NWRP) eLOMA Coordinator, NWRP eLOMA Coordinator, 3601 Eisenhower Ave., Alexandria, VA 22304-6439, Fax: 703-751-7415

Patrick "Rick" F. Sacbibit, P.E., Branch Chief
Engineering Services Branch
Federal Insurance and Mitigation Administration

eLOMA



Federal Emergency Management Agency

Washington, D.C. 20472

2024-3

ADDITIONAL INFORMATION REGARDING LETTERS OF MAP AMENDMENT

When making determinations on requests for Letters of Map Amendment (LOMAs), the Department of Homeland Security's Federal Emergency Management Agency (FEMA) bases its determination on the flood hazard information available at the time of the determination. Requesters should be aware that flood conditions may change or new information may be generated that would supersede FEMA's determination. In such cases, the community will be informed by letter.

Requesters also should be aware that removal of a property (parcel of land or structure) from the Special Flood Hazard Area (SFHA) means FEMA has determined the property is not subject to inundation by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood). This does not mean the property is not subject to other flood hazards. The property could be inundated by a flood with a magnitude greater than the base flood or by localized flooding not shown on the effective National Flood Insurance Program (NFIP) map.

The effect of a LOMA is it removes the Federal requirement for the lender to require flood insurance coverage for the property described. The LOMA *is not* a waiver of the condition that the property owner maintain flood insurance coverage for the property. *Only* the lender can waive the flood insurance purchase requirement because the lender imposed the requirement. *The property owner must request and receive a written waiver from the lender before canceling the policy.* The lender may determine, on its own as a business decision that it wishes to continue the flood insurance requirement to protect its financial risk on the loan.

The LOMA provides FEMA's comment on the mandatory flood insurance requirements of the NFIP as they apply to a particular property. A LOMA is not a building permit, nor should it be construed as such. Any development, new construction, or substantial improvement of a property impacted by a LOMA must comply with all applicable State and local criteria and other Federal criteria.

If a lender releases a property owner from the flood insurance requirement, and the property owner decides to cancel the policy and seek a refund, the NFIP will refund the premium paid for the current policy year, provided that no claim is pending or has been paid on the policy during the current policy year. The property owner must provide a written waiver of the insurance requirement from the lender to the property insurance agent or company servicing his or her policy. The agent or company will then process the refund request.

Even though structures are not located in an SFHA, as mentioned above, they could be flooded by a flooding event with a greater magnitude than the base flood. In fact, more than 25 percent of all claims paid by the NFIP are for policies for structures located outside the SFHA in Zones B, C, X (shaded), or X (unshaded). More than one-fourth of all policies purchased under the NFIP protect structures located in these zones. The risk to structures located outside SFHAs is just not as great as the risk to structures located in SFHAs. Finally, approximately 90 percent of all federally declared disasters are caused by flooding, and homeowners insurance does not provide financial protection from this flooding. Therefore, FEMA encourages the widest possible coverage under the NFIP.

2024-3

LOMAs are based on minimum criteria established by the NFIP. State, county, and community officials, based on knowledge of local conditions and in the interest of safety, may set higher standards for construction in the SFHA. If a State, county, or community has adopted more restrictive and comprehensive floodplain management criteria, these criteria take precedence over the minimum Federal criteria.

In accordance with regulations adopted by the community when it made application to join the NFIP, letters issued to amend an NFIP map must be attached to the community's official record copy of the map. That map is available for public inspection at the community's official map repository. Therefore, FEMA sends copies of all such letters to the affected community's official map repository.

When a restudy is undertaken, or when a sufficient number of revisions or amendments occur on particular map panels, FEMA initiates the printing and distribution process for the affected panels. FEMA notifies community officials in writing when affected map panels are being physically revised and distributed. In such cases, FEMA attempts to reflect the results of the LOMA on the new map panel. If the results of particular LOMAs cannot be reflected on the new map panel because of scale limitations, FEMA notifies the community in writing and revalidates the LOMAs in that letter. LOMAs revalidated in this way usually will become effective 1 day after the effective date of the revised map.

2024-3

ELEVATION EXHIBIT

964 Highway 92, St. Paul, Nebraska

LEGAL: LOT 1, PAUL'S NORTH SUBDIVISION, TO THE CITY OF SAINT PAUL, NEBRASKA
LOCATED IN PART OF THE SOUTHWEST QUARTER (SW1/4) OF SECTION 34,
TOWNSHIP 15 NORTH, RANGE 10 WEST, HOWARD COUNTY, NEBRASKA

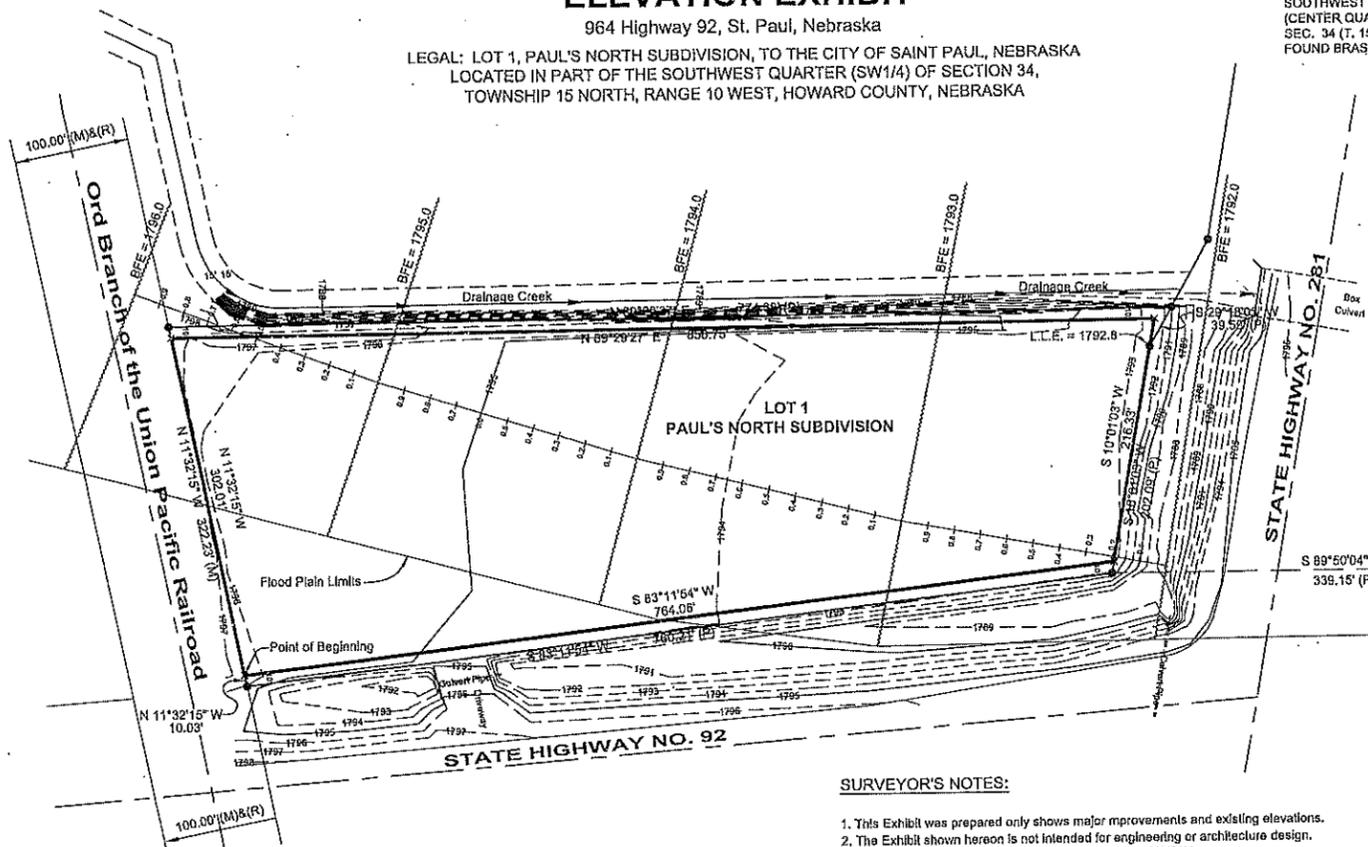
NORTHEAST CORNER OF THE
SOUTHWEST QUARTER (SW1/4)
(CENTER QUARTER CORNER)
SEC. 34 (T. 15 N, R 10 W)
FOUND BRASS CAP

N-LINE

LAND SURVEYING
P.O. BOX 173
Central City, NE 68626
Phone: 308-946-3801

North
Scale: 1" = 100'

LEGEND
▲ = Section Corner
(See Description)
x = Calculated Corner
● = Property Corner
(P) = Platted Distance



- SURVEYOR'S NOTES:**
1. This Exhibit was prepared only shows major improvements and existing elevations.
 2. The Exhibit shown hereon is not intended for engineering or architecture design.
 3. Benchmark: ML0152 (BM Reset), Elev. = 1786.2 NAVD'88.
 4. All elevations shown hereon are at NAVD 1988 datum.
 5. Improvements or any structures added to this site are subject to the local building codes and requirements.

The accompanying Exhibit is a representation of the conditions that were found at the time of the survey and is subject and that the document does not constitute a boundary survey and is subject to any inaccuracies that a subsequent boundary survey may disclose. The information shown on the exhibit should not be used to establish any structures or improvements. The measurements of Elevations are based NAVD 1988 Datum.

ELOMA TRACT DESCRIPTION:

A portion of Lot 1, Paul's North Subdivision, as shown on the Plat recorded in Records Book 23, pages 2392 and 2393, in the Office of the County Clerks Office, Howard County, Nebraska

The portion of the property is more particularly described by the following metes and bounds:

Commencing at the Southwest Corner of said Lot 1; thence North 11°32'15" West a distance of 10.03 feet to the POINT OF BEGINNING; thence North 11°32'15" West a distance of 302.01 feet; thence North 89°29'27" East a distance of 856.75 feet; thence South 10°01'03" West a distance of 216.33 feet; thence South 83°11'54" West a distance of 764.06 feet to the POINT OF BEGINNING.



Jamie L. Blodgett 8/21/2022
Date:
Jamie L. Blodgett
License Number 610
Pages covered by this seal 1

SOUTHEAST CORNER OF THE
SOUTHWEST QUARTER (SW1/4)
(SOUTH QUARTER CORNER)
SEC. 34 (T. 15 N, R 10 W)
Found 1/2" Pipe

DATE OF SURVEY 8/21/2022 JOB NUMBER 22084

Tif Project



Zoning Classification R-2 Value \$ 372,609 PERMIT NUMBER 2024-5
Please call 811 before completing form FEE \$25.00 CASH 1108 CHECK# pd 3/7/24

APPLICATION FOR A RESIDENTIAL ZONING PERMIT

St. Paul, Nebraska: DIRECTIONS: Fill in the following information as accurately and completely as possible. This application is not acceptable unless all required information is furnished.

