

Agenda

1. Mayor Bergman calls City Council meeting to order, with the "Pledge of Allegiance" and the "Open Meeting Statement" as required by NE State Statutes 84-1407 through 84-1414; Mayor Bergman also states that the City Council may vote to go into Closed Session on any agenda item as allowed by NE State Statute 84-1410.
2. Submittal of Request for Future Agenda Items
3. Reserve time to Speak on an Agenda Item
4. Discuss - Approve / Deny Agreement between the City of St. Paul, NE and Fiber Nebraska LLC for the purpose to furnish Telecommunication services to the persons residing in the City of St. Paul, NE and vicinity, and therewith will need to erect and maintain aerial cables, wires, and associated appliances throughout the area to be served, and will attach such cable, wires and appliances to the poles of the City. The Operator shall pay the City for the attachments made to the City's poles at a rental rate of \$4.00 per pole.
 - a. Approve / Deny the Telecommunication Franchise Agreement. The Franchise Agreement will be for a Term of ten (10) years and the Grantee shall pay an Occupation Tax of three (3) percent on the gross receipts. The payments shall be made quarterly.
5. Discuss - Approve / Deny Mayor Bergman appointing Dan Scheer to replace Jerry Woodgate on the St. Paul Planning & Zoning Committee; Mr. Scheer is a representative within the City's one-mile extraterritorial jurisdiction.
6. Discussion - Update on rezoning to allow housing in the Light Industrial District, and City costs to move forward - possible action.
7. **BID SPECS REGARDING ELECTRICAL EQUIPMENT**
Discuss - Approve / Deny Electrical Commissioner Jamie Summers bid specs on: (1) used Altec 41M or Equivalent used unit AND (2) 2-Man End Mounted Platform with 180 degree Platform Rotation; up to 600 lb. (272 kg) capacity; safety features on this unit must include a platform liner, fall protection system, wheel chocks and outrigger pads.
8. In March the NE Dept. of Economic Development awarded the City of St. Paul \$1 million in funds remove/rehab dilapidated houses. Program requirements changed the grant to a zero percent (0%) loan that would have to be repaid. If all communities awarded money decline the funds, the NE Legislature may be tasked with re-allocating the funds with more favorable terms however a new application process will be required. **Discuss - Approve / Deny declining the ARPA Rural Workforce Land Development (RWLD) funds awarded in March 2023.**
9. Discuss - Approve / Deny Consent Agenda Items:
 - (1) Council minutes regarding September 18, 2023 (regular);
 - (2) Zoning permits September 25, 2023; and
 - (3) Disbursements October 2, 2023.

10. Discussion regarding pets at the City of St. Paul's Elmwood Cemetery; possible action in forming a pet ordinance.
Note: Currently, there is no Municipal Code for pets in the Elmwood Cemetery under Chapter 3, Article 10.
11. Utilities Superintendent Helzer updates
12. Chief of Police Howard updates:
13. Mayor Bergman updates include:
 - (1) Citizens Bank & Trust will increase interest rates on the City's Intrafi Insured Cash Sweep (ICS) accounts from 3.85% to 4.40% effective Wednesday, September 20, 2023;
 - (2) Sales Tax Revenue;
 - (3) St. Paul Library Board minutes of September 20, 2023, and April 13, 2023;
 - (4) Chief of Police Dan Howard has hired Malik Bearheels as a City of St. Paul part-time City Officer at an hourly rate of \$21; currently, Mr. Bearheels is employed at the Howard County Sheriff's Office full-time;
 - (5) Please see the attached instructions on how City patrons can retrieve the City Agendas and Minutes through the City of St. Paul website; this will be placed in the Phonograph Herald next week;
 - (6) City's 2022-2023 Property Tax: The City allocated \$837,600 for 2022-2023; the City collected \$849,686 = an increase of \$12,086;
14. Public Announcements
15. Closed Session: Pending Litigation; Strategy Session with respect to real estate purchase; and prevent needless injury to the reputation of an individual
16. Mayor Bergman adjourns City Council meeting
17. Informational Items:
18. **This agenda, including supporting documentation, is available for public viewing during normal business hours at the City Office, 704 6th Street, St. Paul, Nebraska.**

The City of St. Paul abides by the Nebraska Open Meetings Act in conducting business. A copy of the Nebraska Open Meetings Act is on display in the meeting room as required by Nebraska State Law.

The Mayor and City Council reserve the right to enter into an Executive Session at any time during the meeting, in accordance with the Nebraska Open Meetings Act, even though the closed session may not be indicated on the Agenda.

It is the intention of the Mayor and City Council to take up the items on the agenda in sequential order. However, the Mayor and City Council reserves the right to take up matters in a different order to accommodate the schedules of the City Council members, person(s) having items on the agenda, and the public. The City of St. Paul reserves the right to adjust the order of items on the agenda.

Anyone wishing to speak may be limited to three (3) to five (5) minutes per person. Please utilize the podium and clearly state your name and address for the record and the agenda topic you wish to speak upon in a professional manner.

AGENDA ITEM REQUEST FORM

Anyone wishing to offer comments or concerns about city matters, or who wants to have an item placed on the City Council agenda must complete this form. The completed form must be submitted to the City Clerk, City of St. Paul, 704 6th Street, St. Paul, NE 68873 no later than Noon on the Wednesday prior to the City Council meeting. If the Wednesday prior to the City Council meeting is a holiday, the deadline is noon on the previous day. The City Council generally meets at 7:00 p.m. on the 1st and 3rd Monday of each month.

City Council Meeting Date: _____

Requested Agenda Item: _____

Please state your comment or concern (please be specific, providing documentation if available):

What action do you want the City Council to take? _____

Will this project/item require City funding? YES ____ NO ____ **If so, how much?** _____

Name (please print): _____

Name (signature): _____

Address: _____

Phone Number: _____

.....
For City Official Use Only

___ Added to City Council Agenda. Date of City Council meeting: _____

___ Referred to City Council Committee for Recommendation

City Council Action Taken: _____

City Funds Authorized: _____

**City of St. Paul
704 6th Street
St. Paul, Nebraska 68873
(308)754-4483**

REQUEST FOR OPEN PUBLIC RECORDS

RECORD REQUEST INFORMATION (To be completed by Requestor – Please Print)

Full Name: _____ (Phone) _____

Address: _____ (Street) _____ (City) _____ (State) _____ (Zip)

I hereby acknowledge that I am aware that under the terms of Neb. Rev. Stat. §84-712, I am authorized to examine public records not withheld from me under the terms of Neb. Rev. Stat. §84-712.04 or other appropriate statutes, and that I may make memoranda and abstracts therefrom during the hours the offices are normally open to the public.

I hereby declare that I do not intend to and will not:

- a. Use any list of names or addresses contained in or derived from the records or information for the purpose of selling or offering for sale any property or service to any person listed or to any person who resides at any address listed; or
- b. Sell, give, or otherwise make available to any person any list of names or addresses contained in or derived from the records or information for the purpose of allowing that person to sell or offer for sale any property or service to any person who resides at any address listed.

I hereby request a copy of the following public records:

Requestor Signature _____ Date _____ Email/Fax Number _____

(Most records will be provided within four (4) full business days from the date of request.)

For Administrative Records

The request for the above-named document(s) was granted and/or allowed to be examined.

Signed _____ Date _____

This request was denied, and the requesting party was issued a letter of denial in accordance with the provisions of Neb. Rev. Stat. §84-712.04.

Signed _____ Date _____

YOUR COPY OF THIS FORM SHALL SERVE AS YOUR RECEIPT

If you have any questions about your record request, please contact the City Clerk's Office at (308) 233-3216.

**City of St. Paul
Citizen Complaint Form**

Name of person making complaint _____
Residential address _____
Postal address _____
Phone Number _____ Email address _____

Complaint Details

Date of Incident _____ Time _____
Location of Incident _____
Who/what is the subject of your complaint? _____
DETAILED summary of your complaint _____

Witness Details (If applicable)

Name of witness(es) _____
Address _____

Phone Number of witness _____

Complaint Outcome

How would you like this issue resolved? _____

Signature of Complainant

Action taken by City

AGREEMENT

THIS AGREEMENT made this 2nd day of October 2023, by and between the City of St. Paul, Nebraska, a municipal corporation, hereinafter called CITY, and Fiber Nebraska, LLC, a limited liability company of the State of Nebraska, hereinafter call OPERATOR.

WITNESSETH:

Whereas, OPERATOR proposes to furnish Telecommunications service to persons residing in the City of St. Paul, Nebraska and vicinity, and in connection therewith will need to erect and maintain aerial cables, wires, and associated appliances throughout the area to be served, and desires to attach such cables, wires, and appliances to the poles of CITY; and

Whereas, CITY is willing to permit, to the extent that it may lawfully do so, the attachment of said cables, wires, and appliances to CITY's poles wherein its judgment such use will not interfere with its own service requirements or the service requirements of others using such poles, including considerations of economy and safety. Wires will be installed following the National Electric Code guidelines.

NOW THEREFORE, in consideration of the mutual covenants, terms and conditions herein contained, the parties hereto do hereby mutually covenant and agree as follows:

1. OPERATOR shall at any time, at its own expense, upon notice from CITY, relocate, replace, or remove its facilities placed on said poles, and transfer then to substituted poles, or perform any other work in connection with said facilities that may be required by CITY.
2. CITY shall not be liable to OPERATOR, its customers, or any others, for any interruption of service of OPERATOR or for interference with the operation of OPERATOR'S equipment arising in any manner out of the use or discontinuances of such poles hereunder. CITY shall not be liable to any person for personal injury or property damage except as may be caused by the negligence of the CITY, or its employees.
3. OPERATOR shall pay the CITY, for the attachments made to the CITY'S poles under this Agreement, a rental rate set by the City's resolution setting fees. The current rate is \$4.00 per pole. Said rental shall be paid semi-annually in advance on the 15th day of January and July of each year during which this Agreement remains in effect upon presentation of a statement by the CITY.

The number of poles attached by the OPERATOR must be mutually determined by the parties in the manner specified.

4. OPERATOR shall indemnify, protect and/or hold harmless, the CITY from and against any and all claims or demands for damages to property and injury or death to persons, including payments made under workers compensation law or under any plan for employees disability and death benefits, and including all expenses incurred in defending against any such claims or demands, which may arise out of or to be caused by the negligence of the OPERATOR, and OPERATOR further agrees to carry liability insurance, having limits as shown on the attached Certificate of Liability Insurance, marked Attachment "A" and made a part thereof.
5. Should OPERATOR for any reason cease to furnish community Telecommunications service which this Agreement is designed to facilitate, then, and in that event, all of OPERATOR'S right under this Agreement shall automatically terminate and OPERATOR shall immediately remove its equipment from all of the CITY'S poles and if not so removed, CITY shall have the right to remove it at the cost and expense of OPERATOR, provided however, that OPERATOR shall have the right to assign the Pole Attachment Agreement to a successor organization with the written consent of the CITY and CITY hereby covenants that such consent shall not be unreasonably withheld.
6. Nothing herein contained shall be construed as affecting the rights or privileges previously granted by the CITY, by contract or otherwise, to others not parties to this Agreement, to use any poles covered by this Agreement; and CITY retains the right to continue and extend such rights or privileges. The attachment privileges herein granted shall at all times be subject to such existing contracts and arrangements. Nothing herein contained shall be construed as affecting or limiting the right of the CITY to make other and additional contracts with other persons, firms, corporations, or associations for the joint use of CITY'S poles and facilities.
7. IF OPERATOR SHALL FAIL TO COMPLY WITH ANY OF THE PROVISIONS OF THE AGREEMENT, including the specifications hereinbefore referred to, or shall default in any of its obligations under the terms hereof, or breach this Agreement and shall fail within thirty (30) days after written notice from CITY to correct such default, noncompliance or breach, CITY may, as its option, forthwith terminate in whole or in part

OPERATOR'S attachment rights hereunder, provided however, that nothing in this section shall affect the provisions and obligations agreed upon in Section 5 hereof. Upon such termination, OPERATOR shall immediately remove its equipment from the pole or poles involved and if not so removed, CITY shall have the right to remove it at the costs and expense of OPERATOR.

8. This Agreement shall become effective upon the date hereof and, if attachment rights are not terminated in accordance with the provisions of other sections of the Agreement which provide for such termination, shall remain in effect for a term of ten (10) years from said date and thereafter continue in effect subject to the right of either party hereto to terminate this Agreement at any time after the end of such term by giving to the party at least six (6) months prior written notice of said party's desire to terminate this Agreement, in which case this Agreement shall terminate six (6) months after the giving of said notice. Within thirty (30) days after the termination of this Agreement, as provided in this section, OPERATOR shall remove OPERATOR'S equipment from CITY'S poles. If not removed within thirty (30) days after the termination date, CITY shall have the right to remove all of OPERATOR'S equipment remaining attached to CITY'S poles at the cost and expense of OPERATOR and without any liability, therefore.
9. This Agreement shall not inure to the successors of OPERATOR nor shall OPERATOR assign, transfer, or sublet the privileges hereby granted without the prior consent in writing of CITY.

IN WITNESS WHEREOF, the parties hereto have, respectively, caused this AGREEMENT to be duly executed the day and year first above written.

CITY OF ST. PAUL, NEBRASKA

FIBER NEBRASKA, LLC

Joel M. Bergman, Mayor

By: _____
Stuart Gilbertson, Owner/Member

Connie Jo Beck, City Clerk/Deputy Treasurer

TELECOMMUNICATIONS FRANCHISE

AN ORDINANCE OF THE CITY OF ST. PAUL, NEBRASKA, GRANTING A TELECOMMUNICATIONS FRANCHISE TO **FIBER NEBRASKA, LLC**.

BE IT ORDAINED BY THE MAYOR AND THE COUNCIL MEMBERS OF THE CITY OF ST. PAUL, NEBRASKA:

1. **Grant of Franchise:** The City of St. Paul, Nebraska (hereinafter "City"), grants to Fiber Nebraska, LLC (the "Grantee") a non-exclusive Franchise to install, operate, maintain or otherwise locate telecommunications facilities upon, over, under and in the public Right-of-Way and on the poles and other apparatuses within the City (the "Franchise").

1.1 **"Right-of-Way"** means the surface of, and the space above and below, any public street, highway, freeway, bridge, land path, alley, court, boulevard, sidewalk, way, lane, public way, drive, circle or other public Right-of-Way, including, but not limited to, utility easements, dedicated utility strips, or Right-of-Way dedicated for compatible uses now or hereafter held by the City in the Franchise Area, which shall entitle the Grantee the use thereof for the purpose of installing, operating, upgrading and maintaining the telecommunications system. Right-of-Way shall also mean any easement now or hereafter held by the City within the Franchise Area for the purpose of public travel or for utility or public service use dedicated for compatible uses.

2. **Term:** The Franchise is granted for a term of **10** years beginning with the date that it is accepted by the Grantee. Thereafter, the Franchise may be renewed on terms and conditions as may be mutually acceptable to the City and the Grantee.
3. **Acceptance:** The Grantee shall file a written acceptance of the Franchise with the City Clerk within 30 days of the date of this Ordinance. The Franchise will go into effect only when the acceptance has been filed.
4. **Occupation Tax:** The Grantee shall pay an occupation tax equal to 3% of the Gross Receipts of the Grantee, determined and paid as follows:
 - a. "Gross Receipts" shall mean charges collected by the Grantee for Internet service delivered by the Grantee to subscribers located within the City.
 - b. The occupation tax shall be paid in quarterly payments to the City Clerk, using the calendar quarter year as a basis for determining and

computing the amount of tax payable. Each quarterly payment shall be due 45 days after the end of each calendar quarter. Each payment shall be accompanied by a report in a form as provided by the City, which report shall be certified as true and correct by an authorized representative of the Grantee.

- c. Each succeeding quarterly payment may include any adjustment for refunds, uncollectibles, or any other matters which may have resulted in either an excess or a deficiency in the amount of tax paid in any previous quarter.
- d. All payments of the occupation tax which are made after the due date of the payment shall draw interest at the rate of 12% per annum.
- e. The City shall have the right at any time, upon reasonable advance notice to inspect, through its officers, agents or representatives, the books and records of the Grantee for the purpose of verifying the information on any report required under this section.

5. **Insurance:** The Grantee shall maintain a comprehensive general liability insurance policy with limits of not less than \$2,000,000 per occurrence naming the City as an additional insured. The Grantee shall maintain a current certificate as to coverage with the City at all times.

6. **Specific Conditions:**

- a. Poles: The Grantee shall make every reasonable effort to use, through appropriate contractual agreements, existing utility poles in order to eliminate, to the greatest extent possible, placement of new poles. In the event new poles must be placed and lines must be created overhead, the Grantee shall erect such poles and lines in a manner so as to have the minimum affect upon other utilities, specifically including those utilities provided by the City.
- b. Undergrounding: Wherever the electric or other utilities are underground at a particular location, the Grantee's facilities must, if reasonably possible, be located underground.
- c. Right of City to Make Improvements: Nothing in the Franchise shall be construed to prevent the City and its proper authorities from maintaining sewers and gutter, or improving its streets, alleys and public ways. For such purposes, the City may require the Grantee to remove the Grantee's poles, wires and connections to facilitate such construction and maintenance within the City Right-of-Way at Operator's expense.

7. **Indemnity:** The Grantee shall defend, indemnify and hold the City and its officers, officials, employees, agents and representatives harmless from and against any and all damages, losses and expenses, including reasonable attorney fees and costs of suit or defense arising out of, resulting from, acts, omissions, or misconduct of the Grantee or its affiliates, officers, employees, agents, contracts or subcontractors in the construction, operation, maintenance, repair, or removal of its telecommunication facilities within the City's public ways.
8. **Non-Exclusive Franchise:** The Franchise is non-exclusive. There shall be no restriction on the number of franchises in all or any part of the City.
9. **Compliance with Law:** The Grantee shall comply with laws, codes, rules and regulations of all governmental authorities, to include all applicable laws, ordinances, resolutions, codes, rules and regulations of the City. The City reserves the right to enact and enforce any additional reasonably necessary regulations concerning the construction, operation, and maintenance of facilities along, over, or under streets, alleys, and other public ways and public grounds.
10. **Grantee's Representations:** The Grantee represents and warrants to the City that: 1) it has the right, power and authority to accept the Franchise granted to it; 2) the individual executing the acceptance on behalf of the Grantee has the power and authority to bind Grantee, and 3) neither the execution of its acceptance nor the performance of the obligations contemplated by it will result in a breach or default under the Franchise, nor will it violate any restriction, court order or agreement to which the Grantee is subject.
11. **Assignment of Franchise:** The Grantee shall have no right to assign or transfer this Franchise, or any of its rights and privileges granted under this Ordinance or sell, lease, license, or permit others to use or transfer in any manner any interest in all or a part of its facilities that may be installed or operated under this Franchise, except on prior written approval by the City, which approval shall not be unreasonably withheld.
12. **Revocation:** This Franchise may be revoked, at the option of the City, upon failure or refusal of the Grantee to comply with the terms and conditions of this Ordinance. Prior to any such revocation, the City shall provide notice of non-compliance.
13. **Force Majeure:** Neither party shall be liable to the other for any delay or failure in performance of any part of this Franchise if the delay is caused by a Force

16. **Binding Effect:** Each of the terms, conditions and provisions of the Franchise shall be binding upon and shall inure to the benefit of the parties, and the respective successors and assigns.
17. **When Effective:** This Ordinance shall be in full force and effect from and after its passage, approval and publication according to law and shall be published in pamphlet form by authority of the City Board.

PASS AND APPROVED on October 2, 2023.

Joel M. Bergman, Mayor

ATTEST:

Connie Jo Beck, City Clerk/Deputy Treasurer

ACCEPTANCE

Fiber Nebraska, LLC, accepts the terms of the above Ordinances and Franchise, and agrees to comply with requirements set out above.

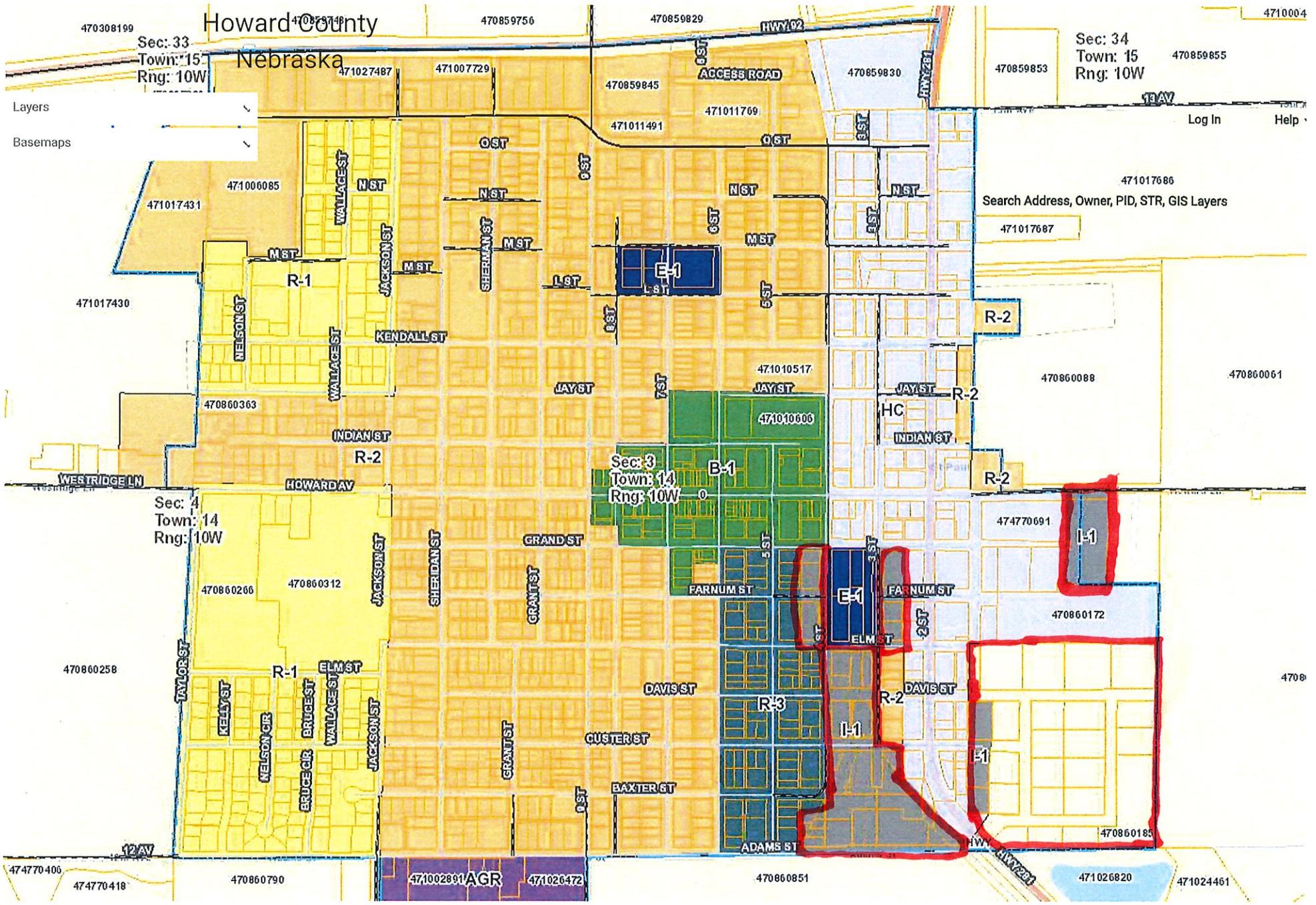
Dated: October 2, 2023.

Fiber Nebraska, LLC

By: _____
Stuart Gilbertson, Owner/Member

Agenda Item:

Appoint Dan Scheer to replace Jerry Woodgate on the St. Paul Planning Commission as a representative within the City's one-mile extraterritorial jurisdiction.



* Light Industrial Areas

17-568.01. City engineer or village engineer; public works; prepare estimate of cost; board of public works; powers; contracts; procedure; city council or village board of trustees; powers and duties; public emergency.

(1) The city engineer in a city of the second class or village engineer shall, when requested by the mayor, city council, or village board of trustees, make estimates of the cost of labor and material which may be done or furnished by contract with the city or village and make all surveys, estimates, and calculations necessary to be made for the establishment of grades, the building of culverts, sewers, electric light systems, waterworks, power plants, public heating systems, bridges, curbing, and gutters; the improvement of streets, and the erection and repair of buildings and shall perform such other duties as the city council or village board of trustees may require.

When a city of the second class has appointed a board of public works, and the mayor and city council have by ordinance so authorized, the board of public works may utilize its own engineering staff and may hire consulting engineers for the design and installation of extensions and improvements of the works under the jurisdiction of the board of public works. Whenever the mayor and city council have authorized the same, the board of public works may purchase material and employ labor for the enlargement or improvement of the systems and works under the jurisdiction of the board of public works.

(2) Except as provided in section 18-412.01, no contract for enlargement or general improvements, such as water extensions, sewers, public heating systems, bridges, work on streets, or any other work or improvement when the cost of such enlargement or improvement is assessed to the property, costing over thirty thousand dollars shall be made unless it is first approved by the city council or village board of trustees.

(3) Except as provided in section 18-412.01, before the city council or village board of trustees makes any contract in excess of thirty thousand dollars for enlargement or general improvements, such as water extensions, sewers, public heating systems, bridges, work on streets, or any other work or improvement when the cost of such enlargement or improvement is assessed to the property, an estimate of the cost shall be made by the city engineer or village engineer and submitted to the city council or village board of trustees. In advertising for bids as provided in subsections (4) and (6) of this section, the city council or village board of trustees may publish the amount of the estimate.

(4) Advertisements for bids shall be required for any contract costing over thirty thousand dollars entered into (a) for enlargement or general improvements,

such as water extensions, sewers, public heating systems, bridges, work on streets, or any other work or improvement when the cost of such enlargement or improvement is assessed to the property, or (b) for the purchase of equipment used in the construction of such enlargement or general improvements.

⑤ A municipal electric utility may enter into a contract for the enlargement or improvement of the electric system or for the purchase of equipment used for such enlargement or improvement without advertising for bids if the price is: (a) Thirty thousand dollars or less; (b) sixty thousand dollars or less and the municipal electric utility has gross annual revenue from retail sales in excess of one million dollars; (c) ninety thousand dollars or less and the municipal electric utility has gross annual revenue from retail sales in excess of five million dollars; or (d) one hundred twenty thousand dollars or less and the municipal electric utility has gross annual revenue from retail sales in excess of ten million dollars.

Vehicle
Purchase
per
Atty White

(6) The advertisement provided for in subsections (3) and (4) of this section shall be published at least seven days prior to the bid closing in a legal newspaper in or of general circulation in the city or village. In case of a public emergency resulting from infectious or contagious diseases, destructive windstorms, floods, snow, war, or an exigency or pressing necessity or unforeseen need calling for immediate action or remedy to prevent a serious loss of, or serious injury or damage to, life, health, or property, estimates of costs and advertising for bids may be waived in the emergency ordinance authorized by section 17-613 when adopted by a three-fourths vote of the city council or village board of trustees and entered of record.

(7) If, after advertising for bids as provided in subsections (3), (4), and (6) of this section, the city council or village board of trustees receives fewer than two bids on a contract or if the bids received by the city council or village board of trustees contain a price which exceeds the estimated cost, the mayor and the city council or village board of trustees may negotiate a contract in an attempt to complete the proposed enlargement or general improvements at a cost commensurate with the estimate given.

(8) If the materials are of such a nature that, in the opinion of the manufacturer and with the concurrence of the city council, village board of trustees, or board of public works, no cost can be estimated until the materials have been manufactured or assembled to the specific qualifications of the purchasing municipality, the city council, village board of trustees, or board of public works may authorize the manufacture and assemblage of such materials and may thereafter approve the estimated cost expenditure when it is provided by the manufacturer.

Source: Laws 1879, § 20, p. 197; R.S.1913, § 5011; Laws 1921, c. 183, § 1, p.

695; C.S.1922, § 4180; Laws 1925, c. 51, § 1, p. 202; C.S.1929, § 17-119; Laws 1943, c. 25, § 1, p. 118; R.S.1943, § 17-568; Laws 1949, c. 25, § 1(2), p. 98; Laws 1951, c. 34, § 1, p. 134; Laws 1957, c. 32, § 1, p. 195; Laws 1959, c. 61, § 2, p. 277; Laws 1969, c. 78, § 2, p. 409; Laws 1975, LB 171, § 2; Laws 1979, LB 356, § 2; Laws 1983, LB 304, § 4; Laws 1984, LB 540, § 8; Laws 1997, LB 238, § 3; Laws 2008, LB947, § 2; Laws 2017, LB133, § 193.

Annotations

Engineer's estimate of cost of proposed improvement under this section is jurisdictional. *Campbell v. City of Ogallala*, 183 Neb. 238, 159 N.W.2d 574 (1968).

Engineer's estimate of cost of proposed sidewalk is jurisdictional, and must be submitted to and approved by council before it may make contract for laying the same. *Moss v. City of Fairbury*, 66 Neb. 671, 92 N.W. 721 (1902).

Council has no power to contract for grading until it shall have enacted an ordinance therefor after an estimate of the cost has been made by the city engineer. *Fulton v. City of Lincoln*, 9 Neb. 358, 2 N.W. 724 (1879).

Used Altec 41M or Equivalent used unit

- Altec ISO-Grip® System
 - 4-Function, Single Handle Upper Control
 - Telescopic/Articulating Aerial Device 40-45 foot working height
 - Compensated Articulating Arm
 - Hydraulic Boom Extension
 - Insulated, ANSI Category C, 46 kV and Below
 - Continuous Rotation
 - Platform, Single 1-Man or 2-Man
 - Hydraulic Platform Leveling
 - Full Pressure, Open Center Hydraulic System
 - Emergency Stop Valves at Upper and Lower Control Stations
 - Tool Circuit at Platform
 - Back-up Alarm
 - Outrigger Motion Alarm and Outrigger Interlocks
 - Jib offering Jib Capacities to 1100 lb (499 kg)
 - 1-Man Side Mounted Platform w/90° Platform Rotation and 400 lb
- or
- 2-Man End Mounted Platform with 180° Platform Rotation and up to 600 lb (272 kg) capacity
 - 24" Platform Elevator
 - Engine Start/Stop
 - Manual Throttle Control
 - Phase Lifting Jib Attachment and Accessories
 - Attachment for Removal of ARM Jib
 - Drive, automatic or manual, 4x4
 - Engine, Diesel
 - Stowed travel height MAX 11 FEET
 -
 -
 -

safety features on this unit must include a platform liner, fall protection system, wheel chocks and outrigger pads.

Connie Beck

From: James Summers
Sent: Wednesday, September 27, 2023 10:10 AM
To: Connie Beck
Subject: Bucket truck bid specs
Attachments: Bucket truck bid specs^.xlsx

Importance: High

Connie, attached are some basic bid specs for Council approval. Please attach to the agenda for discussion/approval.

*James Summers
City of St. Paul
Electrical Commissioner
704 6th Street
St Paul NE 68873
Telephone: (308)754-4483
Cell: (308)414 1723*

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1	LIGHT #1 June 2023	21-22 Actual	22-23 Budget	22-23 Estimate	23-24 Budget
2	REVENUE	A	B	C	D
3	Rental: Charter Pole; Century Link	\$ 5,149.00	\$ 4,726.00	\$ 4,725.00	\$ 4,725.00
4	(St of NE Rent 504981 \$3,000)				
5	Reconnect Fee 01-255	\$ 660.00	\$ 250.00	\$ 490.00	\$ 250.00
6	Disconnect Notice Fee 01-256	\$ 14,589.00	\$ 12,000.00	\$ 13,000.00	\$ 12,000.00
7	Bad Check Fee \$25	\$ 225.00	\$ -	\$ 200.00	\$ -
8	Light PCA 01-266: 22-23 \$164672	\$ -	\$ -	\$ -	\$ -
9	Iron (Scrape) Kramers	\$ 446.00	\$ -	\$ -	\$ -
10	Interest: 504981; CD's; ICS	\$ 9,910.00	\$ 7,250.00	\$ 36,815.00	\$ 7,250.00
11	Metered Sales 1%	\$ 2,600,003.00	\$ 2,613,768.00	\$ 2,610,000.00	\$ 2,610,000.00
12	Cons. Dep. Credit Card 01-491	\$ 3,650.00	\$ 2,500.00	\$ 2,250.00	\$ 2,500.00
13	Shop Sales	\$ -	\$ -	\$ 1,028.00	\$ -
14	Reimburse: Relocate Siren	\$ 8,033.00	\$ -	\$ 2,050.00	\$ -
15	Sale Tx Form 10: 1%	\$ 152,820.00	\$ 163,317.00	\$ 160,036.00	\$ 160,000.00
16	No City Sales Tax: 1%	\$ 1,193.00	\$ 1,171.00	\$ 1,204.00	\$ 1,200.00
17	RESERVES: Trak Hoe \$60,000; Squirt	\$ -	\$ -	\$ -	\$ 156,000.00
18	Boom Trk \$90,000; Supply \$4,000;				
19	Tool Holder Bucket Trk \$1,800				
20	TOTAL REVENUES	\$ 2,796,678.00	\$ 2,804,982.00	\$ 2,831,798.00	\$ 2,953,925.00
21	EXPENSE				
22	PERSONNEL SERVICES				
23	Salary & Wages 6.07%	\$ 235,650.00	\$ 282,527.00	\$ 246,000.00	\$ 279,350.00
24	Vac. (Retire Edw. T \$16,077)				
25	Overtime	\$ 9,724.00	\$ 5,000.00	\$ 7,006.00	\$ 5,000.00
26	Fica - 6.20%	\$ 14,259.00	\$ 17,827.00	\$ 15,686.00	\$ 17,630.00
27	Medicare - 1.45%	\$ 3,335.00	\$ 4,169.00	\$ 3,669.00	\$ 4,123.00
28	Pension 6%	\$ 12,218.00	\$ 15,831.00	\$ 15,180.00	\$ 16,782.00
29	Insurance: BCBS 4% / LTD	\$ 81,772.00	\$ 69,002.00	\$ 43,456.00	\$ 88,256.00
30	OPERATING EXPENSE				
31	Prof & Sch: Mtr; Transf; CPR; Rate	\$ 565.00	\$ 2,000.00	\$ 1,200.00	\$ 15,000.00
32	Study 12,000; Banyon Sch \$1000				
33	Adm & Dues: Util Sec; NPPD;	\$ 4,590.00	\$ 4,200.00	\$ 4,700.00	\$ 4,700.00
34	Sparq; League (Utilities)				
35	Legal Fees: Middle Loup & Union	\$ 773.00	\$ 1,000.00	\$ -	\$ 1,000.00
36	Commun: Digger 250; Clearfly 1050;	\$ 1,273.00	\$ 2,000.00	\$ 1,800.00	\$ 3,400.00
37	Internet Hamilton 2100 (laptop)				
38	Gas & Oil	\$ 6,684.00	\$ 7,000.00	\$ 6,568.00	\$ 7,000.00
39	Publish & Codif; Rate Ord. & Help Ad	\$ 369.00	\$ 500.00	\$ 250.00	\$ 2,000.00
40	(Northeast Norfolk; Northwest Sydney)				
41	Insurance: LARM: 20%	\$ 24,266.00	\$ 29,483.00	\$ 26,557.00	\$ 31,868.00
42	Personal Protective Equipment (PPE)	\$ -	\$ -	\$ -	\$ 8,800.00
43	Public Utility (REA) (Solar)	\$ 1,640,880.00	\$ 1,649,677.00	\$ 1,696,444.00	\$ 1,696,444.00
44	Heritage UB ACH Fees \$25 Mthly	\$ 322.00	\$ 360.00	\$ 300.00	\$ 360.00
45	UB DocuSend Fee	\$ 83.00	\$ 150.00	\$ 76.00	\$ 150.00
46	Uniforms: \$400x3	\$ 1,045.00	\$ 1,200.00	\$ 1,200.00	\$ 1,200.00
47	Util R&M: Cable, Transf; Reclosure	\$ 13,542.00	\$ 40,000.00	\$ 10,333.00	\$ 40,000.00
48	Vehicle R&M: Truck TESTING	\$ 3,294.00	\$ 10,000.00	\$ 9,000.00	\$ 10,000.00
49	Tools: Tool Holder Truck \$1,800	\$ 2,702.00	\$ 5,000.00	\$ 5,000.00	\$ 6,800.00
50	Sale Tx Form 10: Line Loss 5%	\$ 150,629.00	\$ 161,029.00	\$ 158,894.00	\$ 158,894.00
51	Check Order: Dugan: Chkg & Con Dep	\$ 177.00	\$ 300.00	\$ -	\$ 400.00

52	Computer:Itron 1100,Banyon 2000,	\$ 6,198.00	\$ 7,300.00	\$ 9,000.00	\$ 8,000.00
53	Ebilling 890; COR 2200; LapTop				
54	Ccyber Sec 1800				
55	Office Supplies	\$ 2,426.00	\$ 3,000.00	\$ 2,500.00	\$ 3,000.00
56	Postage: Utility Billing	\$ 1,991.00	\$ 2,500.00	\$ 2,350.00	\$ 2,500.00
57	Acct Fees-Audit 17,400; Budget 9,400	\$ 3,593.00	\$ 7,267.00	\$ 7,267.00	\$ 6,600.00
58	Cons. Dep. Credit Card 01-20-491	\$ 3,400.00	\$ 2,500.00	\$ 2,250.00	\$ 2,500.00
59	Bldg R&M: Copier/Printer	\$ 1,223.00	\$ 5,000.00	\$ 2,000.00	\$ 5,000.00
60	Mach & Equip: Trak Hoe \$60,000;	\$ -	\$ -	\$ -	\$ 150,000.00
61	Squirt Boom Trk \$90,000				
62	Penalty/Fine: Bad Ck Fee \$3.00	\$ 451.00	\$ -	\$ 9.00	\$ 9.00
63	Merch/Supply: Vise Lock \$4,000				\$ 4,000.00
64	CAPITAL OUTLAY				
65	Improve: Wire; Mtr Pads; Mtr Sockets;	\$ 5,688.00	\$ 35,000.00	\$ 6,000.00	\$ 100,000.00
66	MIDDLE LOUP SUBD.				
67	Equip. Sink	\$ 6,000.00	\$ 6,000.00	\$ 6,000.00	\$ 6,000.00
68	DEBT SERVICE				
69	Trfr Out (Gen Util Sup)	\$ 18,710.00	\$ 19,282.00	\$ 19,282.00	\$ 21,019.00
70	Trfr Out (Police \$178500)	\$ 140,000.00	\$ 178,500.00	\$ 178,500.00	\$ 178,500.00
71	Trfr Out (Park \$66,800.00)	\$ 66,800.00	\$ 66,800.00	\$ 66,800.00	\$ 66,800.00
72	TOTAL EXPENDITURES	\$ 2,464,632.00	\$ 2,641,404.00	\$ 2,555,277.00	\$ 2,953,085.00
73	NET ANNUAL CASH FLOW	\$ 332,046.00	\$ 163,578.00	\$ 276,521.00	\$ 840.00
	M. Mkt #504981 = \$12,241				
	ICS (Citizens) = \$665,339				
	NPAIT = \$462,632		????CONSTRUCTION DATE		
	NE CLASS = \$503,667				
	Heritage Bank #411025 = \$187,870				
	Consumer Deposit #102-415 = \$55,451				
	Cafeteria 125 #102-407 = \$17,227				
	2018 UB Ebilling Module \$695 (one time fee) plus \$195 Annually				
	2019 Timecard Module - \$2500				
	2019 Hand held Upgrade for Lights & Water: Lap top \$400 & Reader \$1800				
	2019 Quonset moved to Northyards from TO Haas with placement of cement for flooring				
	2021 Quonset painting \$6,000 - Gray				
	2022 Painting Transformers				
	2022-2023 Laptop: \$3790				
	2022-2023 Itron Mobile Upgrade				
	LIGHT #1				

AGENDA ITEM REQUEST FORM

Anyone wishing to place an item on the City Council agenda must complete this form. The completed form must be submitted to the City Clerk, City of St. Paul, 704 6th Street, St. Paul, NE 68873 no later than Noon on the Wednesday prior to the City Council meeting. If the Wednesday prior to the City Council meeting is a holiday, the deadline is noon on the previous day. The City Council generally meets at 7:00 p.m. on the 1st and 3rd Monday of each month.