Property Owner Brandon Rasmussen Contractor Dillon Kohl
Address 1421 Sheridan St. Address 2220 14th Ave Central City NE 68821
City, State, Zip Saint Paul NE 68873 Phone Number 308-940-0650
Phone Number 308-550-0636 Cell Phone _____

Complete Legal Description of the Property Lot #1 to Dalton Meadows Subdivision
Address of Construction Site 1617 Jay St.
(If none, one must be registered with City of St. Paul) In the Flood plain? NO

Proposed Structure House Dimension of Structure 87' x 30'
Distance from Front property line 25' Distance from Rear Property Line 50' 4"
Distance from Side Property Line 18' - 9 3/16" Distance from Second Side Line 22' 4"

Is there a utility easement on any side of the property? YES
Approximately when will construction Start 3/25/24 Finish 7/25/24

Contact Utility Superintendent at (308) 754-4483 regarding Set-Back Inspection. Matt Helzer Date of visit 3-7-24
(Matt Helzer's signature)

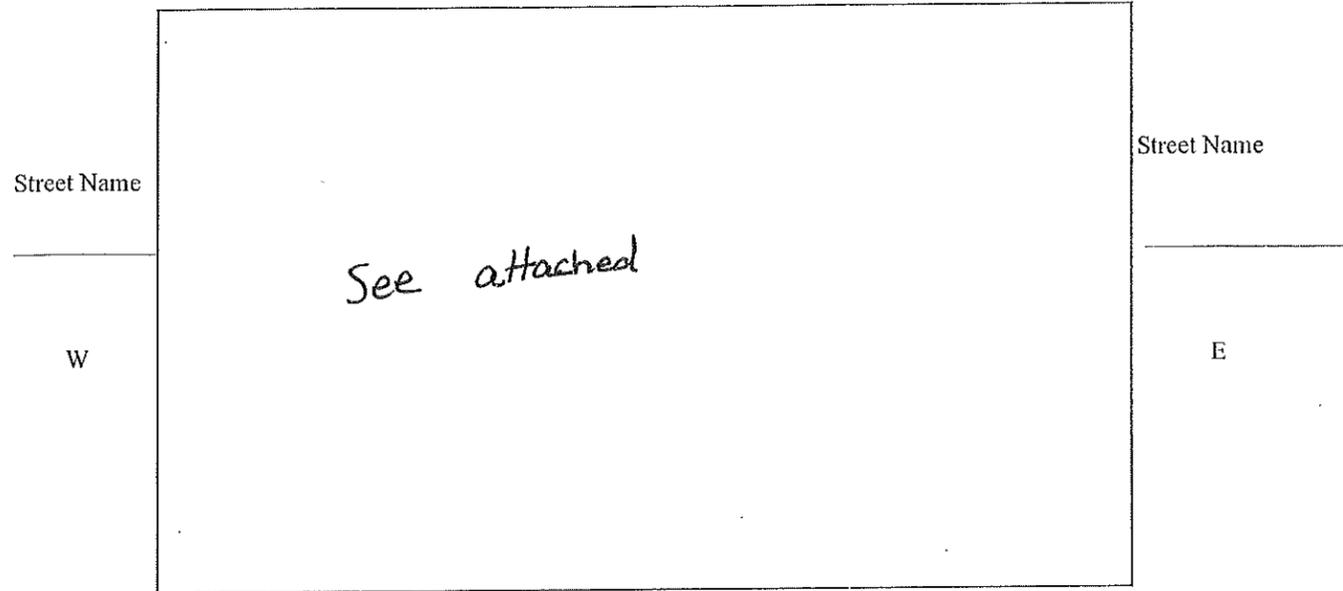
Recommendations needed before approval: _____

(One Mile radius outside city limits) If the structure is a residence on less than 10 acres indicate the date this property was platted as a separate parcel _____ Name of the Lot Split or Subdivision _____

For Office Use Only:
Is the proposed use permitted within this zoning district? YES NO _____
Does the proposed use meet all the required setback distances? YES NO _____
Is a conditional use required for the proposed use? YES _____ NO
Has a Conditional Use Permit been issued for this proposed use? YES _____ NO
If yes, when does it expire? _____

Site Plan Sketch:

North Street Name Jay Street



South Street Name _____

Indicate, by drawing, the shape and dimensions of the land, shape and dimensions of all existing and proposed buildings and structures, and the distances from the proposed building and structures to all lot lines (from road frontages, side and rear lot lines). Show the location of roads fronting the property. **MUST CALL DIGGERS HOTLINE @ 811 BEFORE DIGGING – CONSTRUCTION ON UTILITY EASEMENTS IS NOT PERMITTED.**

The above information is, to the best of my knowledge, true and accurate. It is understood and agreed that any error, misstatement or misrepresentation of fact, either with or without intention on my part, such as might, if known, cause a refusal of this application, or any alteration or change in plans made without the approval of the Zoning Administrator subsequent to the issuance of the Permit, shall constitute sufficient grounds for the revocation of such permit. This permit is valid for one (1) year from approval date and work must be started within the first 6 months.

The signature also indicates permission granted to the Zoning Administrator to inspect the construction site in which this permit is granted at any time until construction is completed.

Signature of Applicant [Signature] Date 3/7/24

For Office Use Only:

Permit is Approved _____ Denied _____ Date _____
Zoning Administrator Signature _____

Reasons for Denial: _____

2024-5

DALTON MEADOWS SUBDIVISION

TO THE CITY OF SAINT PAUL, HOWARD COUNTY, NEBRASKA

FINAL PLAT

TAX LOT 0, SECTION 4-TOWNSHIP 14 NORTH-RANGE 10 WEST, IN THE CITY OF ST. PAUL, HOWARD COUNTY, NEBRASKA.

LEGAL DESCRIPTION

A TRACT OF LAND LOCATED IN TAX LOT 0 IN PART OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER (SW1/4, NE1/4) OF SECTION FOUR (4), TOWNSHIP FOURTEEN (14) NORTH, RANGE TEN (10) WEST OF THE 6TH P.M., HOWARD COUNTY, NEBRASKA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTER 1/4 CORNER OF SECTION 4-T14N-R10W, SAID POINT BEING THE POINT OF BEGINNING; THENCE ON AN ASSUMED BEARING OF N01°51'27"E, ALONG THE WEST LINE OF THE SW1/4, NE1/4, A DISTANCE OF 611.67 FEET TO A POINT BEING THE NORTHWEST CORNER OF A SURVEY OF TAX LOT 0 BY ROBERT T. HARVEY 1898 SURVEY; THENCE N89°29'23"E, ALONG THE SOUTH RIGHT-OF-WAY LINE OF JAY STREET, A DISTANCE OF 550.74 FEET; THENCE S01°14'14"W, ALONG THE WEST LINE OF OBERMILLER'S SUBDIVISION, A DISTANCE OF 330.42 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF INDIAN STREET; THENCE N89°14'15"E, ALONG SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 132.00 FEET; THENCE S02°37'53"W A DISTANCE OF 24.20 FEET; THENCE S01°08'38"W A DISTANCE OF 294.95 FEET TO A POINT ON THE SOUTH LINE OF THE SW1/4, NE1/4; THENCE S89°50'34"W, ALONG SAID SOUTH LINE, A DISTANCE OF 689.82 FEET TO THE POINT OF BEGINNING. SAID TRACT CONTAINS A CALCULATED AREA OF 400,027.84 SQUARE FEET OR 9.183 ACRES MORE OR LESS OF WHICH 1.871 ACRES ARE NEW DEDICATED ROAD RIGHT-OF-WAY.

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT ON 22nd May 2016, I COMPLETED AN ACCURATE SURVEY, UNDER MY PERSONAL SUPERVISION, OF A TRACT OF LAND LOCATED IN TAX LOT 0 IN PART OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER (SW1/4, NE1/4) OF SECTION FOUR (4), TOWNSHIP FOURTEEN (14) NORTH, RANGE TEN (10) WEST OF THE 6TH P.M., HOWARD COUNTY, NEBRASKA, AS SHOWN ON THE ACCOMPANYING PLAT THEREOF; THAT IRON MARKERS, EXCEPT WHERE INDICATED, WERE FOUND AT ALL CORNERS; THAT THE DIMENSIONS AND BEARINGS OF THE PLAT; AND THAT SAID SURVEY WAS MADE WITH REFERENCE TO KNOWN AND RECORDED MONUMENTS.

Jai Jason Andrist
JAI JASON ANDRIST, REGISTERED LAND SURVEYOR, MEMBER, LS-630

DEDICATION OF PLAT

KNOW ALL MEN BY THESE PRESENTS, THAT MAD DEVELOPMENT, LLC, BEING THE OWNER OF THE LAND DESCRIBED HEREON, HAVE CAUSED SAME TO BE SURVEYED, SUBDIVIDED, PLATTED AND DESIGNATED AS "DALTON MEADOWS SUBDIVISION" BEING TAX LOT 0 IN PART OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER (SW1/4, NE1/4) OF SECTION FOUR (4), TOWNSHIP FOURTEEN (14) NORTH, RANGE TEN (10) WEST OF THE 6TH P.M., HOWARD COUNTY, NEBRASKA, AS SHOWN ON THE ACCOMPANYING PLAT THEREOF AND THAT THE FOREGOING SUBDIVIDED LOT IS MORE PARTICULARLY DESCRIBED IN THE DESCRIPTION HEREON AS APPEARS ON THIS PLAT IS MADE WITH THE FREE CONSENT IN WITNESS WHEREOF I HAVE AFFIXED MY SIGNATURE HERETO AT Saint Paul, NEBRASKA, THIS 22nd DAY OF May, 2016.

Caitlin Kerabek
CAITLIN KERABEK, OWNER - MAD DEVELOPMENT, LLC.

ACKNOWLEDGMENT

ON THIS 22nd DAY OF May, 2016, BEFORE ME Ulrich J. Killinger, A NOTARY PUBLIC WITHIN AND FOR SAID COUNTY, PERSONALLY APPEARED CAITLIN KERABEK, OWNER - MAD DEVELOPMENT, LLC, TO ME PERSONALLY KNOWN TO BE THE IDENTICAL PERSON WHOSE SIGNATURE IS AFFIXED HERETO AND ACKNOWLEDGED THE EXECUTION THEREOF TO BE HIS VOLUNTARY ACT AND DEED, IN WITNESS WHEREOF, I HAVE HERETO SUBSCRIBED MY NAME AND AFFIXED MY OFFICIAL SEAL AT Saint Paul, NEBRASKA, ON THE DATE LAST ABOVE WRITTEN.

MY COMMISSION EXPIRES April 13, 2018
Ulrich J. Killinger
ULRICH J. KILLINGER
NOTARY PUBLIC

CITY OF SAINT PAUL APPROVALS

THIS PLAT OF "DALTON MEADOWS SUBDIVISION" HAS BEEN SUBMITTED TO AND APPROVED BY THE CITY OF SAINT PAUL ON THIS 22nd DAY OF May, 2016.

MAYOR

CITY CLERK

APPROVAL OF PLANNING AND ZONING COMMISSION

THIS PLAT OF "DALTON MEADOWS SUBDIVISION" HAS BEEN SUBMITTED TO AND APPROVED BY THE CITY OF SAINT PAUL PLANNING AND ZONING COMMISSION ON THIS 31st DAY OF May, 2016.

David M. Adams
CHAIRPERSON

SECRETARY

SECTION TIES

EAST 1/4 CORNER, SECTION 4, T14N, R10W
FOUND ALUMINUM CAP, ±0.1' BELOW CONCRETE SURFACE
NW 1.52' TO CHISELED "X" IN CONCRETE
W 1.02' TO CENTERLINE N-5 STREET
W 5.00' TO CENTER OF MANHOLE LID
SE 69.71' TO CHISELED "X" ON NW CORNER OF CONCRETE LIGHT POLE BASE
NW 41.36' TO CHISELED "X" ON SE CORNER OF CONCRETE LIGHT POLE BASE
NE 68.16' TO CHISELED "X" ON FLAG POLE BASE

NORTH 1/4 CORNER, SECTION 4, T14N, R10W
FOUND 1/2" PIPE, AT ASPHALT SURFACE
N 1.52' TO CENTERLINE E-W ROAD
S 32.95' TO 3/4" PIPE
NHE 23.00' TO RED HEAD NAIL IN POWER POLE
WNW 72.84' TO W/WASHER IN BLAZED 18" DECIDUOUS TREE
CENTER 1/4 CORNER, SECTION 4, T14N, R10W
FOUND CHISELED "X" IN CONCRETE SURFACE
S 0.1' TO CENTERLINE E-W STREET
E 32.0' TO CENTERLINE STREET SOUTH
SW 49.06' TO CHISELED "X" ON TOP OF WEST END 24" CMP
ESE 86.82' TO CHISELED "X" ON NW CORNER OF CONCRETE PAD STORM MH
NW 33.64' TO RED HEAD NAIL ON TOP OF WOOD FENCE POST
N 33.03' TO 3/4" REBAR