City Council Meeting Date: October 2, 2023

Requested Agenda Item: Decline ARPA Rural Workforce Land Development (RWLD) funds awarded in March 2023.

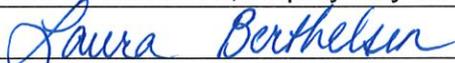
Please state your Agenda Item (please be specific, providing documentation if available):

In March the Nebraska Dept of Economic Development awarded the City of St. Paul \$1 million in funds remove/rehab dilapidated houses. Program requirements changed the grant to a 0% loan that would have to be repaid. If all communities awarded money decline the funds, the NE Legislature may be tasked with re-allocating the funds with more favorable terms however a new application process will be required.

What action do you want the City Council to take? Decline the funds previously awarded.

Will this project/item require City funding? YES NO If so, how much? _____

Name (please print): Laura Berthelsen, Deputy City Clerk

Name (signature): 

Address: 704 6th Street, St. Paul, NE

Phone Number: 308-754-4483

.....
For City Official Use Only

Added to City Council Agenda. Date of City Council meeting: _____

Referred to City Council Committee for Recommendation

City Council Action Taken: _____

City Funds Authorized: _____



September 21, 2023

City of St. Paul
Joel Bergman, Mayor
704 6th Street
St. Paul, NE 68873

RE: **Rural Workforce Housing Land Development Program – 22-RWLD-006**
Notice of Mutual Termination

Dear Mayor Bergman:

The Nebraska Department of Economic Development is hereby removing from obligation the Rural Workforce Housing Land Development Program funds awarded to City of St. Paul by agreement #22-RWLD-006 in the amount of one million dollars (\$1,000,000). The termination issuance is based on correspondence between, and upon mutual consent of, the Department and the City of St. Paul.

The Department considers the Notice of Award letter set forth on March 27, 2023 to be completely and fully terminated, effective the date of this letter.

If you have questions regarding this information, contact Brittany Piper, Housing Specialist, at 402-310-4782 or Brittany.Piper@nebraska.gov.

Individuals who are hearing- or speech-impaired and have a TTY may contact the Department through the Statewide Relay System by calling (711) in state, 800-833-7352 (TTY), or 800-833-0920 (voice). The relay operator should be asked to call DED at 800-426-6505 or 402-471-3111. Additional information can be reviewed at the Nebraska Relay website, <http://www.nebraskarelay.com>. Nebraska Relay ofrece servicio gratuito para clientes de habla español: Español-a-Español (711) o 888-272-5528/ Español-a-Inglés (711) o 877-564-3503.

Sincerely,

Lynn Kohout
Director of Housing

cc: Laura Berthelsen, Deputy City Clerk
Sharon Hueftle, Executive Director, South Central Economic Development District
LeAnn Jochum, Deputy Director, South Central Economic Development District

**ACKNOWLEDGEMENT OF RECEIPT AND
MUTUAL AGREEMENT TO TERMINATION OF SUBAWARD AGREEMENT**

The undersigned acknowledges receipt of this letter on behalf of the City of St. Paul, as well as mutually agrees to the termination of the above-referenced award number, effective the date of this letter.

SIGNATURE OF AUTHORIZED INDIVIDUAL

PRINTED NAME AND TITLE

**Joel M. Bergman, Mayor
City of St. Paul, NE**

October 2, 2023

DATE

The undersigned acknowledges receipt of this letter on behalf of the Nebraska Department of Economic Development, as well as mutually agrees to the termination of the above-referenced award number, effective the date of this letter.

Lynn Kohout

SIGNATURE OF AUTHORIZED INDIVIDUAL

Lynn Kohout, Director of Housing

PRINTED NAME AND TITLE

September 21, 2023

DATE

City of St. Paul Regular Meeting
704 6th Street
St. Paul, NE 68873

Monday, September 18, 2023

A meeting of the Mayor and City Council of the City of St. Paul, Nebraska was held at City Hall in said City on Monday, September 18, 2023, at 6:30 p.m. Present were Mayor Joel M. Bergman and Council members Katie Kowalski, Chuck Schmid, Mike Feeken and Bill Peters. Absent: None. Notice of the meeting was given in advance thereof by publication in the Phonograph Herald, a legal newspaper published in said City and County. Notice of the meeting was also posted in four (4) public places. Notice of this meeting was communicated in the advance notice. All proceeds thereafter shown were taken while the convened meeting was opened to the attendance of the public.

Mayor Bergman opened the meeting at 6:30 p.m. with the "Pledge of Allegiance" and thanking the public for attending and announcing that the City of St. Paul abides by the Open Meetings Act, which is posted on the west wall as required by Nebraska State Law §84-1407 through §84-1414. Mayor Bergman also stated that the City Council may vote to go into Closed Session on any agenda item as allowed by NE State Law §84-1410.

Individuals who have appropriate agenda items for City Council consideration should complete the "Request for Future Agenda Items" form located at the City Office. If the issue can be handled administratively without Council action, notification will be provided. If the item is scheduled for a meeting or study session, notification of the date will be given. Also, any City patrons that are requesting "Public Records" or have "Questions or Concerns" in regard to the City, they need to be submitted in writing to the City of St. Paul, so that it can be addressed appropriately. These forms are available online, in a file folder on the back wall of the Council Chambers or at the City Office.

There was an opportunity for individuals wishing to provide input on any of tonight's agenda items. Those individuals were asked to reserve time to speak; per Mayor Bergman, there will be a five (5) minute limit per person on speaking.

Doug Cramer with COR Managed Services has been the City of St. Paul's Information Technology (IT) person for many years. Mr. Cramer notified the City that Hamilton Telecommunications will acquire COR Managed Services on October 1, 2023. Council member Schmid moved to approve the Assignment of Service Agreement regarding Left Click Investments, LLC., a Nebraska Limited Liability Company, d/b/a COR Managed Services assigning to Hamilton Information Systems, Inc., a Nebraska Corporation, d/b/a Hamilton Telecommunications all of its right, title, and interest in and to the Service Agreement dated May 01, 2019, between COR Managed Services as Service Provider and City of St. Paul, Nebraska as Customer. Doug Cramer with COR Managed Services was present to answer

questions from the City Officials. Council member Kowalski seconded the motion. Council members Kowalski, Schmid, Feeken & Peters voted aye, nays none. Motion carried 4/0.

Council member Kowalski moved to approve Howard County Medical Center (HCMC) hosting a 5K run / 1-mile walk on Saturday, October 21, 2023, beginning at 9:00 a.m., along with the approval to paint arrows along the race route. Volunteers will monitor traffic during the event. Proceeds will go towards the new wellness and therapy center. A Certificate of Insurance has been provided to the City by the Howard County Medical Center (HCMC). Council member Schmid seconded the motion. Council members Kowalski, Schmid, Feeken & Peters voted aye, nays none. Motion carried 4/0.

Council member Schmid moved to approve the St. Paul Community Library Agreement between the City of St. Paul and the Library Director (Kelli Helton). Council member Kowalski seconded the motion. Council members Kowalski, Schmid, & Peters voted aye, Council member Feeken voted nay. Motion carried 3/1. The agreement is for one (1) year beginning September 1, 2023.

Jerry Thompson (922 Kendall Street) was in attendance to discuss establishing a City of St. Paul "Nuisance Committee" to assist the St. Paul Police Department. After a lengthy discussion, Council member Feeken moved to approve forming a City "Nuisance Committee" pilot program for one (1) year that would consist of five (5) persons. The five (5) persons will report their nuisance findings or recommendations to Chief of Police Dan Howard. The Committee will set the public meeting date and time that fits their schedule. Council member Feeken moved to approve Chief of Police Howard advertising for "Nuisance Committee" volunteers on the City of St. Paul Website and Facebook. Council member Schmid seconded the motion. Council members Kowalski, Schmid, Feeken & Peters voted aye, nays none. Motion carried 4/0. Mayor Bergman agreed to be placed on the committee.

Street Commissioner Jamie Klanecky was present to discuss the purchasing of two (2) City dump trucks. Mr. Klanecky stated that he and Cody Brennick (Street Operator) looked at both trucks for leaks, knocks or any noise issues. Council member Schmid moved to approve the City Street Department purchasing two (2) International Dump Trucks; as is with no warranties. The funds will be disbursed from the Street 2022 -2023 Budget on the trucks: (1) 2002 International Dump Truck with snow plow, wings and shipping (valve will be fixed by dealer) in the amount of \$27,420 (B.C. Murphy Enterprises, LLC, Anita, IA); and (2) 2005 International Dump Truck with snow plow, wings and shipping in the amount of \$33,475 (Vander Haag's Inc., Des Moines IA). Council member Feeken seconded the motion. Council members Kowalski, Schmid, Feeken & Peters voted aye, nays none. Motion carried 4/0.

Council member Schmid moved to approve updating the Property Improvement Project (PIP) 50% individual project amount cap to \$10,000; this is from a \$5,000 cap. The PIP expenditure cap will change from the previous amount of \$25,000 to \$40,000 per year beginning October 1, 2023. This is per the recommendation of the St. Paul Development Corp. (SPDC) Board. Council member Kowalski seconded the motion. Council members Kowalski, Schmid, Feeken & Peters voted aye, nays none. Motion carried 4/0. The property improvement demolition cost will

remain at \$5,000. Council member Feeken requests good investments from the St. Paul Development Corp. (SPDC) Board regarding the Property Improvement Program (PIP).

Council member Peters moved to approve Property Improvement Project (PIP) application for Jim's Truck Stop (Steve Schenck) in the amount of \$10,000 regarding building, gas pump and highway signage, along with awnings. Council member Schmid seconded the motion. Council members Kowalski, Schmid, Feeken & Peters voted aye, nays none. Motion carried 4/0. Mayor Bergman is pleased that Jim's Truck Stop is being active in the community market.

Council member Kowalski moved to approve the Consent Agenda Items: (1) Treasurer's Report August 2023; (2) September 5, 2023 (special) Council minutes and September 5, 2023 (regular) Council minutes; (3) September 18, 2023, disbursements; and (4) two (2) St. Paul Rescue Squad members Daniel Howard (311 Jackson Street) and Malik Bearheels (611 6th Street). Council member Schmid seconded the motion. Council members Kowalski, Schmid, Feeken & Peters voted aye, nays none. Motion carried 4/0.

Disbursements September 18, 2023

Amazon Capital Svcs (books, supplies)	460.03
American Fence (supplies)	1486.00
Aurora Cooperative (fuel)	1524.69
Beck, Connie Jo (uniform)	277.05
Black Hills Energy (natural gas)	753.59
Blackburn Manufacturing (supplies)	444.16
Central Community College (education)	5860.00
Central Programs (books)	2963.41
Charter/Spectrum (service)	127.95
City Lights (utilities)	8569.72
Clearly (telephone)	193.48
COR Managed Svcs (service)	1526.00
Core & Main (supplies)	4534.06
Custer County Recycling (service)	31.40
Eakes Office (contract)	71.21
Elan Financial (postage, supplies, meal, education, car wash)	2428.88
Elmwood Cemetery (service)	600.00
First Concord (service)	120.00
GB Auto (supplies)	62.10
Hawkins (supplies)	3495.41
Heartland Disposal (service)	6064.30
Heritage Bank (Utilities ACH Fee for August 2023)	25.00
Homestead Bank (fee)	45.40
Hometown Market (supplies)	60.00
Howard Greeley RPPD (utilities)	190059.26
Island Sprinkler (supplies)	446.84
Jim's Champlin (fuel)	3225.50
Johnson Corrosion Eng. (service)	1080.00

Kowalski, Trevor (education)	200.00
LCL Truck Equipment (Toolbox)	2250.00
Loup Valley Supply (supplies)	5.80
Menards (supplies)	153.45
Mid-Nebraska Disposal (service)	4420.34
NE Dept of Revenue (Sales & Use Tax Submittal)	17241.69
NE Municipal Clerk's Assn (dues)	200.00
NE School Librarians Assn (dues)	35.00
One Call Concepts (service)	46.58
Overland Ready Mixed (concrete)	671.07
Parts Bin (supplies)	152.18
Petty Cash (supplies)	59.54
Phonograph Herald (publish)	633.90
Platte Valley Communications (supplies)	82.08
Quick Med Claims (service)	125.93
Robinson, Grady (car wash)	13.00
S E Smith & Sons (supplies)	17.38
St Paul Rescue Squad (226571) Reimb for new Ambulance ARPA Grant from State of NE	25000.00
St Paul Rescue Squad Insured Cash Sweep (ICS) Reimb. for new Ambulance ARPA Grant from State of NE	25000.00
St Paul Rural Fire Reimb for new Ambulance ARPA Grant from State of NE	25000.00
St Paul Veterinary Clinic (service)	100.00
Triple T Disposal (service)	188.50
US Post Office (postage)	525.00
Wells Plumbing (service)	163.05

Non-General Disbursements

None

Council member Schmid moved to increase the City janitorial bi-weekly wage nine percent (9%) effective October 1, 2023. Currently, the janitorial bi-weekly wage is \$163.88; the new wage will be \$178.63 bi-weekly. This amount was figured into the 2023-2024 Budget. Council member Kowalski seconded the motion. Council members Kowalski, Schmid & Peters voted aye, Council member Feecken voted nay. Motion carried 3/1.

There was a brief discussion by what method that City of St. Paul patrons can find the City agenda, minutes and where the City Clerk posts the bi-weekly agenda. City Clerk Beck will place instructions on the City Website (<https://stpaulnebraska.com>) and City Facebook on how to retrieve City agenda's, minutes and where agendas are posted.

Council member Kowalski moved to approve the transfer of funds from the City Heritage Bank checking account in the amount of \$300,000. The funds will be deposited into the City's Light

(\$150,000); Water (\$75,000); and Sewer (\$75,000) Insured Cash Sweep (ICS) account at Citizens Bank & Trust. Council member Peters seconded the motion. Council members Kowalski, Schmid, Feeken & Peters voted aye, nays none. Motion carried 4/0.

Council member Feeken moved to approve the City of St. Paul's transfer of funds in the amount of \$75,000 from the Sales Tax Money Market account #300-504420 and depositing it into the Sales Tax Checking account #300-300277. The transfer of funds is for the sales tax that arrives on the 17th of the month. Council member Schmid seconded the motion. Council members Kowalski, Schmid, Feeken & Peters voted aye, nays none. Motion carried 4/0.

Council member Kowalski moved to approve the St. Paul Police Department "Mobile Architecture for Communications Handling" (MACH) Agreement. The "Agreement" will be effective January 1, 2024; the fee for MACH Support is \$29 per user account per year. The fee also includes the Google license fee. Council member Schmid seconded the motion. Council members Kowalski, Schmid, Feeken & Peters voted aye, nays none. Motion carried 4/0.

Chief of Police Dan Howard was present to discuss the nuisance property at 304 8th Street; this is the David Eiberger property. The property is at a standstill and clean-up needs to begin per Chief of Police Howard. Council member Feeken moved to proceed with the abatement of 304 8th Street. Council member Schmid seconded the motion. Council members Kowalski, Schmid & Feeken voted aye, Council member Peters voted nay. Motion carried 3/1. Council member Peters wanted to see how the process will play out with the Padrnos property before proceeding with the Eiberger property.

Chief of Police Howard updates included: (1) this last weekend, two (2) neighboring dogs had attacked a domesticated cat. The two dogs were then deemed dangerous. Chief of Police Howard wanted the Mayor and Council aware of the issue if the item is placed on the agenda; and (2) City Police Officer Matthew Sample is doing very well at the NE Law Enforcement Training Academy (NLETC); he is opting out of the meals at the academy. This will save on City Police funds.

Mayor Bergman updates: (1) Council member Feeken will be absent on Monday, October 2, 2023, Council meeting; please make sure there's a quorum; and (2) City Solar savings was voiced.

Mayor Bergman adjourned the City Council meeting at 7:27 p.m.

Date

Joel M. Bergman, Mayor

Connie Jo Beck, City Clerk/Deputy Treasurer

St. Paul Planning Commission
September 25, 2023
Meeting Minutes

A meeting of the St. Paul Planning Commission was convened in open and public session on the 25th day of September, 2023 in the Council Chambers at the City office, 704 6th Street, St. Paul, Nebraska.

Chairman Woodgate called the meeting to order at 12:12 p.m. with a statement regarding the Open Meetings Act; which is posted on the west wall of the City Council chambers. The notice of the meeting was published in the Phonograph Herald, a legal newspaper in Howard County, Nebraska. The agenda was sent to the Commission members prior to the meeting, and was posted in four (4) public places. Commission members present: Chairman Jerry Woodgate, Connie Becker, and Arvilla Jacobs. Commission members absent: Tyler Solko and Tony Walch. Also present Zoning Administrator Matt Helzer, Laura Berthelsen (minutes).

Commission member Jacobs moved to approve the August 28, 2023 meeting minutes. Commission member Becker seconded the motion. Commission members Woodgate, Becker, and Jacobs voted aye, nays none. Motion carried 3/0.

Property owner Tony Walch notified the City that the address on his Zoning Permit application 2023-33 was incorrect. The property address should have been listed as 713 9th Street instead of 703 9th Street. The application was denied by the St. Paul Planning Commission on August 28, 2023. Commission member Becker moved to correct the address on Zoning Permit application 2023-33 from 703 9th Street to 713 9th Street. Commission member Jacobs seconded the motion. Commission members Woodgate, Becker, and Jacobs voted aye, nays none. Motion carried 3/0.

Commission member Jacobs moved to ratify the administrative approval of the following zoning permits:

- (a) 2023-37 Jim's Champlin Inc. – LED & vinyl wrap signs at 1417 2nd Street
- (b) 2023-38 John Thiel – wall sign at 403 Howard Avenue
- (c) 2023-39 Tim Duester – fence at 522 Kendall Street
- (d) 2023-42 Howard County Historical Society – sign at 6th & Indian Streets

Commission member Becker seconded the motion. Commission members Woodgate, Becker, and Jacobs voted aye, nays none. Motion carried 3/0.

Zoning Administrator Helzer presented the following zoning permit applications:

- (a) 2023-34 Robert Thompson – addition to house at 1604 Paul Street
- (b) 2023-35 Ron & Nancy Augustyn – storage shed at 1421 Jackson Street
- (c) 2023-36 Michael & Carolyn Tyma – covered patio at 413 4th Street
- (d) 2023-40 St. Mark's Lutheran Church – addition to the church at 1306 Howard Ave
- (e) 2023-41 William & Kathleen Martinsen – replace utility shed at 109 Nelson Circle

Commission member Becker moved to approve Zoning Permit applications 2023-34 through 2023-36, 2023-40, and 2023-41. Commission member Jacobs seconded the motion. Commission members Woodgate, Becker, and Jacobs voted to aye; nays none. Motion carried 3/0.

Chairman Jerry Woodgate submitted his resignation from the St. Paul Planning Commission as he moved into city limits. His position on the St. Paul Planning Commission was as a representative within the one-mile extraterritorial jurisdiction. This will be Chairman Woodgate's last meeting. His resignation places a vacancy in the Chairman position, and a vacancy for a representative within the one-mile extraterritorial jurisdiction.

Zoning Administrator Helzer adjourned the meeting at 12:35 p.m.

Sincerely,

Matthew T. Helzer
Zoning Administrator

Jerry Woodgate
Chairman

Laura Berthelsen
Planning Secretary

Zoning Classification R-2

Value \$ 10,000

PERMIT NUMBER 2023-33

Please call 811 before completing form

FEE \$25.00

CASH CHECK# 4334
\$25

APPLICATION FOR A RESIDENTIAL ZONING PERMIT

St. Paul, Nebraska: DIRECTIONS: Fill in the following information as accurately and completely as possible. This application is not acceptable unless all required information is furnished.