Survey Record Required
RECEIVED
JAN 19 2017
HOWARD COUNTY

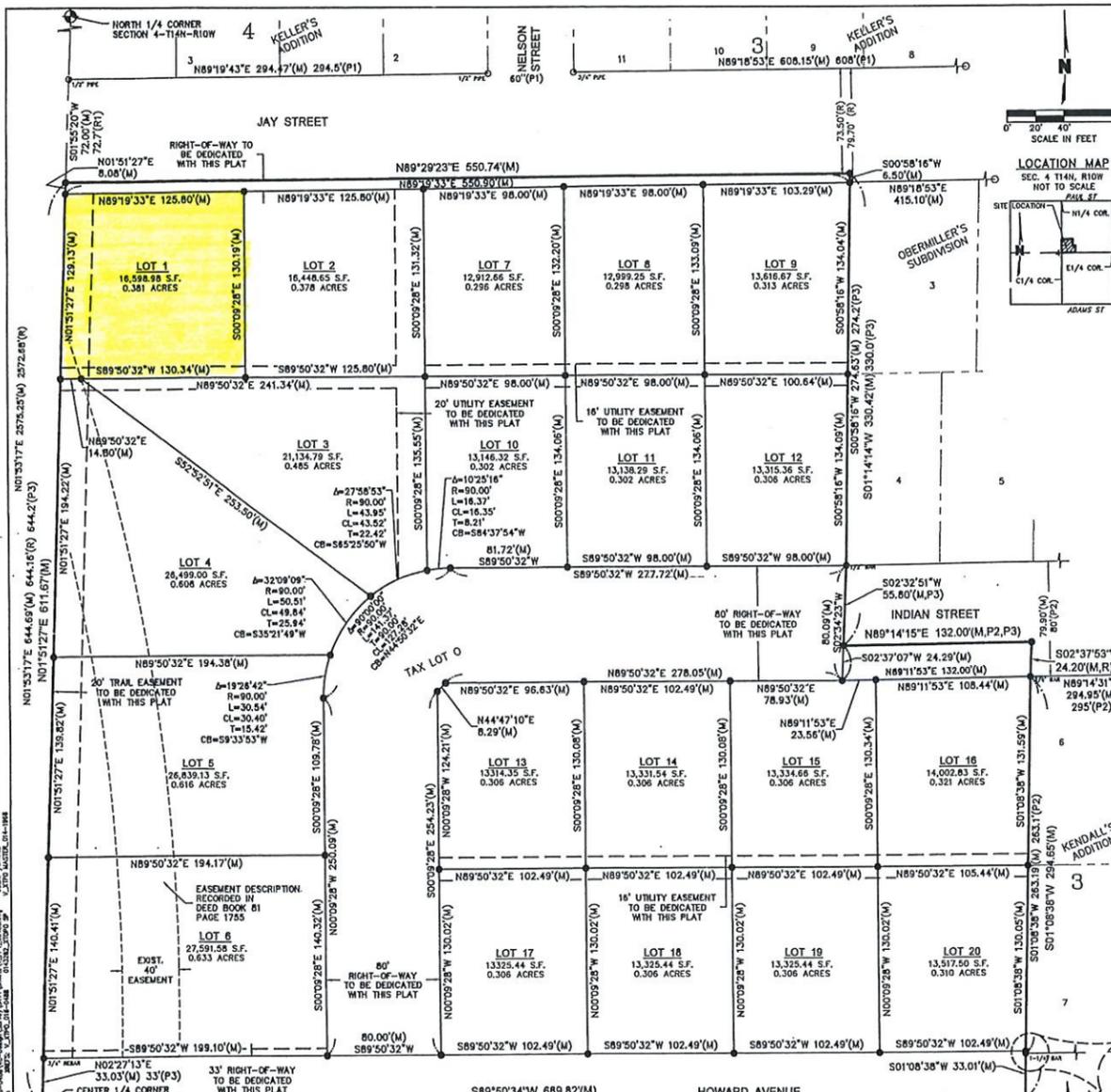
STATE OF NEBRASKA
HOWARD COUNTY

FILE FOR RECORD ON _____ DAY OF _____

AT _____ BOOK _____ OF _____ PAGE _____

BY _____ COUNTY CLERK

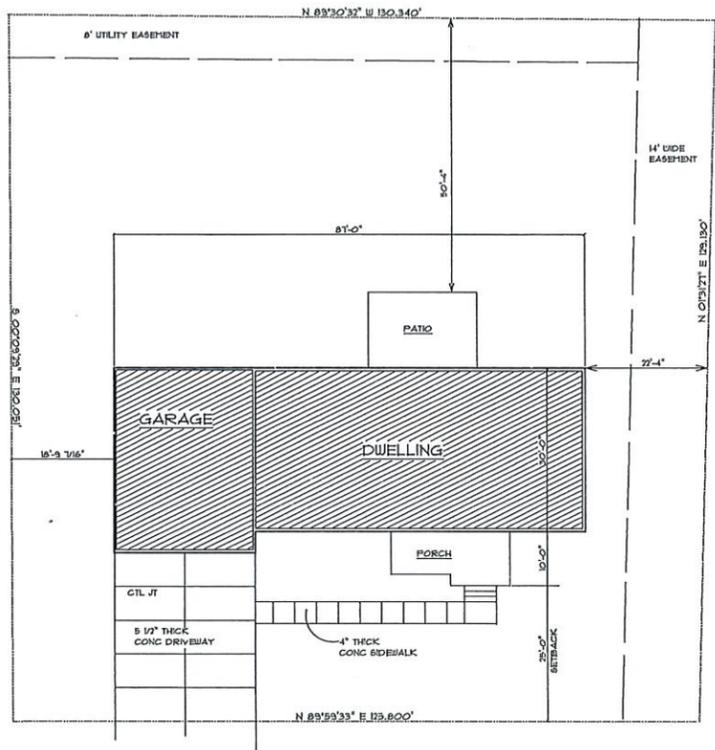
OLSSON ASSOCIATES
201 East 2nd Street
PO Box 1072
Omaha, NE 68102-1072
TEL 402.464.8150
FAX 402.464.8152



LEGEND
SECTION CORNER
FOUND CORNER
SET CORNER (5/8" REBAR W/CAP)
SECTION LINE
SUBDIVISION LINE
PROPERTY LINE
RIGHT-OF-WAY LINE
EASEMENT LINE
M MEASURED DISTANCE
R1 R. T. PAUL DISTANCE 4/30/1973
P PLATTED DISTANCE
R FIELD NOTES R. HARVEY 1895
P1 KELLER'S SUB
P2 KENDALL'S SUB
P3 OBERMILLER'S SUB
OWNERS: MAD DEVELOPMENT, LLC.
SUBDIVIDER: MAD DEVELOPMENT, LLC.
SURVEYOR: OLSSON ASSOCIATES
ENGINEER: OLSSON ASSOCIATES
NUMBER OF LOTS: 20

FILED IN 2016-05-22 11:00 AM
BY JAI JASON ANDRIST
REGISTERED LAND SURVEYOR
LS-630

2024-5



JAY STREET

SITE PLAN
SCALE 1" = 10'-0"



LEGAL DESCRIPTION
LOT #1 TO DALTON MEADOWS SUBDIVISION
ST. PAUL, HOWARD COUNTY, NEBRASKA

02/23/24
02/23/24
DWN BY
KETHIE

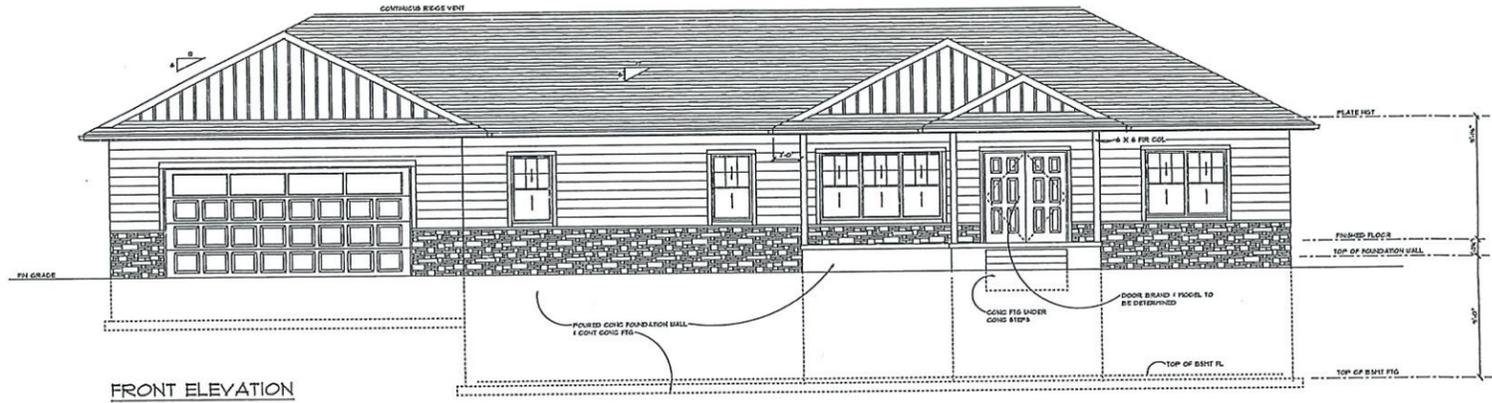
SITE PLAN
1/4" = 1'-0"

OWNER
BRANDON RASMUSSEN &
TARYN FRIEND

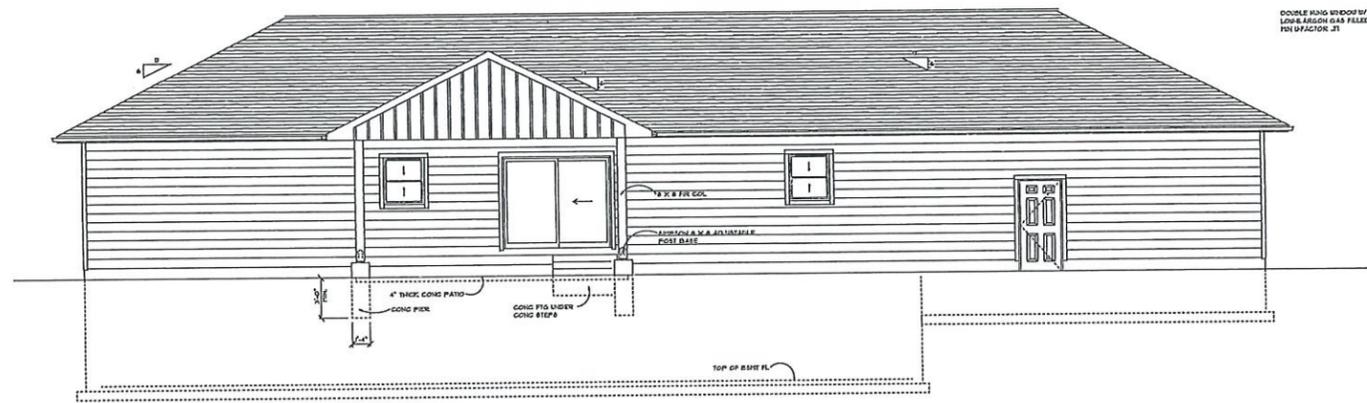
GENERAL CONTRACTOR
DDK CONSTRUCTION
DILLON ECHL

KD
DRAFTING & DESIGN
304-342-2778
www.kd-drafting.com

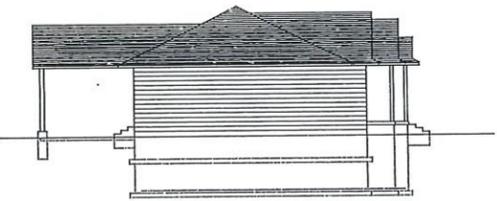
2024-5



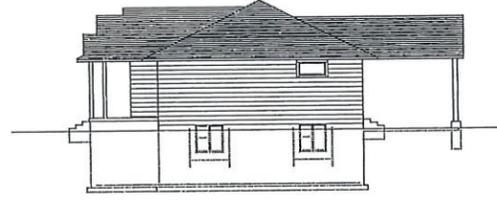
FRONT ELEVATION
1/4" = 1' - 0"



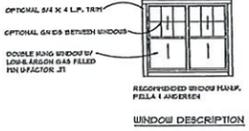
REAR ELEVATION
1/4" = 1' - 0"



LEFT ELEVATION
1/4" = 1' - 0"



RIGHT ELEVATION
1/4" = 1' - 0"



02-23-24
01-08-24

DRAWN BY
RETHE

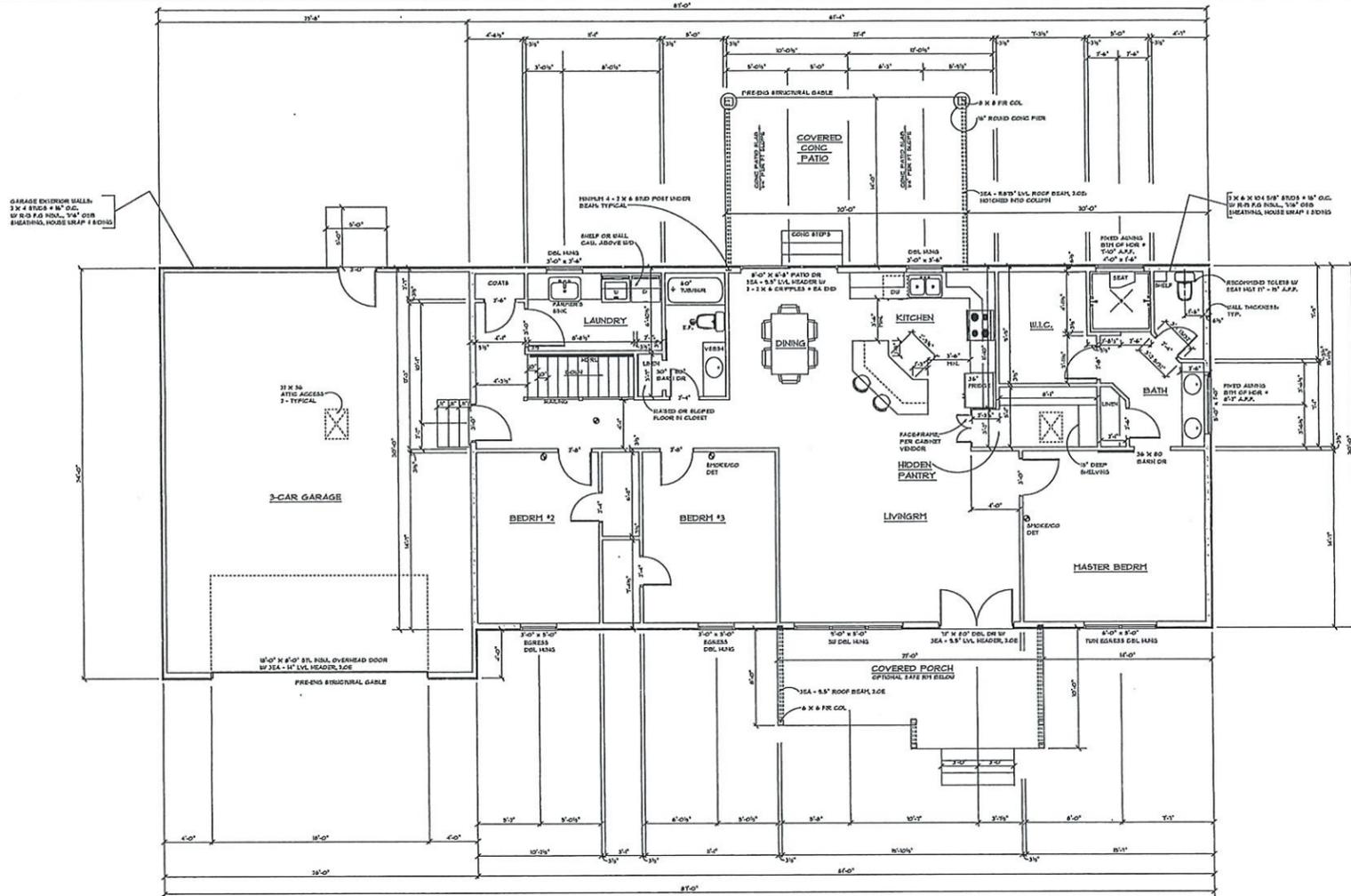
EXTERIOR ELEVATIONS

OWNER
BRANDON RASTMUSSEN &
TARYN FRIEND

GENERAL CONTRACTOR
DDK CONSTRUCTION
DILLON KOHL

KD
DRAFTING & DESIGN
www.kddrafting.com

5-7202



MAIN FLOOR PLAN
1/4" = 1' - 0"

SQ FT DATA	
MAIN FLOOR	1840 SQ FT
BASEMENT	1840 SQ FT
ATTACHED GARAGE	1840 SQ FT
COVERED PORCH	
COVERED DECK	

02-23-24
 01-23-24
 DWN BY
 KEITH E

3
ED

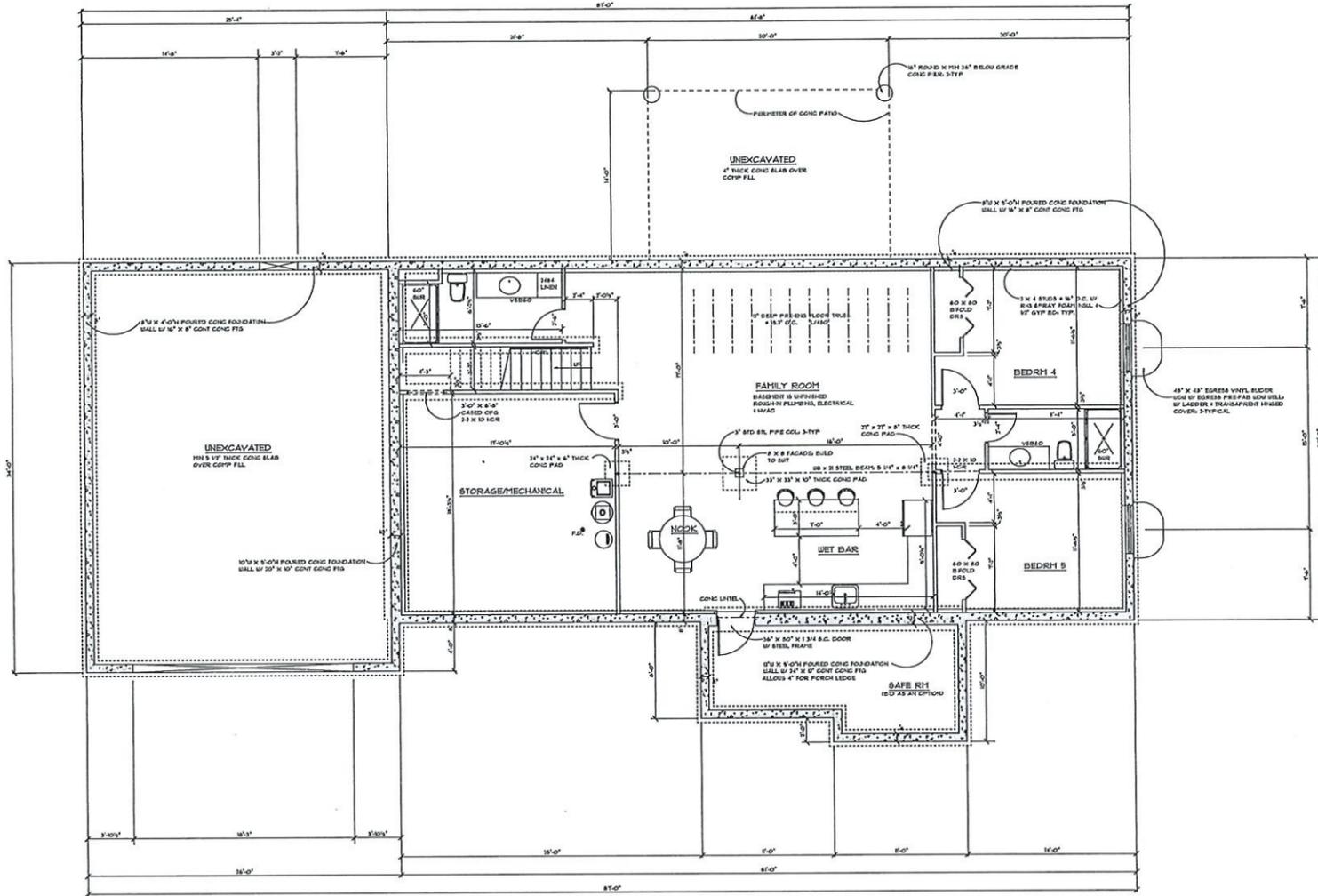
MAIN FLOOR PLAN
 1/4" = 1' - 0"

OWNER
BRANDON RASMUSSEN & TARYN FRIEND

GENERAL CONTRACTOR
DDK CONSTRUCTION
 BILLION KOHL

KD
 DRAFTING & DESIGN
www.kd-drafting.com

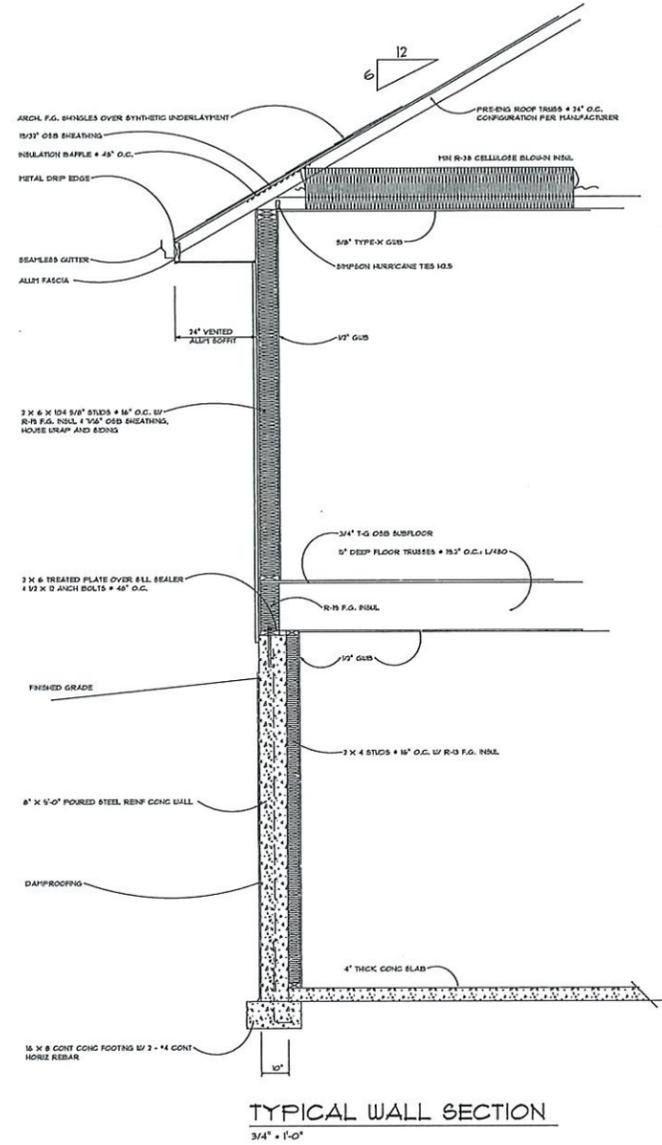
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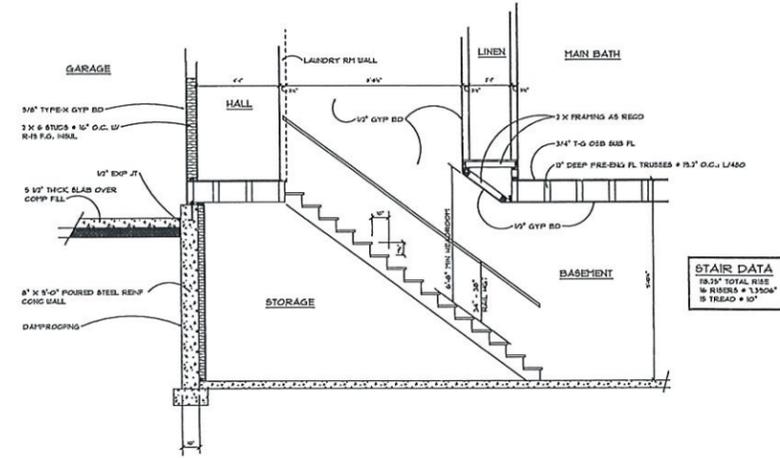
FOUNDATION/BSMT PLAN
1/4" = 1' - 0"