Property Owner Tony Walch Contractor Walch

Address ~~703 9th~~ 713 9th Address 921 Howard Ave

City, State, Zip St Paul Phone Number (308) 750-3849

Phone Number Cell Phone

Complete Legal Description of the Property Lot 1 and East 1/2 of Lot 2 Block 1 Military Add St. Paul

Address of Construction Site 713 ~~703~~ 9th Street

(If none, one must be registered with City of St. Paul) In the Flood plain? No

Proposed Structure Addition to west side of house
Cover Water Line Dimension of Structure 11' x 5'

Distance from ^{North} Front property line 104' Distance from ^{South} Rear Property Line 1'

Distance from ^{East} Side Property Line 44' Distance from ^{West} Second Side Line 17'

Is there a utility easement on any side of the property? NO

Approximately when will construction Start 01 Oct 2023 Finish 01 Jan 2024

Contact Utility Superintendent at (308) 754-4483 regarding Set-Back Inspection. Matt Helzer Date of visit 8-10-23
(Matt Helzer's signature)

Recommendations needed before approval: Proposed Addition does not meet south side setback

(One Mile radius outside city limits) If the structure is a residence on less than 10 acres indicate the date this property was platted as a separate parcel Name of the Lot Split or Subdivision

For Office Use Only:

Is the proposed use permitted within this zoning district? YES X NO

Does the proposed use meet all the required setback distances? YES NO X

Is a conditional use required for the proposed use? YES NO X

Has a Conditional Use Permit been issued for this proposed use? YES NO X
If yes, when does it expire?

Site Plan Sketch: _____

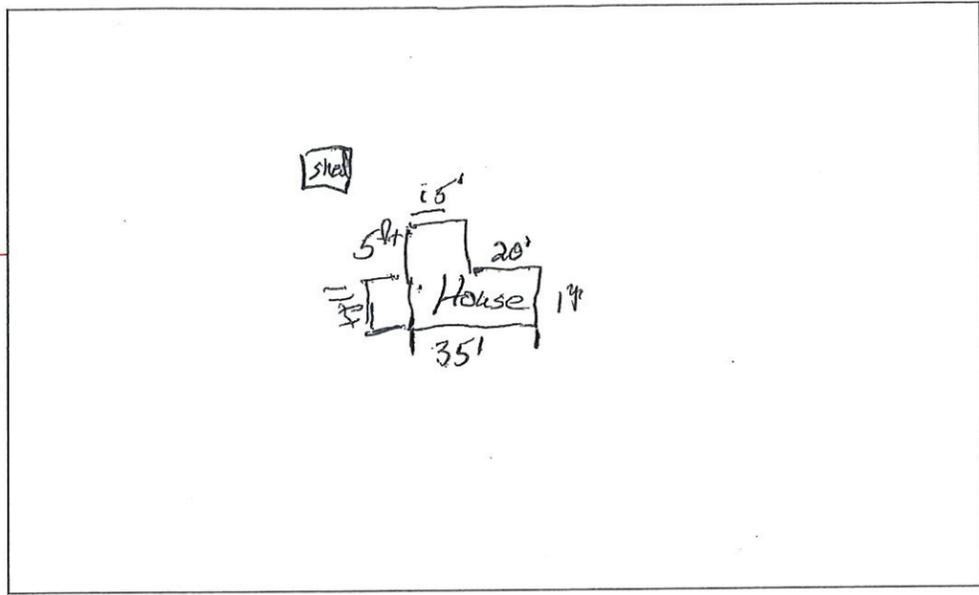
North Street Name _____

Street Name

Street Name
9th St

W

E



South Street Name _____

Indicate, by drawing, the shape and dimensions of the land, shape and dimensions of all existing and proposed buildings and structures, and the distances from the proposed building and structures to all lot lines (from road frontages, side and rear lot lines). Show the location of roads fronting the property. **MUST CALL DIGGERS HOTLINE @ 811 BEFORE DIGGING – CONSTRUCTION ON UTILITY EASEMENTS IS NOT PERMITTED.**

The above information is, to the best of my knowledge, true and accurate. It is understood and agreed that any error, misstatement or misrepresentation of fact, either with or without intention on my part, such as might, if known, cause a refusal of this application, or any alteration or change in plans made without the approval of the Zoning Administrator subsequent to the issuance of the Permit, shall constitute sufficient grounds for the revocation of such permit. This permit is valid for one (1) year from approval date and work must be started within the first 6 months.

The signature also indicates permission granted to the Zoning Administrator to inspect the construction site in which this permit is granted at any time until construction is completed.

Signature of Applicant [Signature] Date 08 Aug 2023

For Office Use Only:

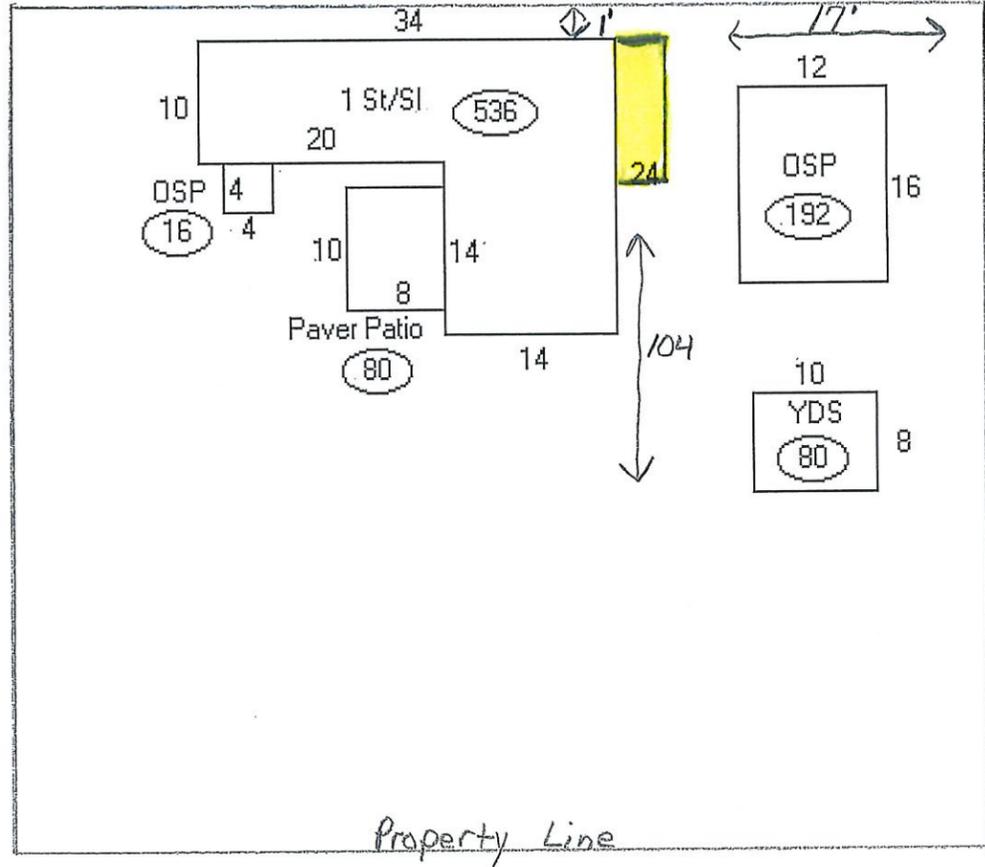
Permit is Approved _____ Denied Matthew T Helzer Date 8/28/23
Zoning Administrator Signature

Reasons for Denial: Does not meet setback; addition would increase degree of existing non-conforming use (Section 2.7.02)

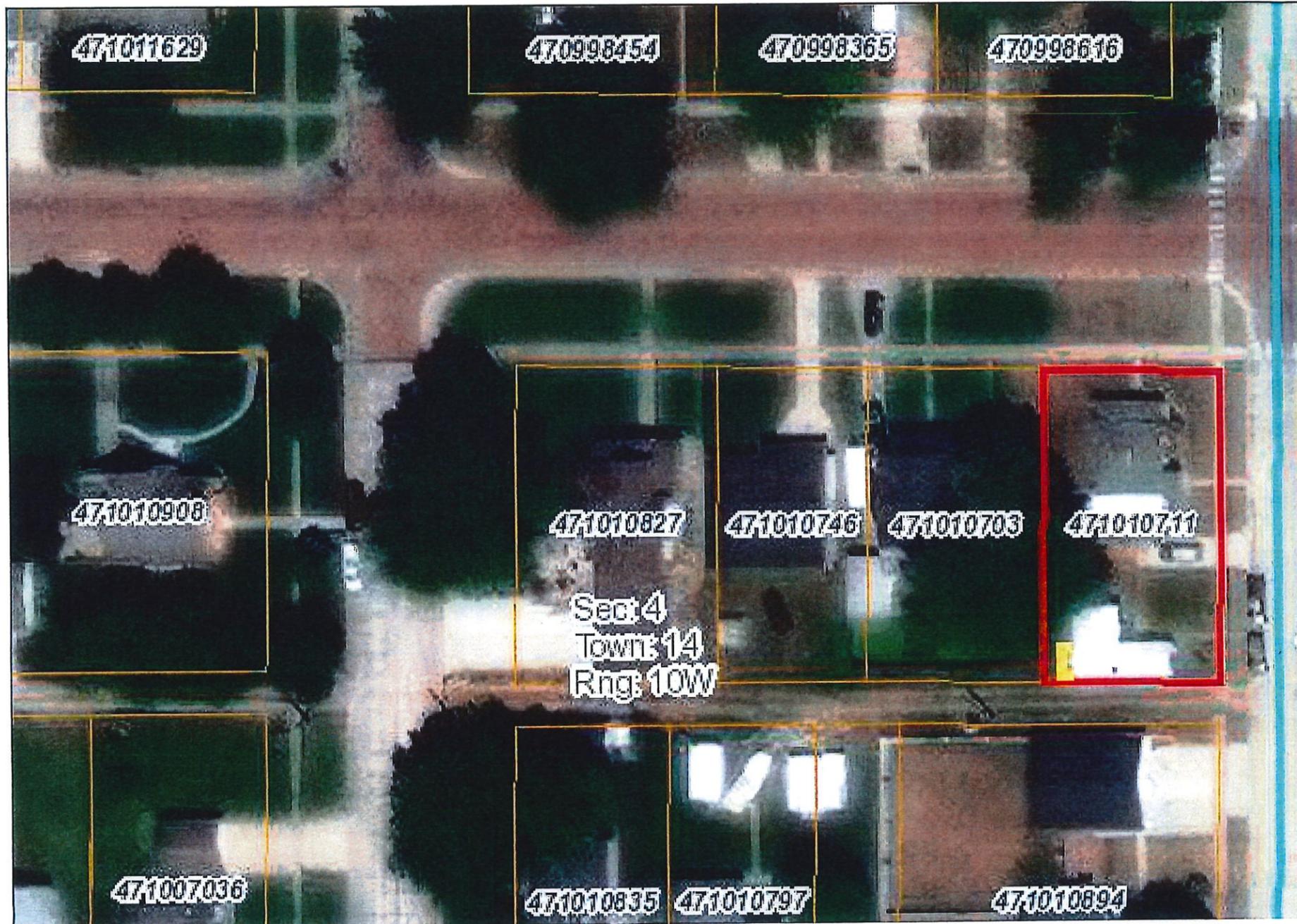
2023-33

Alley

9th Street



Howard Ave.



Zoning Classification AER Value \$ 2,000 PERMIT NUMBER 2023-34
 Please call 811 before completing form FEE \$25.00 CASH CHECK# pd 8/31/23

APPLICATION FOR A RESIDENTIAL ZONING PERMIT

St. Paul, Nebraska: DIRECTIONS: Fill in the following information as accurately and completely as possible. This application is not acceptable unless all required information is furnished.

Property Owner Robert Thompson Contractor Self
 Address 1604 Paul Street Address _____
 City, State, Zip St. Paul, NE 68873 Phone Number _____
 Phone Number 308-223-0236 Cell Phone _____

Complete Legal Description of the Property Lot 3 JET Sub in SW 1/4 33-15-10 (3.01 Acres)

Address of Construction Site 1604 Paul Street
 (If none, one must be registered with City of St. Paul) In the Flood plain? NO
See attached LOMA

Proposed Structure Addition to house Dimension of Structure 12' x 14'
 Distance from South Front property line 46' Distance from North Rear Property Line 265'
 Distance from East Side Property Line 23' Distance from West Second Side Line 407'

Is there a utility easement on any side of the property? NO
 Approximately when will construction Start 10-1-23 Finish 10-1-24

Contact Utility Superintendent at (308) 754-4483 regarding Set-Back Inspection. Matt Helzer Date of visit 8-31-23
 (Matt Helzer's signature)

Recommendations needed before approval: _____

(One Mile radius outside city limits) If the structure is a residence on less than 10 acres indicate the date this property was platted as a separate parcel _____ Name of the Lot Split or Subdivision _____

For Office Use Only:

Is the proposed use permitted within this zoning district? YES NO _____

Does the proposed use meet all the required setback distances? YES NO _____

Is a conditional use required for the proposed use? YES _____ NO

Has a Conditional Use Permit been issued for this proposed use? YES _____ NO

If yes, when does it expire? _____

Site Plan Sketch:

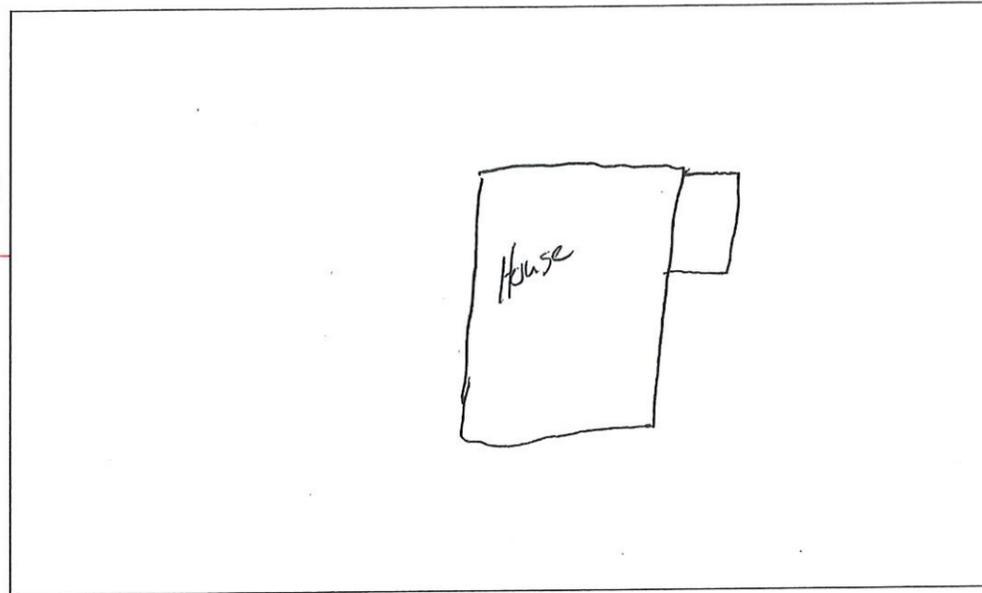
North Street Name _____

Street Name

Street Name

W

E



South Street Name _____

Indicate, by drawing, the shape and dimensions of the land, shape and dimensions of all existing and proposed buildings and structures, and the distances from the proposed building and structures to all lot lines (from road frontages, side and rear lot lines). Show the location of roads fronting the property. **MUST CALL DIGGERS HOTLINE @ 811 BEFORE DIGGING – CONSTRUCTION ON UTILITY EASEMENTS IS NOT PERMITTED.**

The above information is, to the best of my knowledge, true and accurate. It is understood and agreed that any error, misstatement or misrepresentation of fact, either with or without intention on my part, such as might, if known, cause a refusal of this application, or any alteration or change in plans made without the approval of the Zoning Administrator subsequent to the issuance of the Permit, shall constitute sufficient grounds for the revocation of such permit. This permit is valid for one (1) year from approval date and work must be started within the first 6 months.

The signature also indicates permission granted to the Zoning Administrator to inspect the construction site in which this permit is granted at any time until construction is completed.

Signature of Applicant [Signature] Date 8-31-23

For Office Use Only:

Permit is Approved _____ Denied _____ Date _____
Zoning Administrator Signature _____

Reasons for Denial: _____

2023-34

Page 1 of 5	Date: March 30, 2023	Case No.: 23-07-0501A	LOMA					
Federal Emergency Management Agency Washington, D.C. 20472								
LETTER OF MAP AMENDMENT DETERMINATION DOCUMENT (REMOVAL)								
COMMUNITY AND MAP PANEL INFORMATION		LEGAL PROPERTY DESCRIPTION						
COMMUNITY	CITY OF ST. PAUL, HOWARD COUNTY, NEBRASKA	Lot 3, Jet Properties, as shown on the Plat recorded in Book 23, Pages 629, 630, and 631, in the Office of the County Clerk, Howard County, Nebraska						
	COMMUNITY NO: 310119							
AFFECTED MAP PANEL	NUMBER: 31093C0255D DATE: 7/7/2014							
FLOODING SOURCE: UNNAMED TRIBUTARY TO MIDDLE LOUP RIVER		APPROXIMATE LATITUDE & LONGITUDE OF PROPERTY: 41.220767, -98.469771 SOURCE OF LAT & LONG: GPS DATUM: NAD 83						
DETERMINATION								
LOT	BLOCK/SECTION	SUBDIVISION	STREET	OUTCOME WHAT IS REMOVED FROM THE SFHA	FLOOD ZONE	1% ANNUAL CHANCE FLOOD ELEVATION (NAVD 88)	LOWEST ADJACENT GRADE ELEVATION (NAVD 88)	LOWEST LOT ELEVATION (NAVD 88)
3	--	Jet Properties	1602 Paul Street	Structure	X (unshaded)	--	1816.2 feet	--
Special Flood Hazard Area (SFHA) - The SFHA is an area that would be inundated by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood).								
ADDITIONAL CONSIDERATIONS (Please refer to the appropriate section on Attachment 1 for the additional considerations listed below.)								
PORTIONS REMAIN IN THE SFHA/FLOODWAY ZONE A eLOMA DETERMINATION								
This document provides the Federal Emergency Management Agency's determination regarding a request for a Letter of Map Amendment for the property described above. Using the information submitted and the effective National Flood Insurance Program (NFIP) map, we have determined that the structure(s) on the property(ies) is/are not located in the SFHA, an area inundated by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood). This document amends the effective NFIP map to remove the subject property from the SFHA located on the effective NFIP map; therefore, the Federal mandatory flood insurance requirement does not apply. However, the lender has the option to continue the flood insurance requirement to protect its financial risk on the loan.								
This determination is based on the flood data presently available. If there are any errors on this eLOMA Determination Letter that cause FEMA to rescind and/or nullify the determination the property owner should consult the Licensed Professional that submitted this eLOMA. The enclosed documents provide additional information regarding this determination. If you have any questions about this document, please contact the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, Attn: North Wind Resource Partners (NWRP) eLOMA Coordinator, 3601 Eisenhower Avenue, Alexandria, VA 22304-4605, Fax: 703-751-7415.								
Patrick "Rick" F. Sacbibit, P.E., Branch Chief Engineering Services Branch Federal Insurance and Mitigation Administration								eLOMA