03-23-24 04-03-24	2	ED
OWNER BRANDON RASTIUSSEN & TARYN FRIEND	DESIGNED BY NEITH E	
GENERAL CONTRACTOR DDK CONSTRUCTION DILLON KOHL	FOUNDATION/BSMT PLAN 1/4" = 1' - 0"	
DRAWING & DESIGN KD KYLE DILLON DILLON@KDDK.COM		

2024-5



TYPICAL WALL SECTION
 3/4" = 1'-0"



STAIRWAY DETAIL
 3/8" = 1'-0"

STAIR DATA
 18-31" TOTAL RISE
 16 RISES @ 1350"
 18 TREAD @ 10"

05-25-24
 05-05-24
 4
 5
 DRN BY
 REITH E
 TYP WALL SECTION &
 STAIRWAY DETAIL
 OWNER
 BRANDON RASMUSSEN &
 TARYN FRIEND
 GENERAL CONTRACTOR
 DDK CONSTRUCTION
 BILLION 801L
 KD
 DRAFTING & DESIGN
 2000 W. 10TH ST.
 WASHINGTON, MO 64787
 660-866-8888

Disbursements March 18, 2024

Amazon Capital Services (books)	183.01
American Legal Publishing (publish)	93.69
AT&T Mobility (service)	430.95
Aurora Coop (fuel)	941.03
Beck, Connie Jo (mileage)	156.78
Black Hills Energy (natural gas)	2372.06
BOK Financial (bond interest)	4202.50
Charter/Spectrum (service)	184.96
City Lights (utilities)	8704.58
City of St. Paul (Light): Trfr from City Heritage Bank to NE Class (Trfr)	112500.00
City of St. Paul (Water): Trfr from City Heritage Bank to NE Class (Trfr)	112500.00
City of St. Paul (Sewer): Trfr from City Heritage Bank to NE Class (Trfr)	75000.00
City of St. Paul Transfer of Funds: Library ICS to Library Checking:	8700.00
Pay for Library Flooring per 23-24 Budget (transfer)	
Clearly (service)	195.00
Consumer Deposit (Sickler & Nunley) Rental Deposit (deposit)	500.00
Consumer Deposit (Welters) Rental Deposit (deposit)	250.00
CopyCat Printing (supplies)	128.95
Cornhusker Marriott (lodging)	784.00
Custer County Recycling (service)	18.00
Dept of Health & Human Services (refund)	242.01
Dutton Lainson (supplies)	2105.56
Elmwood Cemetery (service)	400.00
FedEx (postage)	64.07
First Concord Benefits (service)	120.00
Floor It Nebraska (service)	8639.22
Heartland Disposal (service)	6017.93
Heritage Bank (City Checking) Utility Bills ACH Fee (fee)	25.00
Homestead Bank (ACH fees)	33.20
Homestead Bank (KB - NSF Check Fee) (fee)	3.00
Howard Co. Register of Deeds (fee)	60.00
Howard Greeley RPPD (utilities)	137935.61
Jacobs Ford (repair)	597.34
Jarecke Motors (repair)	1371.72
Jim's Champlin (fuel)	1868.11
Klanecky, Jamie (supplies)	100.00
Kowalski, Katie (meal, parking)	43.32
Loup Valley Supply (repair)	73.50
Meyer, Deb (mileage, meals)	212.55
Mid-Nebraska Disposal (service)	4686.00
NE Dept of Envir & Energy (licenses)	120.00
NE Dept of Revenue: Sales & Use Tax for February 2024 (sales tax)	13720.56
One Call Concepts (service)	12.34
Open Caret (service)	200.00

Parts Bin (supplies)	1220.20
Petty Cash (meals, postage, supplies, fee)	65.29
Phonograph Herald (publish)	588.61
Protective Equip Testing (supplies)	282.49
Schmid, Charles (meals, parking)	103.33
Servi-Tech (lab)	336.00
Sherman Co Sheriff's Office (supplies)	750.00
St. Paul Veterinary Clinic (fee)	30.00
Triple T Disposal (service)	256.00
US Post Office (postage)	525.00
Wesco (supplies)	5992.00

Non-General Disbursements

Park Impr. [Aluminum Can Fund]: Champlin Tire Recycling (mulch)	1680.00
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CITY OF ST PAUL

03/13/24 4:01 PM

Page 1

***Check Detail Register©**

Batch: Disb March18

Check #	Check Date	Vendor Name	Amount	Invoice	Comment
11100 CHECKING					
70808	03/18/24	AMAZON CAPITAL SERVICES			
E 44-20-242		BOOKS	\$20.98	1NKM-CRPP	Lib - books
E 44-20-242		BOOKS	\$141.73	1P9C-7F17-7	Lib - books
E 44-20-242		BOOKS	\$20.30	1WQT-MRC4	Lib - books
		Total	\$183.01		
70809	03/18/24	AMERICAN LEGAL PUBLISHING CORP			
E 10-20-240		PUBLISH / CODIF	\$93.69	32419	Gen - updates to City Code
		Total	\$93.69		
70810	03/18/24	AT&T MOBILITY			
E 32-20-220		COMMUNICATION	\$390.91	02282024	Pol - cell phones and tablets for vehicles
E 03-20-220		COMMUNICATION	\$40.04	02282024	Swr - WWTP internet
		Total	\$430.95		
70811	03/18/24	AURORA CO-OP ELEVATOR CO.			
E 32-20-231		CITY GAS & OIL	\$18.52	3798	Pol - #97 unleaded
E 32-20-231		CITY GAS & OIL	\$26.38	3834	Pol - #96 unleaded
E 32-20-231		CITY GAS & OIL	\$21.09	3866	Pol - #95 unleaded
E 32-20-231		CITY GAS & OIL	\$21.80	3989	Pol - #97 unleaded
E 31-20-231		CITY GAS & OIL	\$77.86	4035	Fire - #50 unleaded (NO RECEIPT)
E 32-20-231		CITY GAS & OIL	\$22.73	4075	Pol - #97 unleaded
E 32-20-231		CITY GAS & OIL	\$19.70	4155	Pol - #94 unleaded
E 32-20-231		CITY GAS & OIL	\$20.95	4160	Pol - #97 unleaded
E 32-20-231		CITY GAS & OIL	\$22.61	4204	Pol - #97 unleaded
E 32-20-231		CITY GAS & OIL	\$37.51	4240	Pol - #96 unleaded
E 32-20-231		CITY GAS & OIL	\$9.92	4250	Pol - #94 unleaded
E 31-20-231		CITY GAS & OIL	\$15.33	4296	Fire - #55 hwy diesel (NO RECEIPT)
E 32-20-231		CITY GAS & OIL	\$32.05	4347	Pol - #95 unleaded
E 02-20-231		CITY GAS & OIL	\$47.74	4362	Wtr - #2 unleaded
E 32-20-231		CITY GAS & OIL	\$31.39	4371	Pol - #96 unleaded
E 32-20-231		CITY GAS & OIL	\$22.42	4383	Pol - #97 unleaded
E 02-20-231		CITY GAS & OIL	\$62.10	4397	Wtr - #1 unleaded
E 32-20-231		CITY GAS & OIL	\$41.40	4446	Pol - #96 unleaded
E 32-20-231		CITY GAS & OIL	\$22.37	4475	Pol - #95 unleaded
E 32-20-231		CITY GAS & OIL	\$25.04	4515	Pol - #94 unleaded
E 32-20-231		CITY GAS & OIL	\$24.05	4545	Pol - #97 unleaded
E 32-20-231		CITY GAS & OIL	\$36.23	4640	Pol - #96 unleaded
E 36-20-231		CITY GAS & OIL	\$26.49	4671	EMS - #93 unleaded
E 32-20-231		CITY GAS & OIL	\$22.40	4691	Pol - #97 unleaded
E 32-20-231		CITY GAS & OIL	\$21.31	4753	Pol - #97 unleaded
E 32-20-231		CITY GAS & OIL	\$20.90	4796	Pol - #97 unleaded
E 32-20-231		CITY GAS & OIL	\$26.28	4877	Pol - #97 unleaded
E 32-20-231		CITY GAS & OIL	\$19.85	4928	Pol - #97 unleaded
E 32-20-231		CITY GAS & OIL	\$24.28	4945	Pol - #95 unleaded
E 32-20-231		CITY GAS & OIL	\$37.55	4981	Pol - #96 unleaded
E 03-20-231		CITY GAS & OIL	\$43.09	4997	Swr - #2 unleaded
E 32-20-231		CITY GAS & OIL	\$39.69	5013	Pol - #94 unleaded

CITY OF ST PAUL

03/13/24 4:01 PM

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***Check Detail Register©**

Batch: Disb March18

Check #	Check Date	Vendor Name	Amount	Invoice	Comment
Total			\$941.03		
70812	03/18/24	BECK, CONNIE JO			
E 10-20-210		PROF&SCHOOLS	\$156.78		Gen - mileage to Lincoln for LONM conference
Total			\$156.78		
70813	03/18/24	BLACK HILLS ENERGY			
E 02-20-262		BLACKHILLS GAS	\$540.76		Wtr - WTP natural gas
E 41-20-262		BLACKHILLS GAS	\$40.36		Pool - natural gas
E 31-20-262		BLACKHILLS GAS	\$716.49		Fire - natural gas
E 21-20-262		BLACKHILLS GAS	\$515.98		Strs - North yards natural gas
E 44-20-262		BLACKHILLS GAS	\$470.00		Lib - natural gas
E 02-20-262		BLACKHILLS GAS	\$89.79		Wtr - Well house natural gas
E 02-20-262		BLACKHILLS GAS	(\$1.32)		Wtr - Well #9 natural gas
Total			\$2,372.06		
70814	03/18/24	CHARTER/SPECTRUM			
E 02-20-220		COMMUNICATION	\$184.96	11552103062	Wtr - internet and phone at the WTP
Total			\$184.96		
70815	03/18/24	CITY OF ST PAUL LIGHT			
E 10-20-261		CITY LIGHTS	\$836.61		Gen - City, Sr Cntr & siren utilities
E 31-20-261		CITY LIGHTS	\$167.65		Fire house utilities
E 42-20-261		CITY LIGHTS	\$528.43		Park - park, batting cage, ball fields, concession stand & well utilities
E 41-20-261		CITY LIGHTS	\$68.20		Pool - utilities
E 03-20-261		CITY LIGHTS	\$1,854.14		Swr - lift stations & WWTP
E 21-20-261		CITY LIGHTS	\$3,316.15		Strs - street lights & yard lights
E 02-20-261		CITY LIGHTS	\$1,537.99		Wtr - WTP & city well utilities
E 34-20-261		CITY LIGHTS	\$18.28		Cern - cemetery utilities
E 44-20-261		CITY LIGHTS	\$377.13		Lib - library utilities
Total			\$8,704.58		
70816	03/18/24	COPYCAT PRINTING, INC			
E 32-20-240		PUBLISH / CODIF	\$128.95	382848	Pol - Special Vehicle permit decals
Total			\$128.95		
70817	03/18/24	CORNHUSKER MARRIOTT			
E 10-20-210		PROF&SCHOOLS	\$784.00		Gen - lodging during LONM conference for Mike Feeken, Connie Jo Beck, Chuck Schmid, Katie Kowalski
Total			\$784.00		
70818	03/18/24	CUSTER COUNTY RECYCLING			
E 04-20-325		Recycle Delivery	\$18.00	606	Lndfl - recycling trailer
Total			\$18.00		
70819	03/18/24	DEPT OF HEALTH & HUMAN SERV.			
E 01-20-470		UTIL REFUND	\$242.01		Lgts - Utility refund for Selena Herrera
Total			\$242.01		
70820	03/18/24	DUTTON-LAINSON CO.			

***Check Detail Register©**

Batch: Disb March18

Check #	Check Date	Vendor Name	Amount	Invoice	Comment
E 41-20-270		UTILITY R & M	\$326.06	892857-1	Pool - repair parts for commercial toilets
E 42-20-270		UTILITY R & M	\$326.06	892857-1	Park - repair parts for commercial toilets
E 41-20-270		UTILITY R & M	\$49.83	892857-2	Pool - screwdriver stop repair kit
E 42-20-270		UTILITY R & M	\$49.83	892857-2	Park - screwdriver stop repair kit
E 01-20-270		UTILITY R & M	\$320.46	893067-1	Lgts - 3/8 guy splice
E 01-20-270		UTILITY R & M	\$535.36	893188	Lgts - 4/0 secondary underground
E 01-20-270		UTILITY R & M	\$497.96	S34222-1	Lgts - dead end shoes for primary wire
Total			\$2,105.56		
70821	03/18/24	ELMWOOD CEMETERY			
E 34-20-315		CEMETERY PERPETUAL	\$100.00		Cem - perpetual care - Dean Dorszynski
E 34-20-315		CEMETERY PERPETUAL	\$100.00		Cem - perpetual care - Barbara Schmidt
E 34-20-315		CEMETERY PERPETUAL	\$200.00		Cem - perpetual care - Paul & Kay Hammon
Total			\$400.00		
70822	03/18/24	FEDEX			
E 01-20-313		POSTAGE	\$64.07	8-430-56606	Lgts - postage to send payment for bucket truck
Total			\$64.07		
70823	03/18/24	FIRST CONCORD BENEFITS GROUP LLC			
E 42-10-130		INSURANCE	\$8.00		Park - health reimbursement
E 03-10-130		INSURANCE	\$24.00		Swr - health reimbursement
E 01-10-130		INSURANCE	\$16.00		Lgts - health reimbursement
E 21-10-130		INSURANCE	\$16.00		Strs - health reimbursement
E 02-10-130		INSURANCE	\$24.00		Wtr - health reimbursement
E 10-10-130		INSURANCE	\$16.00		Gen - health reimbursement
E 32-10-130		INSURANCE	\$16.00		Pof - health reimbursement
Total			\$120.00		
70824	03/18/24	FLOOR IT NEBRASKA LLC			
E 44-20-520		BLDG/ R & M	\$8,639.22	3932A	Lib - remaining due on flooring project
Total			\$8,639.22		
70825	03/18/24	HEARTLAND DISPOSAL INC			
E 04-20-324		SANITATION HAULING	\$6,017.93		Lndfl - sanitation hauling
Total			\$6,017.93		
70826	03/18/24	HOMESTEAD BANK			
E 10-20-209		Pay ACH Fee	\$33.20		Gen - ACH fees
Total			\$33.20		
70827	03/18/24	HOWARD CO REGISTER OF DEEDS			
E 10-20-216		RECORDING FEE	\$10.00		Gen - Dvorak rezoning ordinance
E 10-20-216		RECORDING FEE	\$10.00		Gen - Scheer rezoning ordinance
E 10-20-216		RECORDING FEE	\$10.00		Gen - River Valley Auto rezoning ordinance
E 10-20-216		RECORDING FEE	\$10.00		Gen - Release for Richard Goodenberger
E 34-20-216		RECORDING FEE	\$10.00		Cem - Certificate for Dorszynski
E 34-20-216		RECORDING FEE	\$10.00		Cem - Certificate for Schmidt
Total			\$60.00		
70828	03/18/24	HOWARD GREELEY RURAL PUBLIC			

CITY OF ST PAUL

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***Check Detail Register©**

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Check #	Check Date	Vendor Name	Amount	Invoice	Comment
E 34-20-260		PUBLIC UTILITY	\$38.24		Public utilities - cemetery
E 02-20-260		PUBLIC UTILITY	\$416.68		Public utilities at North well
E 02-20-260		PUBLIC UTILITY	\$458.53		Public utilities at East well
E 02-20-260		PUBLIC UTILITY	\$40.09		Public utilities at Cargill
E 02-20-260		PUBLIC UTILITY	\$742.90		Public utilities at West well
E 01-20-260		PUBLIC UTILITY	\$136,239.17		Public utilities - lights
		Total	\$137,935.61		
70829	03/18/24	JACOBS FORD			
E 32-20-271		VEHICLE R & M	\$321.27	69451	Pol - #95 replace blower motor assembly
E 32-20-271		VEHICLE R & M	\$276.07	69461	Pol - #94 replace rear wiper, key fob
		Total	\$597.34		
70830	03/18/24	JARECKE MOTORS INC			
E 32-20-271		VEHICLE R & M	\$515.81	15487	Pol - #96 replace spark plugs and coil #3 cylinder
E 36-20-271		VEHICLE R & M	\$212.86	15537	EMS - #99-1 oil change
E 31-20-271		VEHICLE R & M	\$643.05	15538	Fire - #56 repair power steering leak
		Total	\$1,371.72		
70831	03/18/24	JIMS CHAMPLIN INC			
E 42-20-231		CITY GAS & OIL	(\$31.80)		Park - unleaded credit
E 01-20-231		CITY GAS & OIL	(\$35.86)		Lgts - unleaded credit
E 21-20-231		CITY GAS & OIL	(\$14.19)		Strs - hwy diesel credit
E 01-20-231		CITY GAS & OIL	(\$12.09)		Lgts - hwy diesel credit
E 21-20-231		CITY GAS & OIL	\$113.88	229022	Strs - #8A hwy diesel
E 01-20-231		CITY GAS & OIL	\$85.00	229023	Lgts - #16 unleaded
E 01-20-231		CITY GAS & OIL	\$28.36	230015	Lgts - #93 unleaded
E 01-20-231		CITY GAS & OIL	\$98.23	230019	Lgts - #5 hwy diesel
E 01-20-231		CITY GAS & OIL	\$81.00	233680	Lgts - #16 unleaded
E 03-20-231		CITY GAS & OIL	\$67.87	233746	Swr - #8A hwy diesel
E 04-20-231		CITY GAS & OIL	\$41.67	233755	Lndfl - #8A hwy diesel
E 42-20-231		CITY GAS & OIL	\$77.90	233767	Park - #11 unleaded
E 01-20-231		CITY GAS & OIL	\$63.77	233803	Lgts - #40W unleaded
E 21-20-231		CITY GAS & OIL	\$93.95	233809	Strs - #45 unleaded
E 01-20-231		CITY GAS & OIL	\$71.01	233875	Lgts - #40W unleaded
E 03-20-231		CITY GAS & OIL	\$69.00	233964	Swr - #8 unleaded
E 42-20-231		CITY GAS & OIL	\$78.17	233985	Park - #8 unleaded
E 21-20-231		CITY GAS & OIL	\$95.57	233986	Strs - #6 unleaded
E 42-20-231		CITY GAS & OIL	\$130.46	234536	Park - unleaded for gas cans
E 21-20-231		CITY GAS & OIL	\$76.13	234539	Strs - #6 unleaded
E 42-20-231		CITY GAS & OIL	\$66.83	234559	Park - #9 unleaded
E 04-20-231		CITY GAS & OIL	\$90.32	234580	Lndfl - #44 off road diesel
E 01-20-231		CITY GAS & OIL	\$66.19	234612	Lgts - #40W unleaded
E 21-20-231		CITY GAS & OIL	\$100.28	234633	Lgts - #17 off road diesel
E 03-20-231		CITY GAS & OIL	\$63.03	234716	Swr - #8 unleaded
E 21-20-231		CITY GAS & OIL	\$129.74	234743	Strs - #7 off road diesel
E 04-20-231		CITY GAS & OIL	\$95.81	234794	Lndfl - #17 off road diesel
E 31-20-231		CITY GAS & OIL	\$77.88	234877	Fire - #59 hwy diesel
		Total	\$1,868.11		

***Check Detail Register©**

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Check #	Check Date	Vendor Name	Amount	Invoice	Comment
70832	03/18/24	KLANECKY, JAMIE			
	E 21-30-320	MERCH & SUPPLY		\$100.00	Strs - allowance for safety glasses
		Total		\$100.00	
70833	03/18/24	KOWALSKI, KATIE			
	E 10-20-210	PROF&SCHOOLS		\$20.82	Gen - meal during LONM conference in Lincoln
	E 10-20-210	PROF&SCHOOLS		\$22.50	Gen - parking during LONM conference in Lincoln
		Total		\$43.32	
70834	03/18/24	LOUP VALLEY SUPPLY, INC.			
	E 42-20-270	UTILITY R & M		\$73.50	6808 Park - repairs to Snapper mower
		Total		\$73.50	
70835	03/18/24	MEYER, DEB			
	E 36-20-210	PROF&SCHOOLS		\$95.41	EMS - mileage to NEMSA conference
	E 36-20-210	PROF&SCHOOLS		\$117.14	EMS - meal during NEMSA conference for Nate Meyer, Nick Meyer, Deb Meyer, Lisa Woodgate
		Total		\$212.55	
70836	03/18/24	MID-NEBRASKA DISPOSAL INC			
	E 04-20-324	SANITATION HAULING		\$4,686.00	Lndfl - sanitation hauling
		Total		\$4,686.00	
70837	03/18/24	NE DEPT OF ENVIR & ENERGY			
	E 41-20-211	ADM. & DUES		\$40.00	Pool - Swimming Pool Operator license for Matt Helzer
	E 41-20-211	ADM. & DUES		\$40.00	Pool - Swimming Pool Operator license for Jeremy Gorecki
	E 41-20-211	ADM. & DUES		\$40.00	Pool - Swimming Pool Operator license for Dillon Paczosa
		Total		\$120.00	
70838	03/18/24	ONE CALL CONCEPTS, INC			
	E 01-20-220	COMMUNICATION		\$4.12	4020199 Lgts - Digger's hotline
	E 02-20-220	COMMUNICATION		\$4.11	4020199 Wtr - Digger's hotline
	E 03-20-220	COMMUNICATION		\$4.11	4020199 Swr - Digger's hotline
		Total		\$12.34	
70839	03/18/24	OPEN CARET			
	E 10-20-211	ADM. & DUES		\$200.00	6530 Gen - website hosting and maintenance
		Total		\$200.00	
70840	03/18/24	PARTS BIN, INC.			
	E 01-20-271	VEHICLE R & M		\$39.45	10275 Lgts - #40W oil and air filters
	E 01-20-231	CITY GAS & OIL		\$39.48	10275 Lgts - #40W oil
	E 42-20-270	UTILITY R & M		\$80.29	10529 Park - oil, air, & fuel filters for mowers
	E 01-20-271	VEHICLE R & M		\$190.07	10643 Lgts - #16 power brake booster
	E 01-20-271	VEHICLE R & M		\$76.38	10802 Lgts - #16 brake master cylinder
	E 01-20-271	VEHICLE R & M		\$101.49	11677 Lgts - #16 rear brake pads, brake shoe adjusters
	E 21-20-271	VEHICLE R & M		\$383.95	9773 Strs - #45 replacement of wheel bearings, fleet front bra
	E 21-20-271	VEHICLE R & M		\$167.09	9789 Strs - #45 wheel bearings, wheel seal