Page 2 of 5	Date: 3/30/2023	Case No : 23-07-0501A	LOMA
Federal Emergency Management Agency Washington, D.C. 20472			
LETTER OF MAP AMENDMENT DETERMINATION DOCUMENT (REMOVAL) ATTACHMENT 1 (ADDITIONAL CONSIDERATIONS)			
Structure Removal: The following considerations may or may not apply to the determination for your Structure: ZONE A - The National Flood Insurance Program map affecting this property depicts a Special Flood Hazard Area that was determined using the best flood hazard data available to FEMA, but without performing a detailed engineering analysis. The flood elevation used to make this determination is based on approximate methods and has not been formalized through the standard process for establishing base flood elevations published in the Flood Insurance Study. This flood elevation is subject to change. PORTIONS OF THE PROPERTY REMAIN IN THE SFHA and/or FLOODWAY - Portions of this property, but not the subject of the Determination document, may remain in the Special Flood Hazard Area (SFHA) and/or the regulatory floodway for the flooding source indicated on the Determination Document. The NFIP regulatory floodway is the area that must remain unobstructed in order to prevent unacceptable increases in base flood elevations. Therefore, no construction may take place in an NFIP regulatory floodway that may cause an increase in the base flood elevation. Therefore, any future construction or substantial improvement on the property remains subject to Federal, State/Commonwealth, and local regulations for floodplain management. The NFIP regulatory floodway is provided to the community as a tool to regulate floodplain development. Modifications to the NFIP regulatory floodway must be accepted by both the Federal Emergency Management Agency (FEMA) and the community involved. Appropriate community actions are defined in Paragraph 60.3(d) of the NFIP regulations. Any proposed revision to the NFIP regulatory floodway must be submitted to FEMA by community officials. The community should contact either the Regional Director (for those communities in Regions I-IV, and VI-X), or the Regional Engineer (for those communities in Region V) for guidance on the data which must be submitted for a revision to the NFIP regulatory floodway. Contact information for each regional office can be obtained by calling the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or from our web site at https://www.fema.gov/regional-contact-information STUDY UNDERWAY - This determination is based on the flood data presently available. However, the Federal Emergency Management Agency may be currently revising the National Flood Insurance Program (NFIP) map for the community. New flood data could be generated that may affect this property. If a new NFIP map is issued it will supersede this determination. The Federal requirement for the purchase of flood insurance will then be based on the newly revised NFIP map. EXTRATERRITORIAL JURISDICTION - The subject of the determination is shown on the National Flood Insurance Program map and may be located in an Extraterritorial Jurisdiction area for the community indicated on the Determination Document.			
This attachment provides additional information regarding this request. If you have any questions about this attachment, please contact the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, Attn: North Wind Resource Partners (NWRP) eLOMA Coordinator, NWRP eLOMA Coordinator, 3601 Eisenhower Ave., Alexandria, VA 22304-6439, Fax: 703-751-7415			
Patrick "Rick" F. Sacbibit, P.E., Branch Chief Engineering Services Branch Federal Insurance and Mitigation Administration			eLOMA

2023-34



Federal Emergency Management Agency
Washington, D.C. 20472

**LETTER OF MAP AMENDMENT
DETERMINATION DOCUMENT (REMOVAL)**
ATTACHMENT 1 (ADDITIONAL CONSIDERATIONS)

GREAT LAKES - The Federal Emergency Management Agency (FEMA) has based this determination on elevation data which is published in the current Flood Insurance Study for the community. However, the elevations established in the U.S. Army Corps of Engineers (USACE) reports on the Great Lakes are the best available data known to us. If in the future there are any subsequent map revisions to the National Flood Insurance Program map and the USACE reports remain the best available data known, FEMA will use those elevations for any such revisions. Further, be advised that the elevations on the Flood Insurance Rate Map (FIRM) may only reflect the Stillwater elevation for the lake and may not account for the effects of wind driven waves or wave run-up. On-site conditions such as wind speed, wind direction, fetch distance, water depth and the slope of the beach or bluff may result in significant increases to the base flood elevation. Therefore, it is strongly recommended that the requestor be aware of these circumstances and, if warranted, evaluate the effects of wind driven waves along the shoreline of the property.

STATE AND LOCAL CONSIDERATIONS - Please note that this document does not override or supersede any State or local procedural or substantive provisions which may apply to floodplain management requirements associated with amendments to State or local floodplain zoning ordinances, maps, or State or local procedures adopted under the National Flood Insurance Program.

COASTAL BARRIER RESOURCE SYSTEM - Based upon information provided to FEMA by the U.S. Fish and Wildlife Service (USFWS), the subject property may be within a System Unit or an Otherwise Protected Area (OPA) of the John H. Chafee Coastal Barrier Resource System (CBRS). Federal flood insurance is generally not available within the CBRS for new construction or substantial improvements occurring after the flood insurance prohibition date (which is generally tied to the date that the area was first established as either a System Unit or OPA, but may differ in some cases). Other federal expenditures and financial assistance (including certain types of disaster assistance) are also restricted within System Units of the CBRS. The USFWS is the authoritative source for information regarding the CBRS. Additional information, including the CBRS Mapper, can be found on the USFWS website at: <https://www.fws.gov/cbra>.

This attachment provides additional information regarding this request. If you have any questions about this attachment, please contact the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, Attn: North Wind Resource Partners (NWRP) eLOMA Coordinator, NWRP eLOMA Coordinator, 3601 Eisenhower Ave., Alexandria, VA 22304-6439, Fax: 703-751-7415

Patrick "Rick" F. Sacbibit, P.E., Branch Chief
Engineering Services Branch
Federal Insurance and Mitigation Administration

eLOMA



Federal Emergency Management Agency
Washington, D.C. 20472

**ADDITIONAL INFORMATION REGARDING
LETTERS OF MAP AMENDMENT**

When making determinations on requests for Letters of Map Amendment (LOMAs), the Department of Homeland Security's Federal Emergency Management Agency (FEMA) bases its determination on the flood hazard information available at the time of the determination. Requesters should be aware that flood conditions may change or new information may be generated that would supersede FEMA's determination. In such cases, the community will be informed by letter.

Requesters also should be aware that removal of a property (parcel of land or structure) from the Special Flood Hazard Area (SFHA) means FEMA has determined the property is not subject to inundation by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood). This does not mean the property is not subject to other flood hazards. The property could be inundated by a flood with a magnitude greater than the base flood or by localized flooding not shown on the effective National Flood Insurance Program (NFIP) map.

The effect of a LOMA is it removes the Federal requirement for the lender to require flood insurance coverage for the property described. The LOMA is *not* a waiver of the condition that the property owner maintain flood insurance coverage for the property. *Only* the lender can waive the flood insurance purchase requirement because the lender imposed the requirement. *The property owner must request and receive a written waiver from the lender before canceling the policy.* The lender may determine, on its own as a business decision that it wishes to continue the flood insurance requirement to protect its financial risk on the loan.

The LOMA provides FEMA's comment on the mandatory flood insurance requirements of the NFIP as they apply to a particular property. A LOMA is not a building permit, nor should it be construed as such. Any development, new construction, or substantial improvement of a property impacted by a LOMA must comply with all applicable State and local criteria and other Federal criteria.

If a lender releases a property owner from the flood insurance requirement, and the property owner decides to cancel the policy and seek a refund, the NFIP will refund the premium paid for the current policy year, provided that no claim is pending or has been paid on the policy during the current policy year. The property owner must provide a written waiver of the insurance requirement from the lender to the property insurance agent or company servicing his or her policy. The agent or company will then process the refund request.

Even though structures are not located in an SFHA, as mentioned above, they could be flooded by a flooding event with a greater magnitude than the base flood. In fact, more than 25 percent of all claims paid by the NFIP are for policies for structures located outside the SFHA in Zones B, C, X (shaded), or X (unshaded). More than one-fourth of all policies purchased under the NFIP protect structures located in these zones. The risk to structures located outside SFHAs is just not as great as the risk to structures located in SFHAs. Finally, approximately 90 percent of all federally declared disasters are caused by flooding, and homeowners insurance does not provide financial protection from this flooding. Therefore, FEMA encourages the widest possible coverage under the NFIP.

2023-34

LOMAs are based on minimum criteria established by the NFIP. State, county, and community officials, based on knowledge of local conditions and in the interest of safety, may set higher standards for construction in the SFHA. If a State, county, or community has adopted more restrictive and comprehensive floodplain management criteria, these criteria take precedence over the minimum Federal criteria.

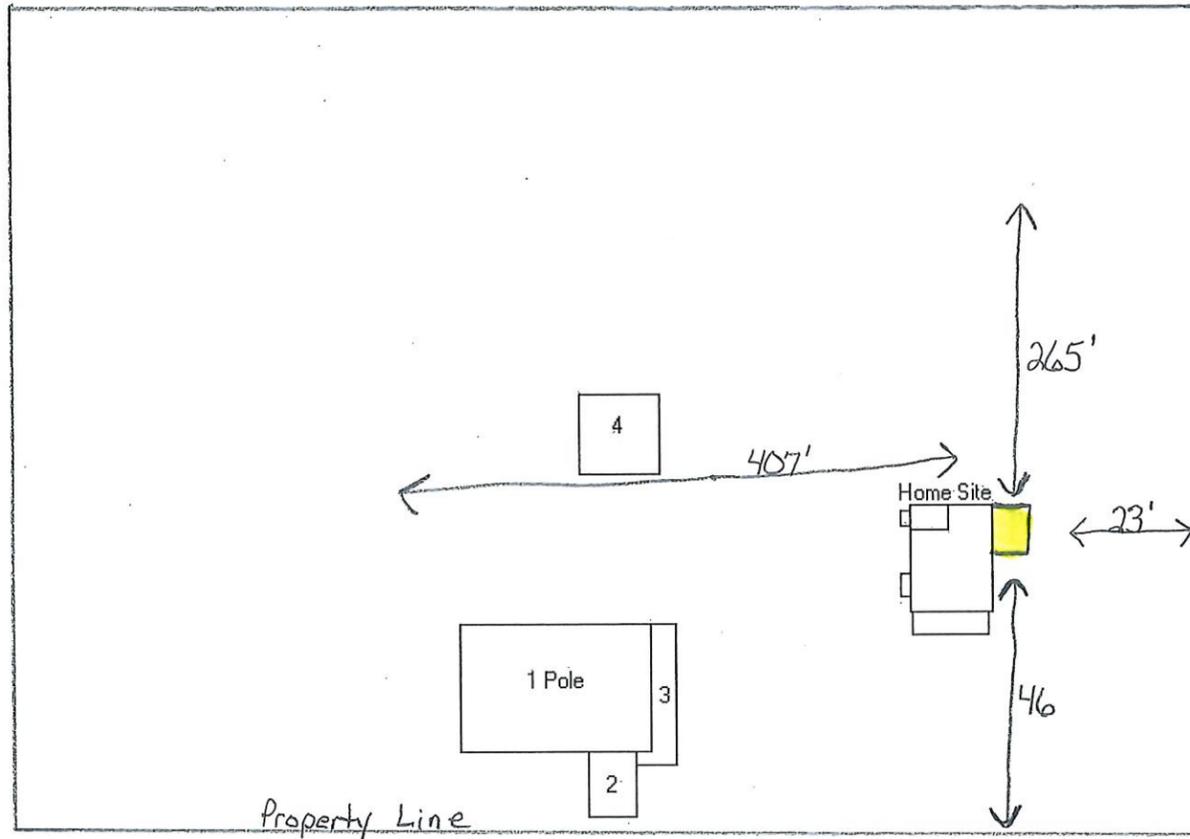
In accordance with regulations adopted by the community when it made application to join the NFIP, letters issued to amend an NFIP map must be attached to the community's official record copy of the map. That map is available for public inspection at the community's official map repository. Therefore, FEMA sends copies of all such letters to the affected community's official map repository.

When a restudy is undertaken, or when a sufficient number of revisions or amendments occur on particular map panels, FEMA initiates the printing and distribution process for the affected panels. FEMA notifies community officials in writing when affected map panels are being physically revised and distributed. In such cases, FEMA attempts to reflect the results of the LOMA on the new map panel. If the results of particular LOMAs cannot be reflected on the new map panel because of scale limitations, FEMA notifies the community in writing and revalidates the LOMAs in that letter. LOMAs revalidated in this way usually will become effective 1 day after the effective date of the revised map.

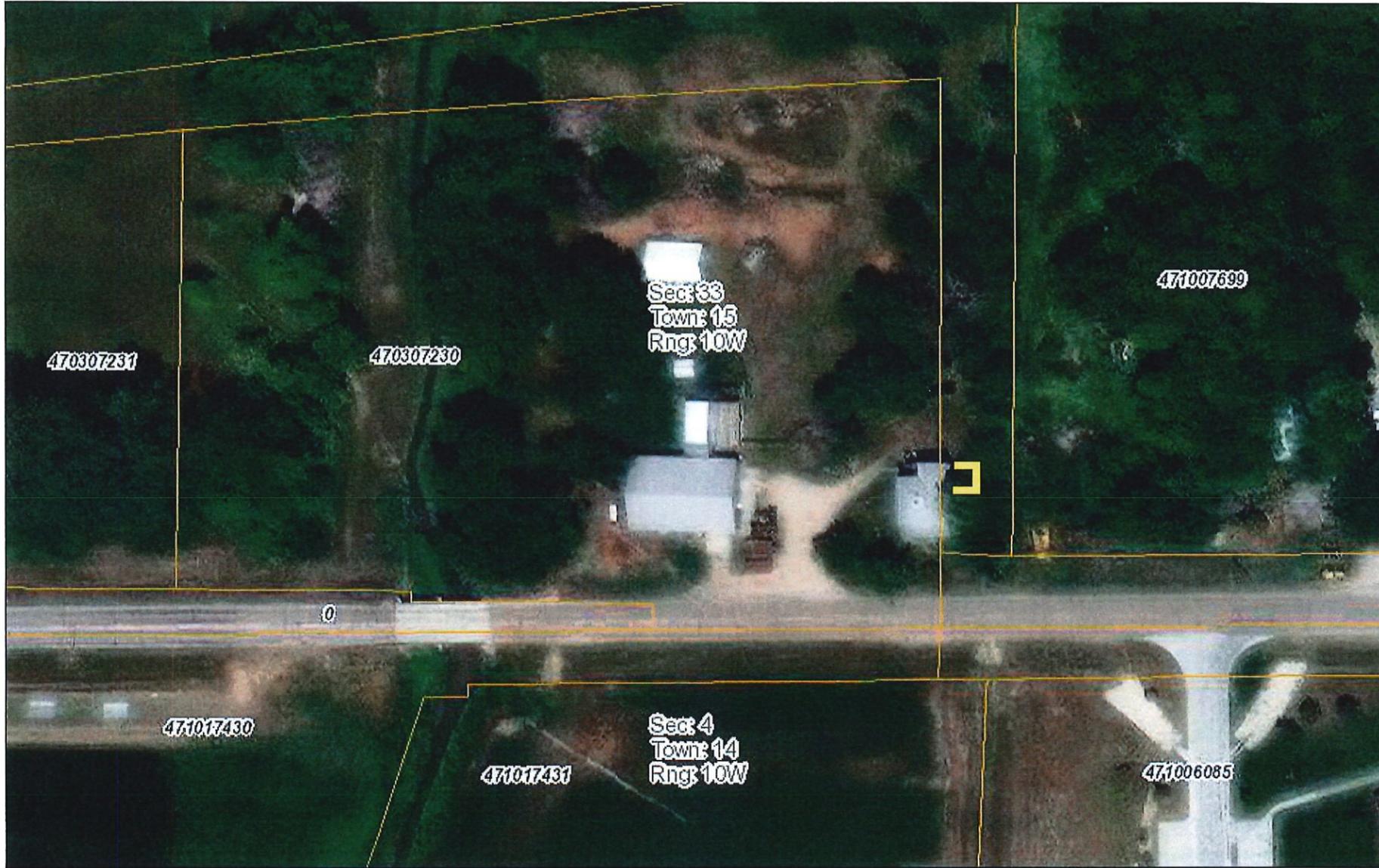
2023-34

Highway 92

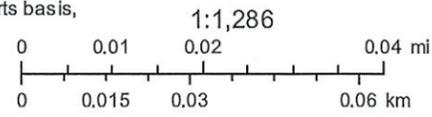
North ↑



Paul Street



September 6, 2023 **DISCLAIMER:** This map is not intended for conveyances, nor is it a legal survey. The information is presented on a best-efforts basis, and should not be relied upon for making financial, survey, legal or other commitments.



Zoning Classification R-1 Value \$ 6000.00 PERMIT NUMBER 2023-35
 Please call 811 before completing form FEE \$25.00 CASH CHECK# pd 9/1/23

APPLICATION FOR A RESIDENTIAL ZONING PERMIT

St. Paul, Nebraska: DIRECTIONS: Fill in the following information as accurately and completely as possible. This application is not acceptable unless all required information is furnished.

Property Owner Ron & Nancy Augustyn Contractor DERKSEN Building
 Address 1421 Jackson St. Address _____
 City, State, Zip Saint Paul Ne 68573 Phone Number _____
 Phone Number 308-267-8681 Cell Phone ~~267-8681~~
 Complete Legal Description of the Property Lot 3 Block 2 Christensen Add St. Paul
 Address of Construction Site 1421 Jackson St
 (If none, one must be registered with City of St. Paul) In the Flood plain? NO

Proposed Structure Storage shed Dimension of Structure 10w 16' Long
 Distance from East Front property line 104' Distance from West Rear Property Line 6'
 Distance from North Side Property Line 6' Distance from South Second Side Line 58'

Is there a utility easement on any side of the property? yes - Alley
 Approximately when will construction Start when APPROVED Finish 4 to 6 weeks

Contact Utility Superintendent at (308) 754-4483 regarding Set-Back Inspection. Matt Helzer Date of visit 9-1-23
 (Matt Helzer's signature)

Recommendations needed before approval: _____

(One Mile radius outside city limits) If the structure is a residence on less than 10 acres indicate the date this property was platted as a separate parcel _____ Name of the Lot Split or Subdivision _____

For Office Use Only:

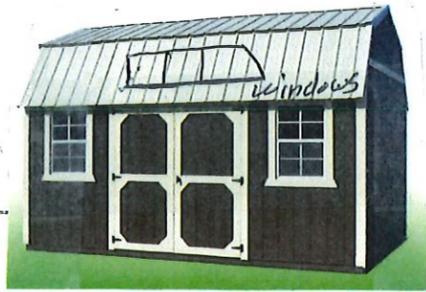
Is the proposed use permitted within this zoning district? YES NO _____

Does the proposed use meet all the required setback distances? YES NO _____

Is a conditional use required for the proposed use? YES _____ NO

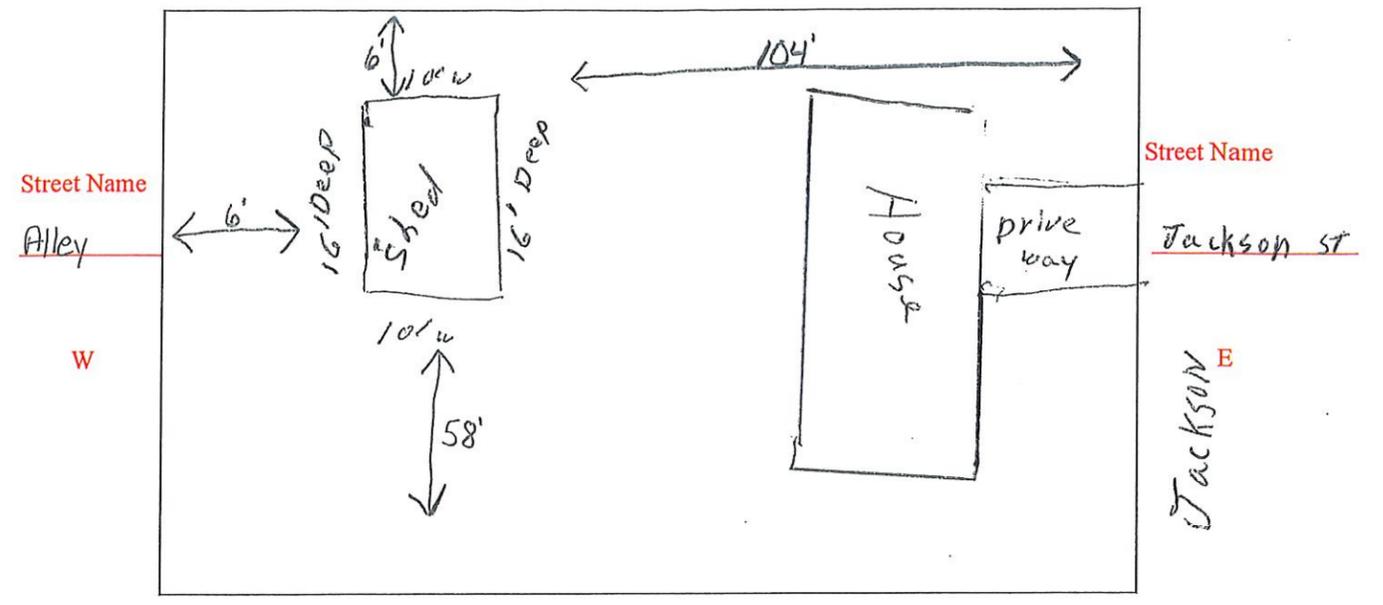
Has a Conditional Use Permit been issued for this proposed use? YES _____ NO

If yes, when does it expire? _____



PERMIT NUMBER 2023-35

Site Plan Sketch:



Street Name

Alley

W

Street Name

Jackson St

Jackson E

South Street Name _____

Indicate, by drawing, the shape and dimensions of the land, shape and dimensions of all existing and proposed buildings and structures, and the distances from the proposed building and structures to all lot lines (from road frontages, side and rear lot lines). Show the location of roads fronting the property. **MUST CALL DIGGERS HOTLINE @ 811 BEFORE DIGGING - CONSTRUCTION ON UTILITY EASEMENTS IS NOT PERMITTED.**

The above information is, to the best of my knowledge, true and accurate. It is understood and agreed that any error, misstatement or misrepresentation of fact, either with or without intention on my part, such as might, if known, cause a refusal of this application, or any alteration or change in plans made without the approval of the Zoning Administrator subsequent to the issuance of the Permit, shall constitute sufficient grounds for the revocation of such permit. This permit is valid for one (1) year from approval date and work must be started within the first 6 months.

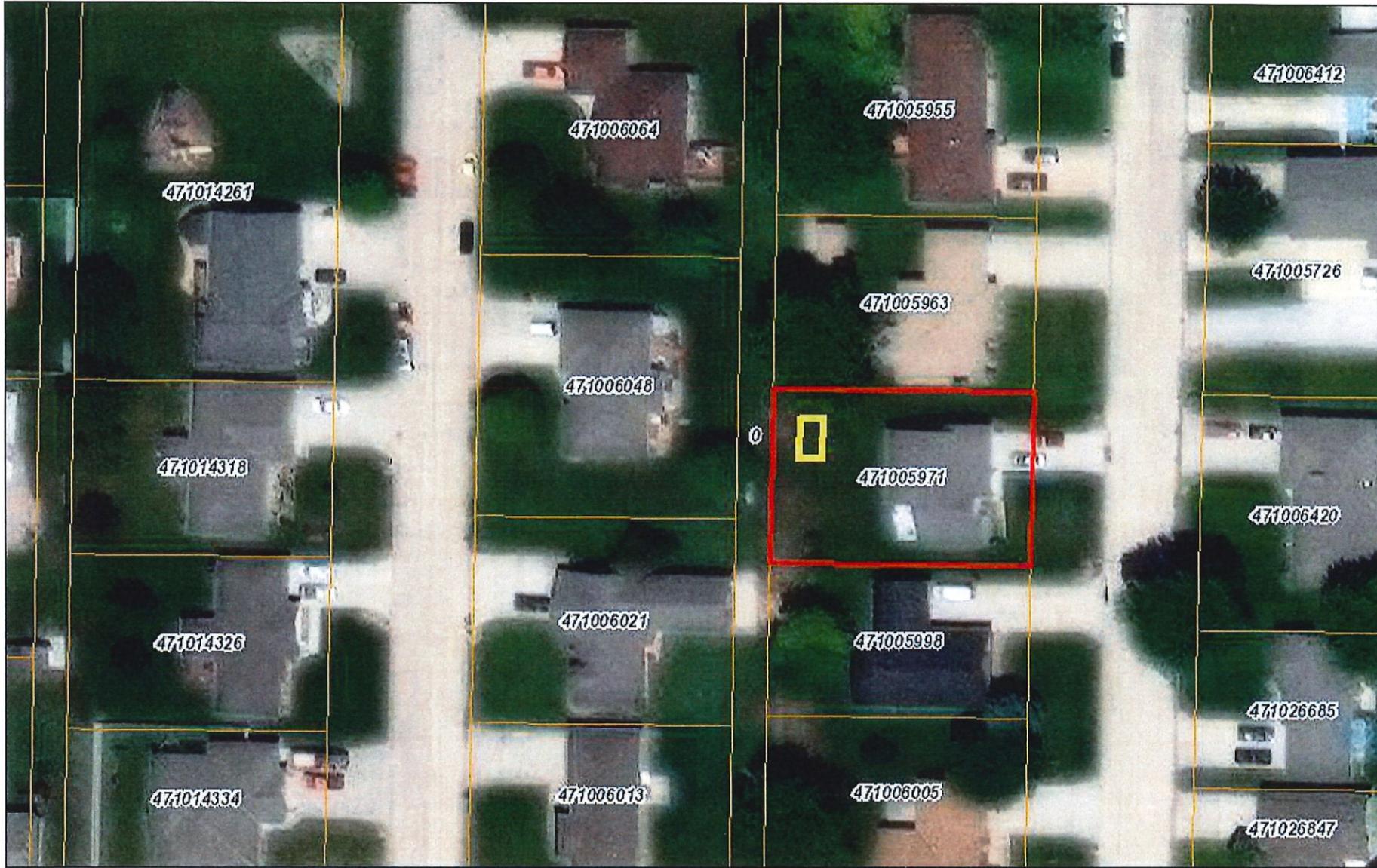
The signature also indicates permission granted to the Zoning Administrator to inspect the construction site in which this permit is granted at any time until construction is completed.

Signature of Applicant Don Augustyn Date Sept - 1 - 2023

For Office Use Only:

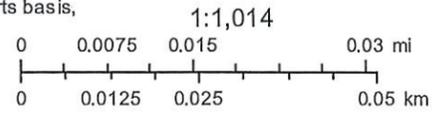
Permit is Approved _____ Denied _____ Date _____
Zoning Administrator Signature

Reasons for Denial: _____



September 6, 2023 **DISCLAIMER:** This map is not intended for conveyances, nor is it a legal survey. The information is presented on a best-efforts basis, and should not be relied upon for making financial, survey, legal or other commitments.

□ Parcels



Zoning Classification A-3 Value \$ 86179.90 PERMIT NUMBER 2023-36
 Please call 811 before completing form FEE \$25.00 CASH CHECK# 7719
pd 9/6/23

APPLICATION FOR A RESIDENTIAL ZONING PERMIT

St. Paul, Nebraska: DIRECTIONS: Fill in the following information as accurately and completely as possible. This application is not acceptable unless all required information is furnished.

Property Owner Michael & Carolyn Tyma Contractor CHRIS MEYER
 Address 413 4th St Address 1406 BRUCE ST
 City, State, Zip St. Paul, NE 68873 Phone Number 308-750-5941
 Phone Number 308-754-2128 ^{Cell # 308} 391-0480 Cell Phone SAME
 Complete Legal Description of the Property Lot 3 Block 31 OT St. Paul
 Address of Construction Site 413 4th St
 (If none, one must be registered with City of St. Paul) In the Flood plain? No

Proposed Structure Patio Cover Dimension of Structure 14' x 24'
 Distance from ^{East} Front property line 79' Distance from Rear ^{West} Property Line 39'
 Distance from Side ^{North} Property Line North - 9'0" Distance from Second Side Line ~~11'~~ 11'
 Is there a utility easement on any side of the property? NO
 Approximately when will construction Start Oct 1 Finish Nov 1

Contact Utility Superintendent at (308) 754-4483 regarding Set-Back Inspection. Matt Helzer Date of visit 9-6-23
 (Matt Helzer's signature)

Recommendations needed before approval: _____

(One Mile radius outside city limits) If the structure is a residence on less than 10 acres indicate the date this property was platted as a separate parcel _____ Name of the Lot Split or Subdivision _____

For Office Use Only:

Is the proposed use permitted within this zoning district? YES ✓ NO _____

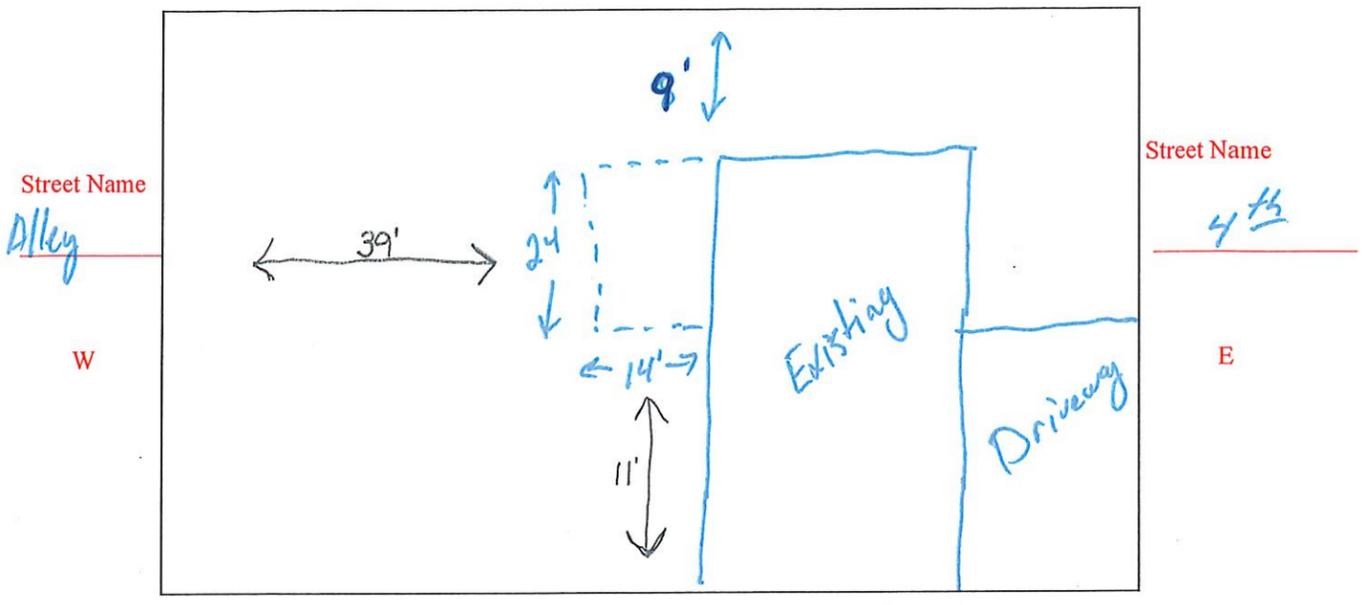
Does the proposed use meet all the required setback distances? YES ✓ NO _____

Is a conditional use required for the proposed use? YES _____ NO ✓

Has a Conditional Use Permit been issued for this proposed use? YES _____ NO ✓
 If yes, when does it expire? _____

Site Plan Sketch:

North Street Name None



South Street Name None

Indicate, by drawing, the shape and dimensions of the land, shape and dimensions of all existing and proposed buildings and structures, and the distances from the proposed building and structures to all lot lines (from road frontages, side and rear lot lines). Show the location of roads fronting the property. **MUST CALL DIGGERS HOTLINE @ 811 BEFORE DIGGING – CONSTRUCTION ON UTILITY EASEMENTS IS NOT PERMITTED.**

The above information is, to the best of my knowledge, true and accurate. It is understood and agreed that any error, misstatement or misrepresentation of fact, either with or without intention on my part, such as might, if known, cause a refusal of this application, or any alteration or change in plans made without the approval of the Zoning Administrator subsequent to the issuance of the Permit, shall constitute sufficient grounds for the revocation of such permit. This permit is valid for one (1) year from approval date and work must be started within the first 6 months.

The signature also indicates permission granted to the Zoning Administrator to inspect the construction site in which this permit is granted at any time until construction is completed.

Signature of Applicant *Michael Ryman Date 9-6-2023

For Office Use Only:

Permit is Approved _____ Denied _____ Date _____
Zoning Administrator Signature _____

Reasons for Denial: _____

← this style roof

2023-36



24.03.2010 22:01

8
20

Zoning Classification HC Value \$ 11,500 PERMIT NUMBER 2023-37
FEE \$50.00 CASH CHECK# 35416
pd 9/8/23

APPLICATION FOR A SIGN PERMIT

St. Paul, Nebraska: DIRECTIONS: Fill in the following information as accurately and completely as possible. This application is not acceptable unless all required information is furnished.

Business Owner/Applicant Jim's Champlin Inc Property Owner JoAnn Urbanski

Address 1417 2nd Street Address 1311 Jackson Street

City, State, Zip St. Paul, NE 68873 Phone Number 308-754-5204

Phone Number _____ Cell Phone 308-750-6383

Complete Legal Description of the Property Lots 1-8 Block 47 + vacated alley OT St. Paul

Address of Business 1417 2nd Street

Size of Proposed Sign See attached

Type of Sign LED and vinyl wrap

Sign Construction/Material _____

Where will sign be located on the property See attached drawings

Distance from Front property line _____ Rear property line _____

Distance from Side property line _____ Second Side property line _____

Is there a utility easement on either the back or side property? NO

Approximately when will construction Start November 2023 Finish December 2023

To Whom Should the Improvements be assessed? _____

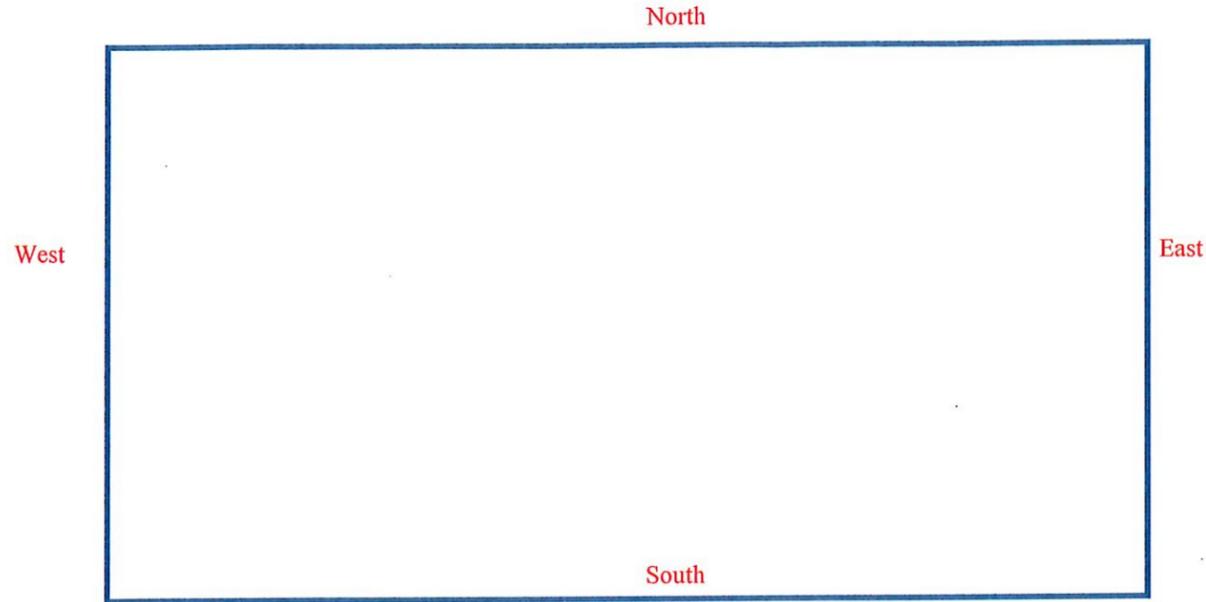
Contact Utility Superintendent at (308) 754-4483 regarding Inspection. Matt Helzer Date of visit 9-7-23
(Matt Helzer's signature)

Recommendations needed before approval: _____

For Office Use Only:

Is the proposed use permitted within this zoning district? ✓ YES _____ NO
Does the proposed use meet all the required setback distances? ✓ YES _____ NO
Is a conditional use required for the proposed use? _____ YES ✓ NO
Has a Conditional Use Permit been issued for this proposed use? _____ YES ✓ NO
If yes, when does it expire? _____

Site Plan Sketch:



Street Name: North boundary _____ South boundary _____
 Street Name: West boundary _____ East boundary _____

Indicate, by drawing, the shape and dimensions of the land, shape and dimensions of all existing and proposed building and structures and the distances from the proposed building and structures to all lot lines (from road frontages, side and rear lot lines). Show the location of roads fronting the property. **MUST CALL DIGGERS HOTLINE @ 811 BEFORE DIGGING – CONSTRUCTION ON UTILITY EASEMENTS IS NOT PERMITTED.**

The above information is, to the best of my knowledge, true and accurate. It is understood and agreed that any error, misstatement or misrepresentation of fact, either with or without intention on my part, such as might, if known, cause a refusal of this application, or any alteration or change in plans made without the approval of the Zoning Administrator subsequent to the issuance of the Permit, shall constitute sufficient grounds for the revocation of such permit. This permit is valid for one (1) year from approval date and work must be started within the first 6 months.

The signature also indicates permission granted to the Zoning Administrator to inspect the construction site in which this permit is granted at any time until construction is completed.