CITY OF ST PAUL

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***Check Detail Register©**

Batch: Disb March18

Check #	Check Date	Vendor Name	Amount	Invoice	Comment
E 21-20-271		VEHICLE R & M	\$293.19	9818	Strs - #45 brake fluid, brake pads
E 21-20-271		VEHICLE R & M	(\$18.98)	9868	Strs - #45 credit for returned bearings
E 21-20-271		VEHICLE R & M	(\$132.21)	9943	Strs - #45 credit for returned bearings
		Total	\$1,220.20		
70841	03/18/24	PETTY CASH, CITY OF ST PAUL			
E 21-20-210		PROF&SCHOOLS	\$10.09		Strs - meal during trip to North Platte to inspect equipment
E 21-20-210		PROF&SCHOOLS	\$23.84		Strs - meals during trip to inspect equipment/vehicles
E 10-20-313		POSTAGE	\$4.70		Gen - postage for TIF mailing
E 32-30-310		OFFICE SUPPLIES	\$16.66		Pol - envelopes, file folders
E 01-20-210		PROF&SCHOOLS	\$10.00		Lgts - title inspection for new bucket truck
		Total	\$65.29		
70842	03/18/24	PHONOGRAPH-HERALD			
E 04-20-240		PUBLISH / CODIF	\$53.00		Lndfl - Help Wanted ad
E 10-20-240		PUBLISH / CODIF	\$535.61		Gen - public hearing notices, mtg notices, mtg proceedings, publish Ordinances
		Total	\$588.61		
70843	03/18/24	PROTECTIVE EQUIP TESTING LAB			
E 01-20-252		Personal Protective Equip	\$282.49	83727	Lgts - insulated gloves
		Total	\$282.49		
70844	03/18/24	SCHMID, CHARLES			
E 10-20-210		PROF&SCHOOLS	\$80.83		Gen - meals during LONM conference in Lincoln
E 10-20-210		PROF&SCHOOLS	\$22.50		Gen - parking during LONM conference in Lincoln
		Total	\$103.33		
70846	03/18/24	SERVI-TECH INC			
E 03-20-232		LAB SAMPLE	\$168.00	H-989529	Swr - lab sample
E 03-20-232		LAB SAMPLE	\$168.00	H-989585	Swr - monthly composite sample
		Total	\$336.00		
70847	03/18/24	SHERMAN CO SHERIFF OFFICE			
E 32-20-272		TOOLS	\$750.00		Pol - Watchguard in-vehicle camera systems (5)
		Total	\$750.00		
70848	03/18/24	ST PAUL VETERINARY CLINIC, P.C			
E 32-20-218		ANIMAL CONTROL	\$30.00	248868	Pol - rabies test on bat
		Total	\$30.00		
70849	03/18/24	TRIPLE T DISPOSAL			
E 04-20-324		SANITATION HAULING	\$256.00		Lndfl - sanitation hauling
		Total	\$256.00		
70850	03/18/24	U S POSTAL SERVICE			
E 01-20-313		POSTAGE	\$165.00		Lgts - postage
E 02-20-313		POSTAGE	\$165.00		Wtr - postage
E 03-20-313		POSTAGE	\$165.00		Swr - postage
E 04-20-313		POSTAGE	\$30.00		Lndfl - postage

***Check Detail Register©**

Batch: Disb March18

Check #	Check Date	Vendor Name	Amount	Invoice	Comment
Total			\$525.00		
70851	03/18/24	WESCO DISTRIBUTION, INC.			
	E 01-20-270	UTILITY R & M	\$5,992.00	336903	Lgts - 50 kVA padmount transformer (inventory - ordered 1 year ago)
Total			\$5,992.00		
11100			\$189,049.41		

Fund Summary

11100 CHECKING

01 LIGHTS	\$145,261.12
02 WATER	\$4,313.33
03 SEWER	\$2,666.28
04 LANDFILL	\$11,288.73
10 GENERAL	\$2,847.24
21 STREETS	\$5,270.46
31 FIREMEN	\$1,698.26
32 POLICE	\$3,114.09
34 CEMETERY	\$476.52
36 AMBULANCE	\$451.90
41 POOL	\$604.45
42 PARK	\$1,387.67
44 LIBRARY	\$9,669.36
	\$189,049.41

MIKE FEEKEN, MAYOR



City of St. Paul, Nebraska

704 6th Street • St. Paul, NE 68873

Phone (308) 754-4483

Reapprove Fire Department Billing Rates for Year 2024

Date: March 18, 2024

To Whom It May Concern:

This letter is to verify that the City Council has voted and the majority of the board has approved the Saint Paul Fire to bill for the services provided by the Fire Department with the use of apparatus and equipment owned by the City of Saint. Paul. The billing rates that may be charged is attached.

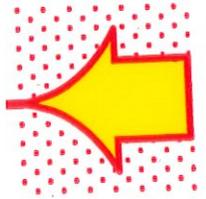
This approval is in accordance with Nebraska State Statute 35-901.

Date of approval: March 18, 2024

Signature: _____ Mike Feeken, Mayor

ATTEST:

Signature: _____ Connie Jo Beck, City Clerk/Deputy Treasurer



RATES THAT MAY BE CHARGED BY THE SAINT PAUL FIRE DEPARTMENT

A. Response vehicles: charges will be made to the closest ¼ hr. Charges include personnel costs. Mileage will be charged at **\$10.00 per mile** per vehicle.

- | | |
|----------------------------|---------------|
| 1. Pumper truck | \$500.00 / hr |
| 2. Tanker truck | \$350.00 / hr |
| 3. Grass Rig | \$150.00 / hr |
| 4. Aerial ladder truck | \$750.00 / hr |
| 5. Utility truck | \$200.00 / hr |
| 6. Hazardous Material Unit | \$250.00 / hr |

B. Equipment Charges:

- | | |
|-----------------------------|----------|
| 1. Jaws of Life | \$250.00 |
| 2. Power saw | \$ 75.00 |
| 3. Hydraulic jack / chisels | \$ 75.00 |
| 4. Cribbing Blocks | \$ 10.00 |
| 5. Winches | \$ 10.00 |
| 6. Air Bags | \$ 50.00 |
| 7. High Lift Jack | \$ 20.00 |
| 8. Brooms | \$ 10.00 |
| 9. Hand tools / shovels | \$ 10.00 |
| 10. Other | |
| _____ | \$_____ |
| _____ | \$_____ |

C. Supplies:

- | | |
|-----------------------|---------------------------|
| 1. Safety flares | \$ 10.00 |
| 2. Class A foam | \$ 95.00 per five gallons |
| 3. Class AFFF foam | \$165.00 per five gallons |
| 4. Absorbent Pads | \$ 15.00 each |
| 5. Absorbent material | \$ 15.00 per bag |
| 6. Salvage Covers | \$ 60.00 |
| 7. Floor Dry | \$ 10.00 |
| 8. Other: | |
| a. _____ | \$_____ |
| b. _____ | \$_____ |
| c. _____ | \$_____ |

Signature _____ Mike Feeken, Mayor

Date: March 18, 2024



Product Quotation
 Quotation Number: **RK400491**
 Quote Sent Date: **Mar 13, 2024**
 Expiration Date: **Apr 12, 2024**

Prepared By
Rick Kraft
 Phone: (308) 390-9010
 Email: rick@cnebobcat.com

Customer
CITY OF ST. PAUL G904289 - SAINT PAUL - NE
 704 6TH ST
 SAINT PAUL, NE, 68873-2015

Contact

Dealer
Central Nebraska Bobcat, Grand Island, NE
 3809 WESTGATE ROAD
 GRAND ISLAND, NE, 68803-4927

Item Name	Item Number	Quantity	Price Each	Total
E38 R2-Series Bobcat Compact Excavator	M3414	1	65,358.00	65,358.00
Standard Equipment:				
33 HP Tier 4			Hydraulic Joystick Controls	
Auto Idle			Keyed Ignition	
Auto-Shift, 2-Speed Travel			Lift Eye	
Auxiliary Hydraulics, Selectable Flow with Arm Mounted Flush			Rubber Tracks	
Face Quick Couplers			Spark Arrestor Exhaust System	
Canopy			Standard Arm	
Includes: Cup Holder, Retractable Seat Belt, Vinyl Suspension Seat			Turbocharged Tier 4 Diesel Engine, Non DPF	
Roll Over Protective Structure (ROPS)- Meets Requirements of ISO 12117-2: 2008			Vandalism Protection	
Tip Over Protective Structure (TOPS) - Meets Requirements of ISO 12117: 2000			Work Lights - LED	
Falling Object Protective Structure (FOPS) - Meets Requirements of ISO 10262:1998			X-Change (Attachment Mounting System)	
Control Console Locks			Zero Tail Swing	
Control Pattern Selector Valve (ISO/STD)			Telematics - Machine IQ	
Display - Standard Instrument Panel			Warranty: 2 years, or 2000 hours whichever occurs first	
Dozer Blade with Float				
Engine/Hydraulic Monitor with Shutdown				
Fingertip Auxiliary Hydraulic Control				
Fingertip Boom Swing Control				
Horn				
Cab Deluxe Package	M3414-P11-C12	1	10,822.00	10,822.00
<i>Included:</i> Cab Deluxe Package, Enclosed Cab with Auto HVAC, 3yr Machine IQ Health and Security Subscription, Keyless Start, Bobcat 7" Touch Display with Radio and Bluetooth, Heated High Back Cloth Suspension Seat, Travel Motion Alarm				
2nd Aux Hydraulic - Extendable Arm	M3414-R07-C03	1	1,230.00	1,230.00
Extendable Arm	M3414-R03-C03	1	5,033.00	5,033.00
Hydraulic Angle Blade	M3414-R12-C02	1	3,216.00	3,216.00
Hydraulic Clamp - Ext Arm - Class III	M3414-R08-C33	1	2,780.00	2,780.00

Hydraulic X-Change - Extendable Arm	M3414-R06-C08	1	2,433.00	2,433.00
24" MX3 XCHG TEETH	7323530	1	1,611.00	1,611.00

Total for E38 R2-Series Bobcat Compact Excavator **92,483.00**

Quote Total - USD	92,483.00
Dealer P.D.I.	350.00
Freight Charges	1,275.00
Destination Charges	102.00
Discount	
State Contract Discount	-28,248.24
Sales total before Taxes	65,961.76
Taxes	0.00
Quote Total - USD	65,961.76

to purchase!

to Lease:

Notes:

One Year Lease W/Five Points Bank for \$8000 250hrs Limit over usage of \$35 per hour

Customer Acceptance:
 Quotation Number: RK400491 Purchase Order: _____

Authorized Signature:
 Print: _____ Sign: _____

Date: _____ Email: _____ Tax Exempt: Y / N

SEASONAL EMPLOYEES (NON POOL)								
Employee	2017	2018	2019	2020	2021	2022	2023	10/1/2023
Brouillette, Turner	\$9.25	\$9.50	\$10.50	\$11.50	\$11.85			
Dugan, Trevor						\$15.00	\$15.50	
Friedrichsen, Bryan	\$10.00	\$10.23	\$10.46	\$11.46	\$11.85	\$13.00	\$13.00	\$14.17
Jerabek, Grant						\$15.00		
McGowan, Bob		\$9.25	\$10.25	\$11.25				
Sack, Isiah					\$10.00	\$14.00	\$14.50	
Swinarski, Tyler			\$10.00	\$11.00	\$11.33	\$15.00		
Townsend, Chris							\$14.00	

NOTES:

1 - Wilber Medberry retired in 2018; Tyler Swinarski started in 2019

2 - Effective 2021, Tyler will work 3 days for Bill (Sewer); 2 days for Randy (Park)

3 - April 4, 2022 - City Council approved increase in 2022 seasonal wages as follows:

Electrical Department (1)	\$15.00
Street Department (2)	\$15.00
Cemetery/Park (1)	\$16.00
Sewer/Park (1)	\$15.00
Park (1)	\$14.00
Landfill (1)	\$13.00

4- February 6, 2023 approved following:

Chris - \$14.00

Isiah - \$14.50

5- May 1, 2023 approved following:

Trevor - \$15.50

6-Landfill increased 9% 10/01/2023

(City Letterhead)

STREET CLOSURE
APPLICATION FORM

Applicant(s): _____

Contact Information

Mailing Address: _____

Primary Telephone: _____

Email Address: _____

Proposed Use: _____

Location of Closure(s): _____

DATE(S) for Requested Use: _____

HOUR(S) for Requested Use: _____

Number of Barricades or Cones: _____

HOLD HARMLESS AGREEMENT

The applicant, in consideration of the permit being granted agrees to hold harmless the City of St. Paul, NE and its officers and employees from all claims, demands, suits, actions, payments, liability, and judgments because of bodily injury or property damage caused by an accident arising out of the private use of the street. The applicant, in further consideration of the permit being granted, agrees to reimburse the City of St. Paul, NE for all damage to or loss of City property in his/her possession or control under this permit. The applicant agrees to clean the permitted area of all paper products, glass, plastic, trash, and debris after the "end time" approved for the street closures. The applicant also agrees to remove the barricades immediately following clearing of all trash and debris.

Applicant Signature

Date

City of St. Paul Law Enforcement Officer

Date

NOTE: Application must be received by the City by 1:00 p.m. the Wednesday, prior to the City Council meeting.

AGENDA ITEM REQUEST FORM

Anyone wishing to place an item on the City Council agenda must complete this form. The completed form must be submitted to the City Clerk, City of St. Paul, 704 6th Street, St. Paul, NE 68873 no later than Noon on the Wednesday prior to the City Council meeting. If the Wednesday prior to the City Council meeting is a holiday, the deadline is noon on the previous day. The City Council generally meets at 7:00 p.m. on the 1st and 3rd Monday of each month.