X Signature of Business Owner *Jo Ann Urshansky* Date 9/7/23

X Signature of Property Owner *Jo Ann Urshansky* Date 9/7/23

For Office Use Only:

Permit is Approved _____ Denied _____ Date _____
 Zoning Administrator

Reasons for Denial: _____

2023-37

C2 PRIMARY ID - GAS CANOPY - VINYL
SCALE: 1/2"=1'-0"

**SURVEY
REQUIRED**

COLORS	
PMS/PANTONE	VINYL
PMS 287C COBALT BLUE	3M 230-157
PMS 1797C RED	3M 230-33
PMS WHITEC WHITE	3M 230-20
PMS BLACKG BLACK	3M 230-22



3030 W Old Hwy 30
Grand Island, NE 68802
308.281.5525
1.877.381.5530
www.lovesignco.com

Designer: L. Kroeger
Project: Derek Beck
Location: Grand Island, NE
Date: 7-25-2023
Approved By:

Project: #20294

Building Update
Building ID
Pylon Sign
Gas Canopy

Client:

Jim's Truck Stop

Location:

1417 2nd St.
St. Paul, NE 68873

Revisions:

#	DATE	REASON

File Location:

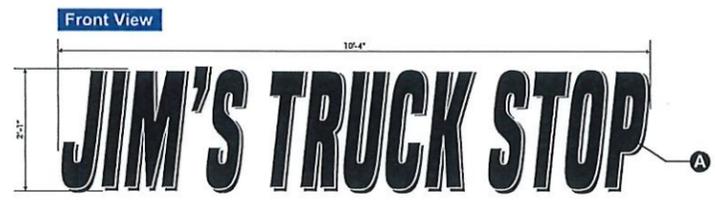
YJAS STATION\Jim's Truck Stop
#20294 - Jim's Truck Stop - Building
Update, Building ID, Pylon Sign, Gas
Canopy - St. Paul

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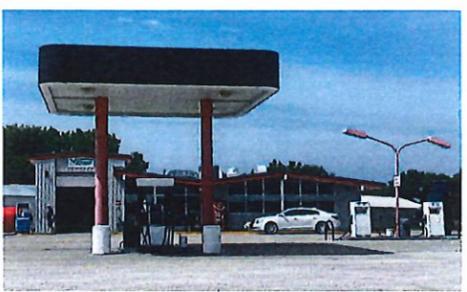
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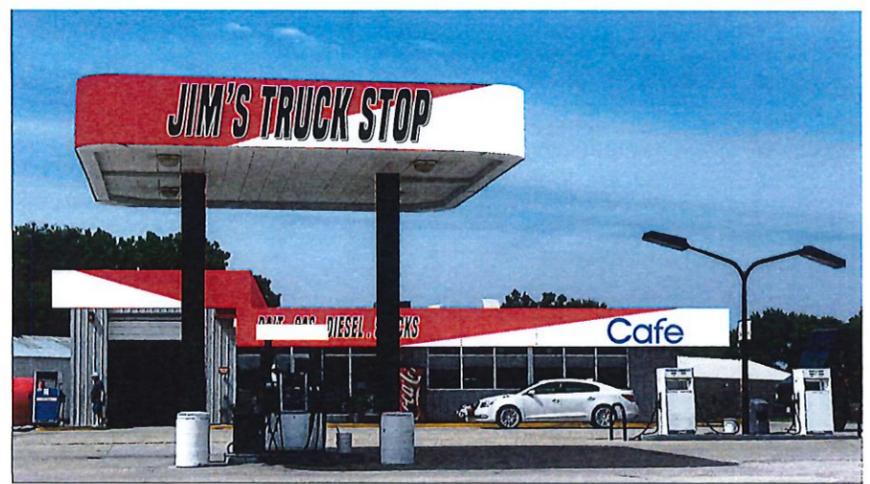


QTY: 4

SPECIFICATIONS
A MATERIAL TO BE WHITE OPAQUE 3M VINYL
APPLIED TO FIRST SURFACE. WHITE 230-20



EXISTING



Rendering
Scale: 3/16"=1'-0"

2023-37



JIM'S TRUCK STOP

EXTERIOR SIGNAGE

1417 2nd St.
St. Paul, NE 68873
Date: 7/26/2023
Project: #20294

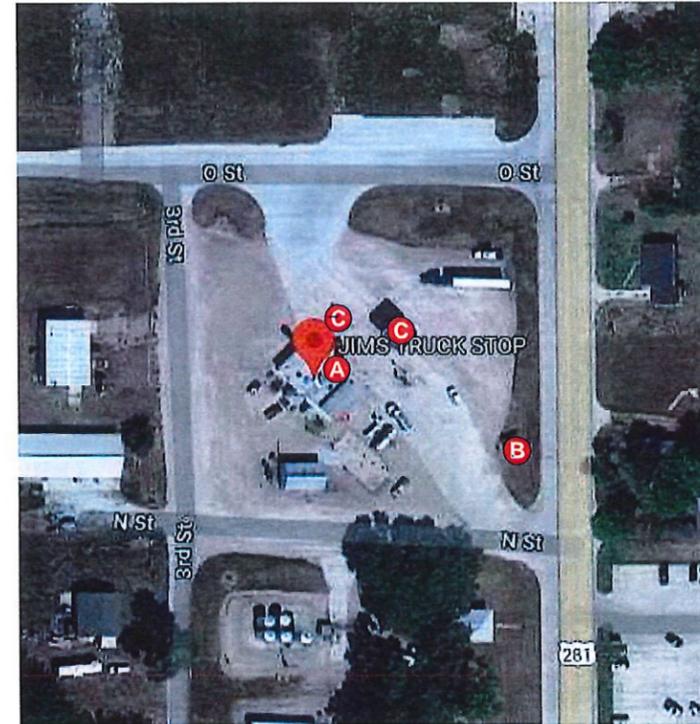
Sheet Index

- A2.01: BUILDING ID - ACM PANELS - OPTION 2
- A2.02: BUILDING ID - VINYL - OPTION 2
- B2.01: PRIMARY ID - PYLON SIGN - OPTION 2
- C2.01: PRIMARY ID - GAS CANOPY - REPAINT POLES - OPTION 2
- C2.02: PRIMARY ID - VINYL - OPTION 2



NOTE:

- DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS AND CLEARANCES WITH A FIELD SURVEY BEFORE PRODUCTION.
- VERIFY ALL PAINT AND VINYL COLORS WITH CUSTOMER BEFORE FINISHING.

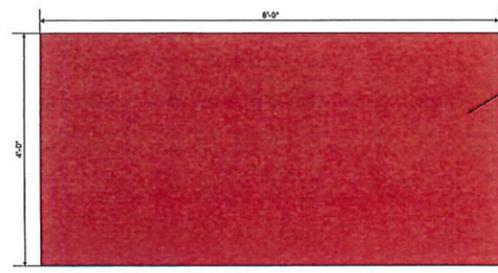


SHEET
COVER
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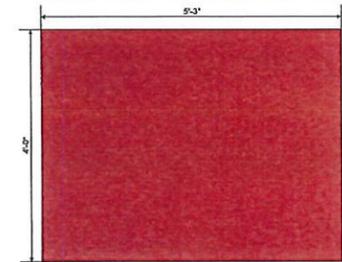
2023-37

A2 BUILDING ID - ACM PANELS - OPTION 2
SCALE: 1/2"=1'-0"

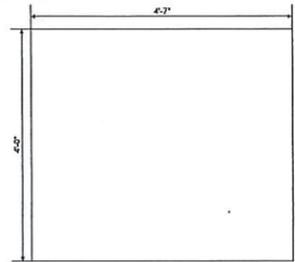
Front View



QTY: 8



QTY: 1



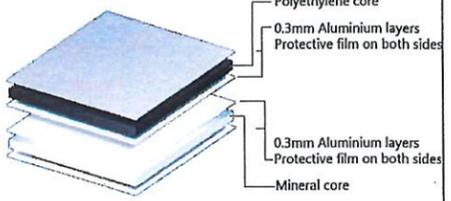
QTY: 1

SPECIFICATIONS
A FACE TO BE WHITE ACM PANELS PAINTED RED.

SURVEY REQUIRED

COLORS	
PMS/ PAINT	VINYL
PMS 287C COBALT BLUE	3M 230-167
PMS 1797C RED	3M 230-33
PMS WHITEC WHITE	3M 230-20
PMS BLACKC BLACK	3M 230-22

3MM DIBOND



EXISTING



Rendering
Scale: 1/8"=1'-0"



3030 W Old Hwy 30
Grand Island, NE 68802
308.381.5525
1.877.381.5530
www.lovesignco.com

Designer: L. Kroeger
Project: Derek Beck
Location: Grand Island, NE
Date: 7-25-2023
Approved By:

Project: #20294

Building Update
Building ID
Pylon Sign
Gas Canopy

Client:

Jim's Truck Stop

Location:

1417 2nd St.
St. Paul, NE 68873

Revisions:

#	DATE	REASON

File Location:

YASAS STATION\Jim's Truck Stop
#20294 - Jim's Truck Stop - Building
Update, Building ID, Pylon Sign, Gas
Canopy - St. Paul

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2023-37

A2 BUILDING ID - VINYL - OPTION 2
SCALE: 3/8"=1'-0"

**SURVEY
REQUIRED**

COLORS	
PMS/PAINTE	VINYL
PMS 287C COBALT BLUE	3M 230-157
PMS 1797C RED	3M 230-33
PMS WHITEC WHITE	3M 230-20
PMS BLACKG BLACK	3M 230-22



3030 W Old Hwy 30
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1.877.381.5530
www.lovesignco.com

Designer: L. Kroeger
Project: Derek Beck
Location: Grand Island, NE
Date: 7-25-2023
Approved By:

Project: #20294

Building Update
Building ID
Pylon Sign
Gas Canopy

Client:

Jim's Truck Stop

Location:

1417 2nd St.
St. Paul, NE 68873

Revisions:

#	DATE	REASON

File Location:

YIGAS STATION\Jim's Truck Stop
#20294 - Jim's Truck Stop - Building
Update, Building ID, Pylon Sign, Gas
Canopy - St. Paul

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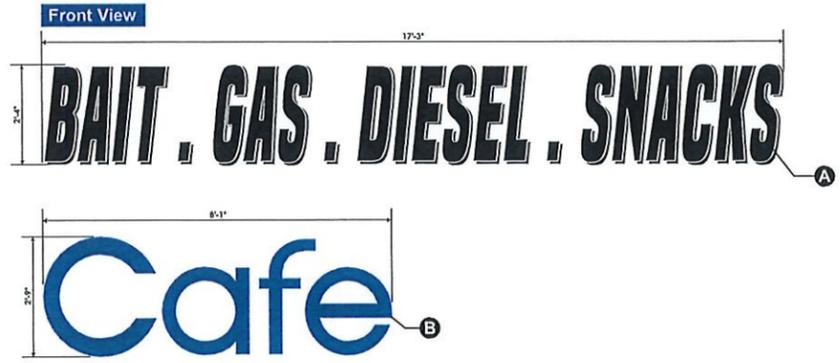
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A2.02
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SPECIFICATIONS
A MATERIAL TO BE WHITE OPAQUE 3M VINYL APPLIED TO FIRST SURFACE. BLACK 230-22
B MATERIAL TO BE COBALT BLUE OPAQUE 3M VINYL APPLIED TO FIRST SURFACE. WHITE 230-157



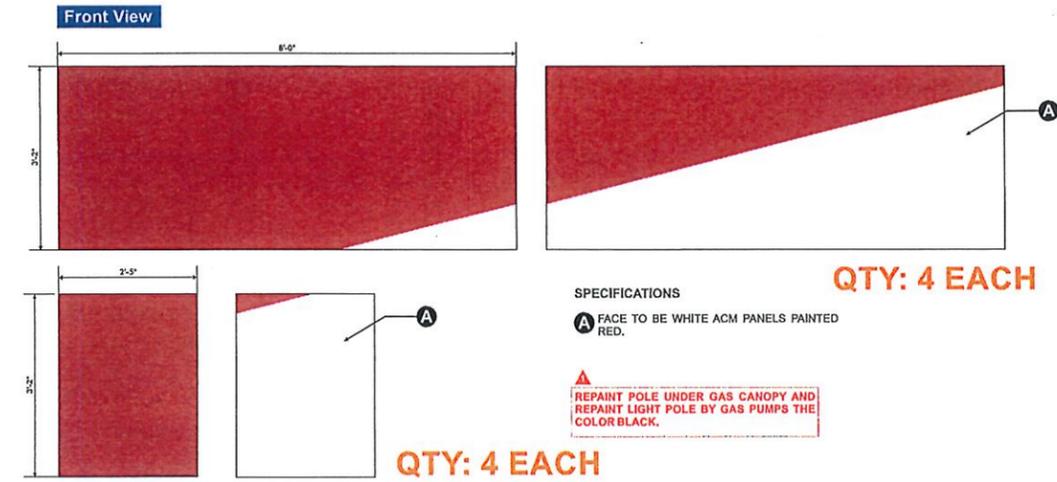
EXISTING



Rendering
Scale: 1/8"=1'-0"

2023-37

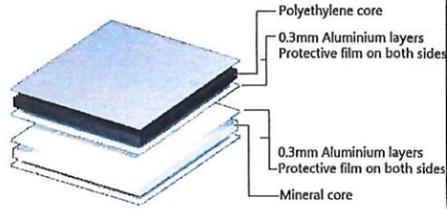
C2 PRIMARY ID - GAS CANOPY - REPAINT POLES - OPTION 2
SCALE: 1/2"=1'-0"



FIELD SURVEY REQUIRED

COLORS	
PMS/PANTONE	VINYL
PMS 287C COBALT BLUE	3M 230-157
PMS 1797C RED	3M 230-33
PMS WHITEC WHITE	3M 230-20
PMS BLACKC BLACK	3M 230-22

3MM DIBOND



LOVE Signs

3030 W Old Hwy 30
Grand Island, NE 68802
908.381.5525
1.877.381.5530
www.lovesignco.com

Designer: L. Kroeger
Project: Derek Beck
Location: Grand Island, NE
Date: 7-25-2023
Approved By:

Project: #20294

Building Update
Building ID
Pylon Sign
Gas Canopy

Client:

Jim's Truck Stop

Location:

1417 2nd St.
St. Paul, NE 68873

Revisions:

#	DATE	REASON

File Location:

Y:\GAS STATIONS\Jim's Truck Stop
#20294 - Jim's Truck Stop - Building
Update, Building ID, Pylon Sign, Gas
Canopy - St. Paul, NE

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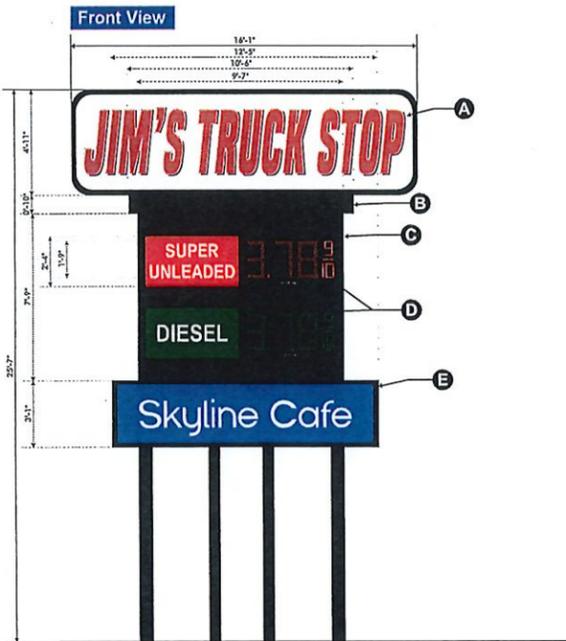
EXISTING



Rendering
Scale: 3/16"=1'-0"

2023-37

B2 PRIMARY ID - PYLON SIGN - OPTION 2
SCALE: 3/16"=1'-0"



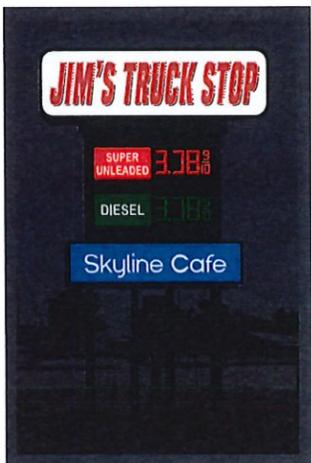
SPECIFICATIONS

- A** NEW FACE WITH 3M TRANSLUCENT VINYL APPLIED TO FIRST SURFACE. RED 230-33.
- B** PUT BLACK ACM PANEL TO COVER EXISTING GAPS.
- C** CABINET TO BE BUILT FROM A WELDED ALUMINUM FRAME. COLOR TO BE BLACK.
- D** DAKTRONICS 20" CHARACTER LED PRICE CHANGERS, ONE RED AND GREEN PER SIDE. CONTROLLED WITH WIRELESS KEYPAD. FL-3000-20-D1
- E** NEW FACE WITH 3M TRANSLUCENT VINYL APPLIED TO FIRST SURFACE. COBALT BLUE 230-157.

A REPAINT POLE AND CABINETS BLACK

FIELD SURVEY REQUIRED

COLORS	
PMS/PAIN	VINYL
PMS 287C COBALT BLUE	3M 230-157
PMS 1797C RED	3M 230-33
PMS WHITEC WHITE	3M 230-20
PMS BLACKC BLACK	3M 230-22



Rendering
Scale: 1/8"=1'-0"



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Grand Island, NE 68802
308.381.5525
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www.lovesignco.com

Designer: L. Kroeger
Project: Derek Beck
Location: Grand Island, NE
Date: 7-25-2023
Approved By:

Project: #20294

Building Update
Building ID
Pylon Sign
Gas Canopy

Client:

Jim's Truck Stop

Location:

1417 2nd St.
St. Paul, NE 68873

Revisions:

#	DATE	REASON

File Location:

YASAS STATION\Jim's Truck Stop
#20294 - Jim's Truck Stop - Building
Update, Building ID, Pylon Sign, Gas
Canopy - St. Paul, NE

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DRAWING APPROVED

CLIENT SIGNATURE

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SHEET
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Zoning Classification B-1

Value \$ 300.00

PERMIT NUMBER 2023-38

FEE \$50.00

CASH

CHECK# 8252

pd 8/31/23

APPLICATION FOR A SIGN PERMIT

St. Paul, Nebraska: DIRECTIONS: Fill in the following information as accurately and completely as possible. This application is not acceptable unless all required information is furnished.

Business Owner/Applicant John Thiel Property Owner Eric + Maria Montemagni

Address 1305 Wallace Address 1026 Jansen Road St. Paul, NE 68873

City, State, Zip St. Paul, NE 68873 Phone Number _____

Phone Number 308-379-8265 Cell Phone 308-750-3593

Complete Legal Description of the Property Lots 1, 2 and part Lot 3 Block 18 OT St. Paul

Address of Business 403 Howard Ave St. Paul, NE 68873

Size of Proposed Sign 10' x 4' on north side and replace sign on east side

Type of Sign Wall sign

Sign Construction/Material Aluminum

Where will sign be located on the property Front side of building

Distance from Front property line North 0 Rear property line South 116'

Distance from Side property line East 11' Second Side property line West 41'

Is there a utility easement on either the back or side property? NO

Approximately when will construction Start Sept 2023 Finish Oct 2023

To Whom Should the Improvements be assessed? _____

Contact Utility Superintendent at (308) 754-4483 regarding Inspection. Matt Helzer Date of visit 9-7-23
(Matt Helzer's signature)

Recommendations needed before approval: _____

For Office Use Only:

Is the proposed use permitted within this zoning district? ✓ YES _____ NO

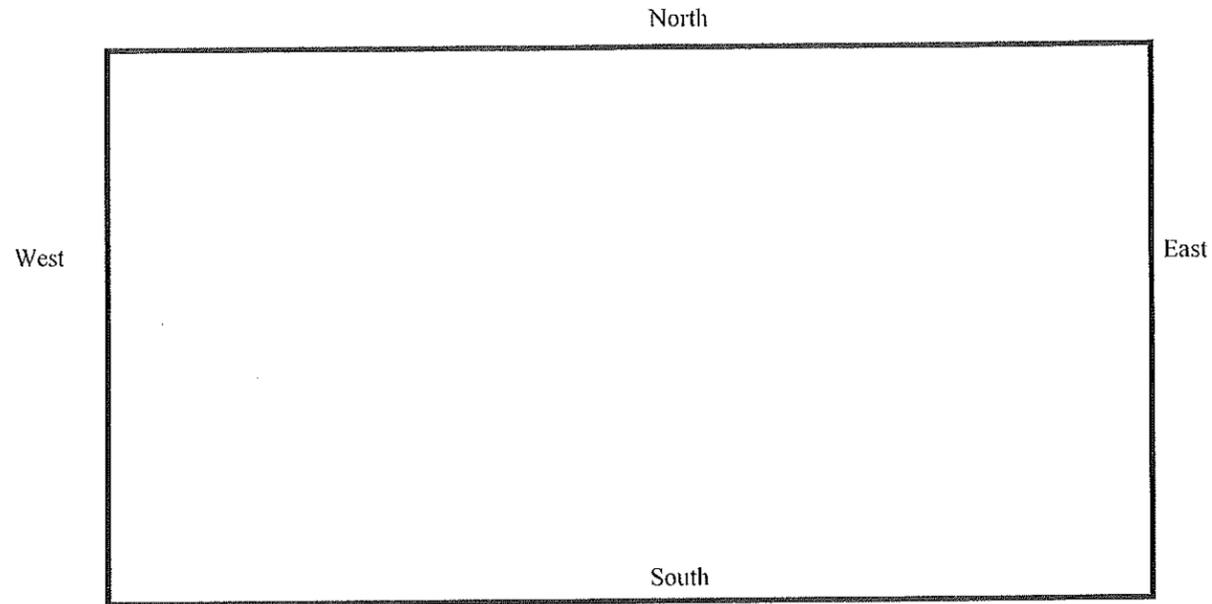
Does the proposed use meet all the required setback distances? ✓ YES _____ NO

Is a conditional use required for the proposed use? _____ YES ✓ NO

Has a Conditional Use Permit been issued for this proposed use? _____ YES ✓ NO
If yes, when does it expire? _____

PERMIT NUMBER 2023-38

Site Plan Sketch:



Street Name: North boundary _____ South boundary _____
 Street Name: West boundary _____ East boundary _____

Indicate, by drawing, the shape and dimensions of the land, shape and dimensions of all existing and proposed building and structures and the distances from the proposed building and structures to all lot lines (from road frontages, side and rear lot lines). Show the location of roads fronting the property. **MUST CALL DIGGERS HOTLINE @ 811 BEFORE DIGGING – CONSTRUCTION ON UTILITY EASEMENTS IS NOT PERMITTED.**

The above information is, to the best of my knowledge, true and accurate. It is understood and agreed that any error, misstatement or misrepresentation of fact, either with or without intention on my part, such as might, if known, cause a refusal of this application, or any alteration or change in plans made without the approval of the Zoning Administrator subsequent to the issuance of the Permit, shall constitute sufficient grounds for the revocation of such permit. **This permit is valid for one (1) year from approval date and work must be started within the first 6 months.**

The signature also indicates permission granted to the Zoning Administrator to inspect the construction site in which this permit is granted at any time until construction is completed.