City Council Meeting Date: 3-18-24

Requested Agenda Item: add to Police updates

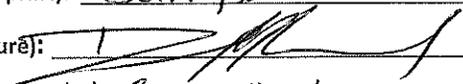
Please state your Agenda Item (please be specific, providing documentation if available):

Lawrence Stump will be coming back to work for the Police Department as a part-time police officer at \$21.00 per hour.

What action do you want the City Council to take? _____

Will this project/item require City funding? YES NO If so, how much? \$21.00 per hour

Name (please print): Dan Howard

Name (signature): 

Address: 514 Grand Street

Phone Number: 308-754-9112

.....
For City Official Use Only

Added to City Council Agenda. Date of City Council meeting: _____
 Referred to City Council Committee for Recommendation

City Council Action Taken: _____

City Funds Authorized: _____

Calls Statistics By Type
HOWARD COUNTY SHERIFF'S DEPARTMENT

Run Date/Time 03/15/2024 - 09:33
From 03/01/2023 To 03/01/2024

Call Type	Description	# of Calls
MP	Missing Person	8
62	Motorist Assist	34
OTH	Other	14
AN	Animal At Large	46
HHS	Hhs Intake	70
52	Traffic Stop	480
D	Disturbance	42
WC	Welfare Check	44
DOG	Dog At Large	15
CAS	Citizen Assistance	30
THE	Theft	24
26	Suspicious Activity	55
FR	Fraud	8
CA	Caller Fyi	18
TC	Traffic Complaint	40
CM	Criminal Mischief	12
BUS	Business Check	41
44	Accident	39
NC	Noise Complaint	13
78	Information	9
UJ	Uncontrollable Juvenile	17
SP	Stolen Property	1
SU	Suicidal	10
TRES	Trespassing	3
C	Civil	16
A	Assault	5
AC	Abandoned 911 Call	7
74	Watch For	2

Calls Statistics By Type
HOWARD COUNTY SHERIFF'S DEPARTMENT

Run Date/Time 03/15/2024 - 09:33
From 03/01/2023 To 03/01/2024

OW	Out Of County Warrant	4
HA	Harassment	11
T	Transient	7
71	Alarm Burglary/Robbery	16
89	Request Assistance	11
IB	Illigal Burn	1
10	Forgery	2
SW	Search Warrant	2
6	Theft	1
47	Dwi	3
TH	Threats	8
LL	Liquor Laws	1
PD	Property Damage	11
PF	Property Found	1
OV	Ordinance Violation	1
40	Narcotics	4
SOR	Violation Sex Offender Registry	1
TRH	Transient/Homeless Person	1
55	Ambulance	18
73	Drunk Pedestrian	1
MI	Mental Investigation	1
PS	Paper Service	1
ANI	Animal Neglect	4
65	Death	2
F	Forgery	1
SH	Shoplifting	1
FU	Follow Up	1
PL	Property Lost	1
TO	Telephone Offense	2
56	Fire	2

Calls Statistics By Type
HOWARD COUNTY SHERIFF'S DEPARTMENT

Run Date/Time 03/15/2024 - 09:33
From 03/01/2023 To 03/01/2024

UB	Unlawful Burning	1
75	Stolen Vehicle	1
BE	Break And Enter	1
EPC	Epc	3
60	Suspended License	1
90	Tower Lights	1
B	Burglary	3
OC	Other Crime	1
		1
S	Sexual Assault	1
SF	Shots Fired	1
49	Cover Traffic	1
70	Message	1

Total
1241

St. Paul Fire and EMS

	Badge	Rank	Name	Address	City	State	Zip	Phone	E-mail Address
1	501	Fire Chief	Becker, Mike	1109 Baxter Street	St. Paul	NE	68873	308-750-3161	mikeb6684@gmail.com
2	502	Assistant Fire Chief	Haggerty, Leo	364 Carol Avenue	St. Paul	NE	68873	308-750-5395	leohag74@gmail.com
3	503	Assistant Fire Chief	Augustyn, Chad	821 8th Street	St. Paul	NE	68873	308-754-7899	caugustyn@live.com
4	504	Assistant Fire Chief	Wilson, Mark	123 Grant Street	St. Paul	NE	68873	308-571-0017	dei_structurefire@hotmail.com
5	505	FF Training Officer	Becker, Nathan	1109 Baxter Street	St. Paul	NE	68873	308-750-3833	nathanbecker98@gmail.com
6	5027	FF/Lieutenant	Huneke, Barrett	1518 Jay Street	St. Paul	NE	68873	402-821-5286	B_Jimele@hotmail.com
7	5120	FF Captain	Koperski, Pat	410 Center Avenue	St. Paul	NE	68873	308-571-0002	patkoperski1962@gmail.com
8	5151	FF/Rescue Captain/FF Lt.	Meyer, Nate	504 Grant Street	St. Paul	NE	68873	308-750-5918	nsmeyer1982@hotmail.com
9	5024	FF Captain	Mrkvicka, Monte	522 M Street	St. Paul	NE	68873	308-571-0036	deertm@gmail.com
10	5034	FF	Anderson, Trae	1010 7th Street	St. Paul	NE	68873	308-750-3202	
11	5104	FF	Becker, James	506 Baxter Street	St. Paul	NE	68873	308-754-4814	jamesbecker72@gmail.com
12	5018	FF / Rescue	Benzel, Fred	993 15 th Avenue	St. Paul	NE	68873	308-370-6163	fredrickbenzel@gmail.com
13	5156	FF	Bonczynski, Scott	PO Box 263	St. Paul	NE	68873	308-750-6021	s_bonzi@yahoo.com
14	5029	FF	Brown, James	1309 6th Street	St. Paul	NE	68873	308-379-4052	jtbrownh414@icloud.com
15	8603	FF	Busse, Brian	1218 Grant Street	St. Paul	NE	68873	402-380-9672	bbtd8603@hotmail.com
16	5107	FF	Koperski, Daniel	416 Center Avenue	St. Paul	NE	68873	308-750-6022	dkoperski1283@gmail.com
17	5022	FF	Kult, Kyle	117 7th Street	St. Paul	NE	68873	402-631-1605	bullhauler1976ne@gmail.com
18	5154	FF	Landers, Bob	Wolbach, NE	St. Paul	NE	68873	303-200-0335	robertlanders@gmail.com
19	5026	FF	Moslander, Tyler	522 6th Apt. 1	St. Paul	NE	68873	402-335-0645	tylermoslander3@gmail.com
20	5117	FF	Seward, Shawn	1119 Davis Street	St. Paul	NE	68873	308-750-2556	sewardshawn@hotmail.com
21	5035	FF	Synowski, Spencer	1320 7th Street	St. Paul	NE	68873	308-750-4864	
22	5051	FF	Treat, Shon	50817 Highway 22	Wolbach	NE	68882	308-390-2767	shontreat1968@gmail.com
23	5033	FF	Wilshusen, Andrew	1528 Indian Street	St. Paul	NE	68873	402-768-1120	awilshusen@ieo.com
24		FF	Woodgate, Kyle	1133 Hwy 92	St. Paul	NE	68873	308-571-0163	
25	5125	FF/Rescue	Brown, Chris	1309 6th Street	St. Paul	NE	68873	308-379-5750	halloweentwinki@yahoo.com
26	5137	FF/Rescue	Koperski, Ladonna	410 Center Avenue	St. Paul	NE	68873	308-850-7052	lad_36@hotmail.com
27	5128	FF/Rescue	Meyer, Nick	330 Kelly Street	St. Paul	NE	68873	308-750-0239	nicholasmeyer7787@gmail.com
28	5122	Rescue / Treasurer	Beck, Connie Jo	822 Sheridan Street	St. Paul	NE	68873	308-571-0045	cjbeck@cityofstpaulne.org
29	5041	Rescue	Greenwalt, Scott	1108 Grant Street	St. Paul	NE	68873	308-383-2471	scottg32@hotmail.com
30	5134	Rescue	Meyer, Deb	504 Grant Street	St. Paul	NE	68873	308-754-5635	ladyclipper@hotmail.com
31	5126	Rescue	Mitteis, Jen	1013 Grand Street	St. Paul	NE	68873	308-750-4340	jennmz28@gmail.com
32	5124	Rescue	Paczosa, Emily	411 Mill Street	Dannebrog	NE	68831	308-750-1776	webbea@live.com
33	5105	Rescue	Paczosa, Marcus	110 Grant Street	St. Paul	NE	68873	308-754-5560	msspsppd@hotmail.com
34	5123	Rescue	Pierson, Kari	1218 5th. Street	St. Paul	NE	68873	308-754-4161	kair68@hotmail.com
35		Rescue	Valasek, Heather	Howard Co Med Ctr	St Paul	NE	68873		
36	5127	Rescue	Wilkins, Devan	508 N Mill Street	Dannebrog	NE	68831	308-529-3650	devilwilkins94@gmail.com
37	5098	Rescue	Wroblewski, Barb	706 "O" Street	St. Paul	NE	68873	308-754-4776	barbwroblewski@hotmail.com
38	Student	FF/EMT 7/17/23	Brumbaugh, Steven	921 Sherman	St. Paul	NE	68873	308-627-8196	
39		FF 7/17/23	Powell, Adam	919 Grant Street	St. Paul	NE	68873	531-229-2565	adam.l.powell@outlook.com
40		FF 8/07/23	Paczosa, Marcus A	924 Wallace Street	St. Paul	NE	68873	308-571-0248	N/A
41	Student	Rescue 7/5/23	Burk, Kerrigan	420 Jay Apt 3B	St. Paul	NE	68873	308-223-0708	kerriganBurk25@gmail.com
42	Student	Rescue 7/5/23	Powell, Brendan	420 Jay Apt 4D	St. Paul	NE	68873	308-750-0940	powellbrendan2004@gmail.com
43		Rescue	Woodgate, Lisa M.	1133 Hwy 92	St. Paul	NE	68873	308-391-1773	
44	Nurse	Rescue 3/4/24	Ryan, Paula	11 Jansen Circle	St. Paul	NE	68873	515-402-9466	
45	Nurse	Rescue 3/4/24	Ondracek, Tarah	PO Box 116	Wolbach	NE	68882	308-850-2918	
46	Nurse	Rescue 3/4/24	Kruse, Amy V	506 Lander	Farwell	NE	68873	308-754-3382	
47	Nurse	Rescue 3/4/24	Carlson, Chloe	1116 Davis Street	St. Paul	NE	68873	308-655-1476	
48	Nurse	Rescue 3/4/24	Almond, Emilee	1109 Davis Street	St. Paul	NE	68873	308-293-3640	
49		Driver	Howard, Daniel	311 Jackson	St. Paul	NE	68873	402-429-0699	dhoward@cityofstpaulne.org
50		Driver	BearHeels, Malik	1512 Grant Street	St. Paul	NE	68873	308-233-1803	
51	5146	Driver	Meyer, Rod	504 Grant Street	St. Paul	NE	68873	308-750-1807	meyer@auroracoop.com
52	5144	Driver	Wilson, Lisa	123 Grant Street	St. Paul	NE	68873	308-571-0170	lisa_strobbe@hotmail.com
53		Rescue Medical Director	Dr. Jared Kramer	1306 Wallace	St. Paul	NE	68873	308-754-4421	

Reviewed 3/6/24

Mike Becker

30 Firefighters
18 EMT's
1 EMS Medical Director
4 Driver's

53 Fire / EMS



JIM STOCK & JOHN STOCK, BigIron Realty · FOLLOW

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We're proud to announce our winners for our First Responders & Medical Professionals 2024 Giveaway! Once again, we had so many wonderful entries this year, it was extremely hard to pick our winners. We are so blessed in the Midwest to have such selfless and caring people. Congrats to our four winners, enjoy your gift cards. You deserve it! #BigIronRealty #YourFarmandRanchSpecialists #NebraskaLandSales #OnlineLandAuctions

2024 Giveaway Winners!



Luz Colon-Rodriguez
Medical Professional



Raymond Keifer
Firefighter