Signature of Business Owner John Thiel Date 8-30-23

Signature of Property Owner [Signature] Date 8-31-23

For Office Use Only:

Permit is Approved _____ Denied _____ Date _____

 Zoning Administrator

Reasons for Denial: _____

2023-38



Zoning Classification R-2 Value \$ 12,700⁰⁰

PERMIT NUMBER 2023-39
FEE \$25.00 CASH CHECK# CC
pd 9/13/23

APPLICATION FOR A FENCE PERMIT

St. Paul, Nebraska: DIRECTIONS: Fill in the following information as accurately and completely as possible. This application is not acceptable unless all required information is furnished.

Property Owner Tim Duester Contractor Schumacher Fencing LLC

Address 522 Kendall St Address 6905 Cottonmill Ave

City, State, Zip St. Paul, Ne 68873 Phone Number 402 760 0078
cell Kearney Ne 68845

Phone Number 308-571-0525 email linda@sbfence.com
Cell Phone

Complete Legal Description of the Property Lots 13 + 14 Block 3 CT St. Paul

Address of Fence Site 522 Kendall St Size & Kind 6' privacy, 5' privacy

Replacement or New Fence: no

Approximately when will the construction: Start 9-1-23 Finish 9-30
N/A schedule 4+4

To Whom Should the Improvements be assessed? Tim Duester

Contact Utility Superintendent at (308) 754-4483 regarding Inspection Matt Helzer Date of visit 9-13-23
(Matt Helzer's signature)

Recommendations needed before approval: Fence south of house will be 4' high and 50% opening

MUST CALL DIGGERS HOTLINE @ 811 BEFORE DIGGING - CONSTRUCTION ON UTILITY EASEMENTS IS NOT PERMITTED. The above information is, to the best of my knowledge, true and accurate. It is understood and agreed that any error, misstatement or misrepresentation of fact, either with or without intention on my part, such as might, if known, cause a refusal of this application, or any alteration or change in plans made without the approval of the Zoning Administrator subsequent to the issuance of the Permit, shall constitute sufficient grounds for the revocation of such permit. This permit is valid for one (1) year from approval date. The signature also indicates permission granted to the Zoning Administrator to inspect the site in which this permit is granted at any time until completed.

Signature of Applicant Schumacher Fencing LLC by Linda Schumacher Date 8-22-23

N 6"
Drawing:

W 20'



E 6"

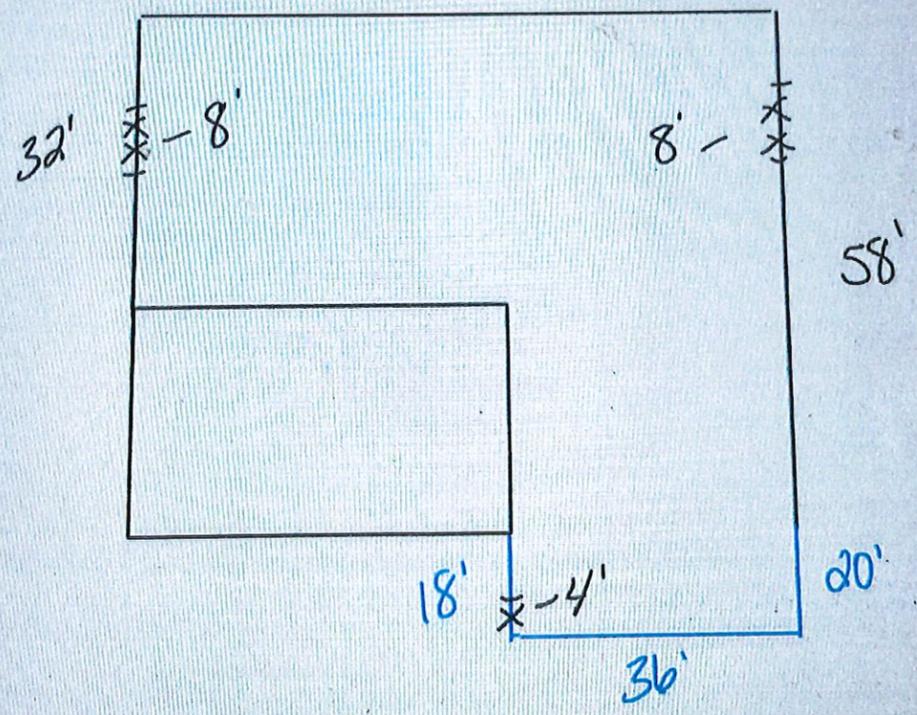
For Office Use Only: Permit is Approved Denied S 6" Date _____
Zoning Administrator

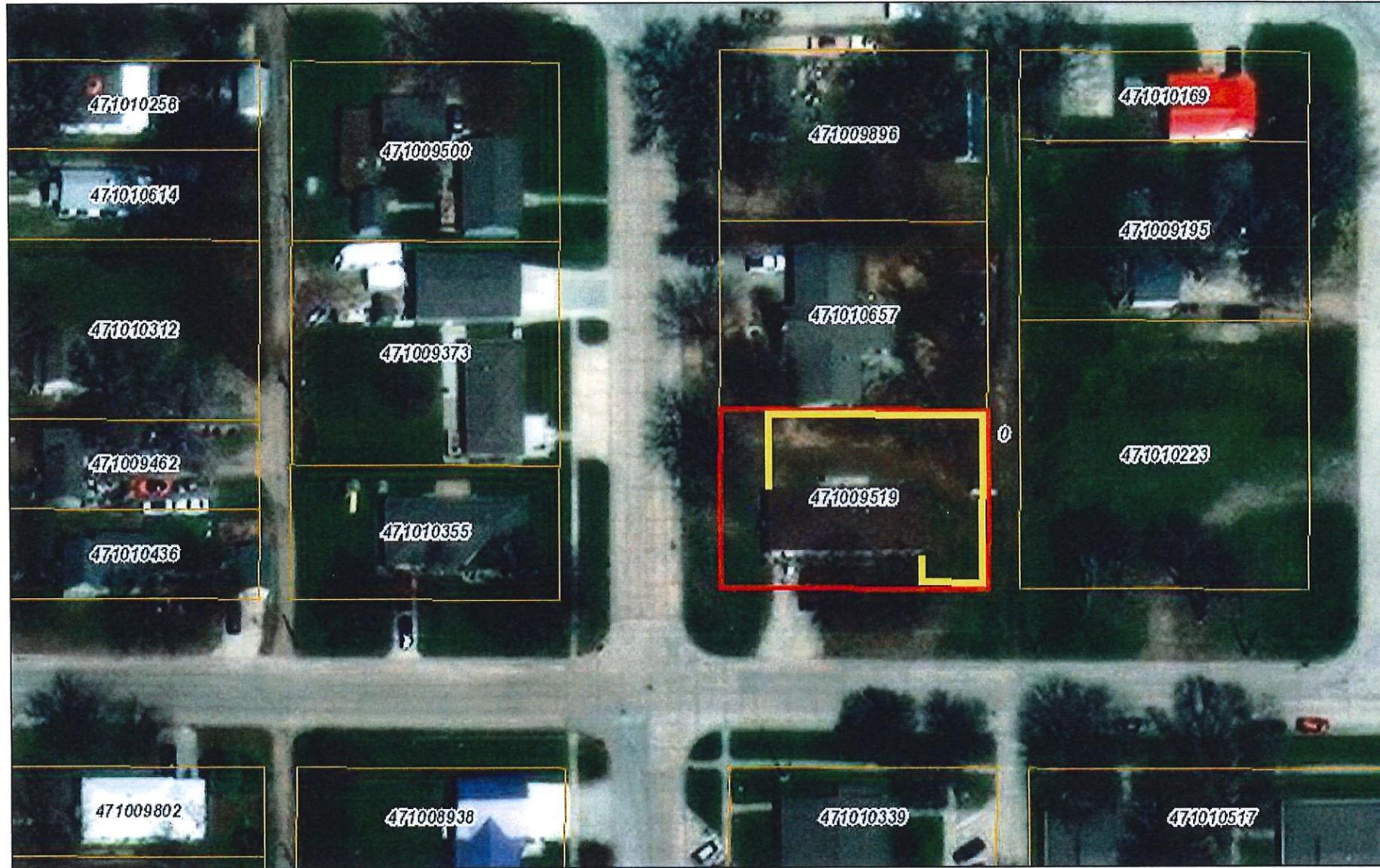
Reasons for Denial: _____

2023-39



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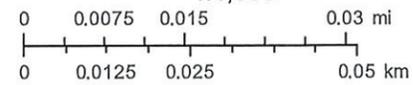




September 13, 2023 DISCLAIMER: This map is not intended for conveyances, nor is it a legal survey. The information is presented on a best-efforts basis, and should not be relied upon for making financial, survey, legal or other commitments.

1:1,085

Parcels



2023-39



Zoning Classification R-2 Value \$ 69,000

PERMIT NUMBER 2023-40

Please call 811 Diggers Hotline before designing

FEE \$ _____ CASH _____ CHECK# 1469 pd 9/14/23

APPLICATION FOR A COMMERCIAL ZONING PERMIT

St. Paul, Nebraska: DIRECTIONS: Fill in the following information as accurately and completely as possible. This application is not acceptable unless all requirement information is furnished.

Property Owner St. Mark's Lutheran Church Contractor Mathew McCarty Construction
Address 1306 Howard Ave. Address 1745 N. Hills Estates, St. Paul, NE. 68873
City, State, Zip St. Paul, NE. 68873 Phone Number (308) 750-2563
Phone Number (308) 750-1318 Cell Phone _____

Complete Legal Description of the Property E 16' LOT 8 & LOTS 9-12 BLOCK 4 KENDALL'S ADD ST PAUL

Address of Construction Site 1306 Howard Ave., St. Paul, NE. 68873
(If none, one must be registered with City of St. Paul or the 911 center.) In the Flood Plain NO ?

Proposed Structure & Use Church/ Bathroom Addition Dimension of Structure See Plans

Distance from Front property line See Plans Plans Submitted to Fire Marshall Office YES

Rear Property Line See Plans Side Property Line See Plans Second Side Line See Plans Between other buildings (Min 10') —

Is there a utility easement on either the back or side property? YES If so attach a copy of neighbor approval.

Approximately when will construction Start October/2023 Finish January/2024

To Whom Should the Improvements be assessed? St. Mark's Lutheran Church

Contact Utility Superintendent at (308) 754-4483 regarding Set-Back Inspection. Matt Helzer Date of visit 9-18-23
(Matt Helzer's signature)

Recommendations needed before approval: _____

(One Mile radius outside city limits) If the structure is a residence on less than 10 acres indicate the date this property was platted as a separate parcel _____ and the Name of the Lot Split or Subdivision, _____

For Office Use Only:

Is the proposed use permitted within this zoning district? ✓ YES _____ NO

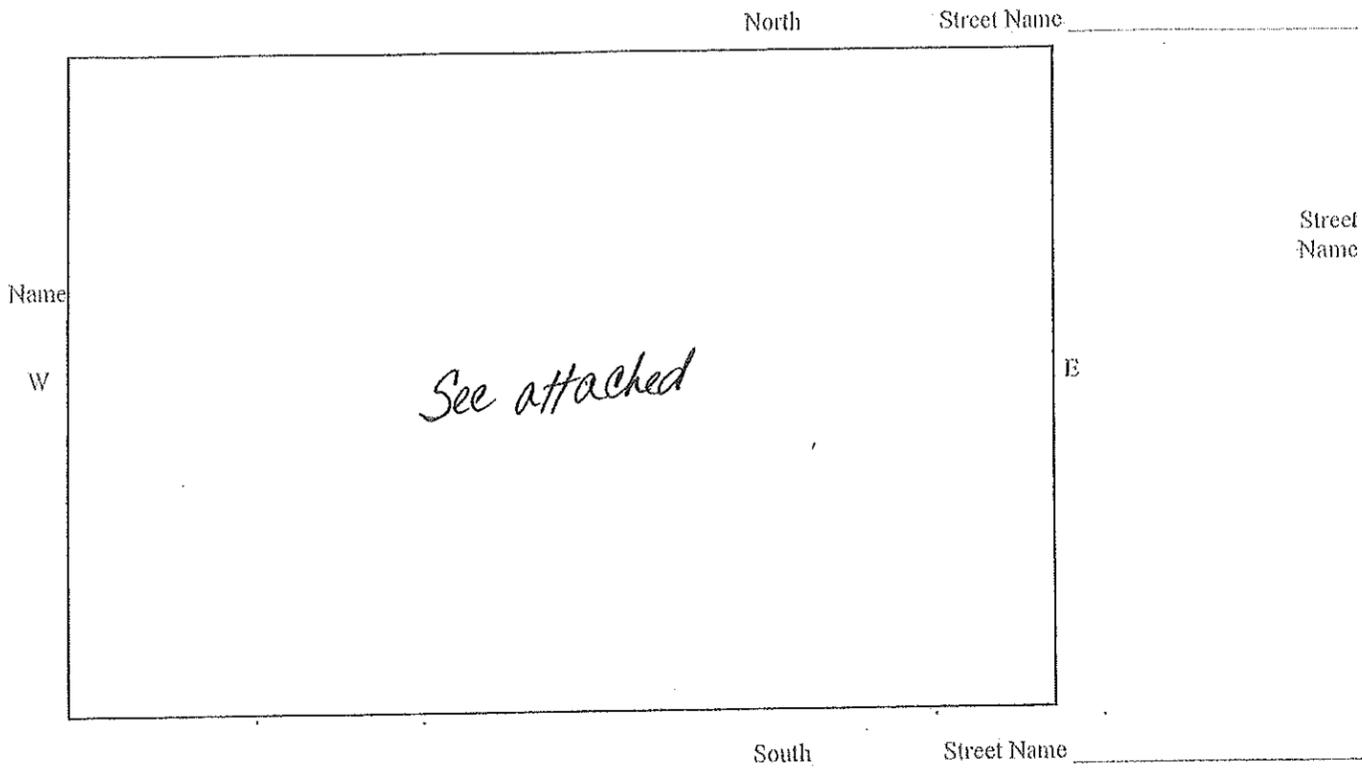
Does the proposed use meet all the required setback distances? ✓ YES _____ NO

Is a conditional use required for the proposed use? _____ YES ✓ NO

Has a Conditional Use Permit been issued for this proposed use? _____ YES ✓ NO
If yes, when does it expire? _____

PERMIT NUMBER 2023-40

Site Plan Sketch:



Indicate, by drawing, the shape and dimensions of the land, shape and dimensions of all existing and proposed building and structures and the distances from the proposed building and structures to all lot lines (from road frontages, side and rear lot lines). Show the location of roads fronting the property. MUST CALL DIGGERS HOTLINE @ 811 BEFORE DIGGING -- CONSTRUCTION ON UTILITY EASEMENTS IS NOT PERMITTED. NEW CONSTRUCTION MUST CALL Electrical Inspector, Kim Farnstrom 308-728-7612

The above information is, to the best of my knowledge, true and accurate. It is understood and agreed that any error, misstatement or misrepresentation of fact, either with or without intention on my part, such as might, if known, cause a refusal of this application, or any alteration or change in plans made without the approval of the Zoning Administrator subsequent to the issuance of the Permit, shall constitute sufficient grounds for the revocation of such permit. This permit is valid for one (1) year from approval date and work must be started within the first 6 months.

The signature also indicates permission granted to the Zoning Administrator to inspect the construction site in which this permit is granted at any time until construction is completed and a Certificate of Occupancy is issued.

Signature of Applicant [Signature] Date Sept 14, 2023

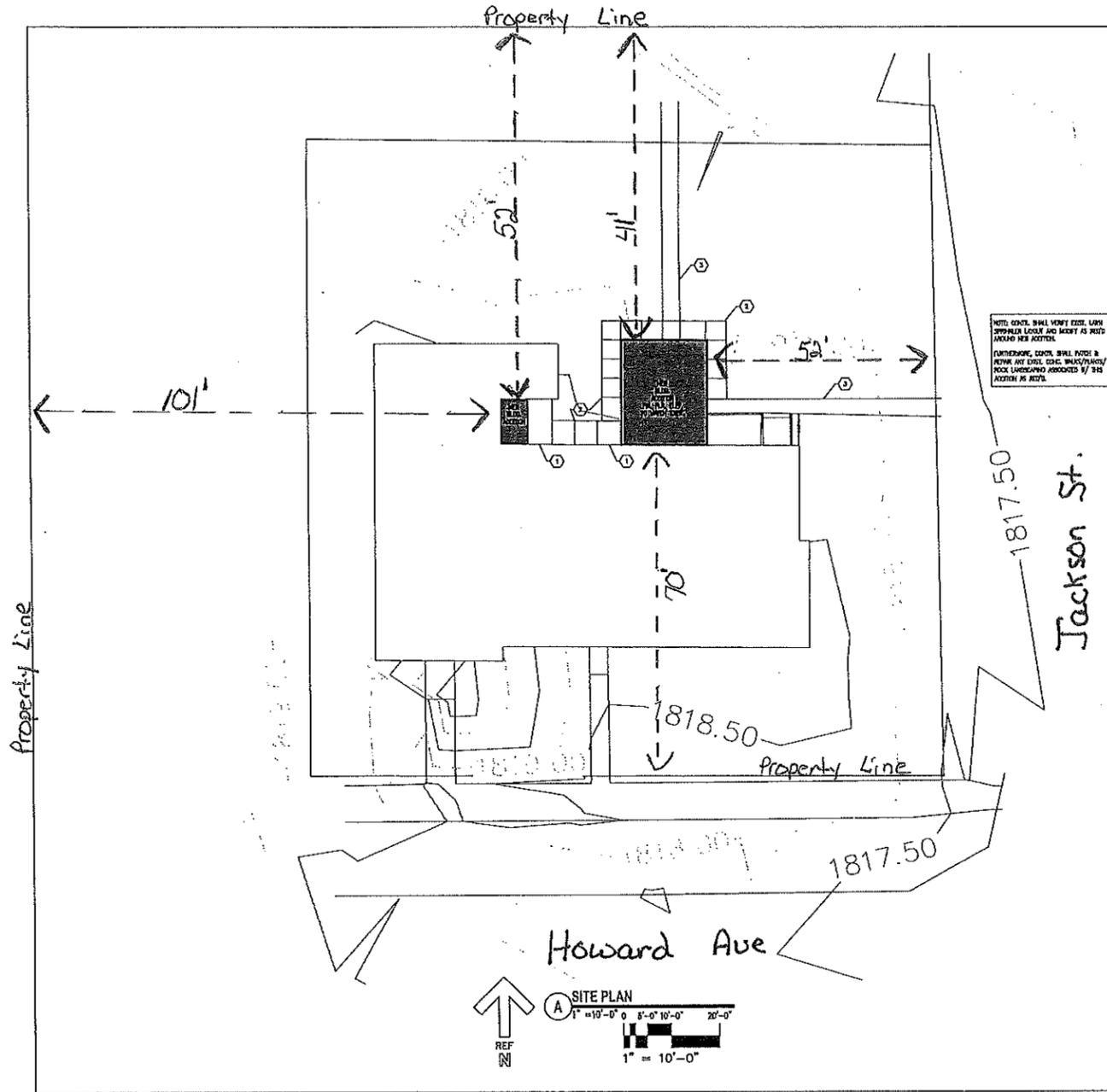
For Office Use Only:

Permit is Approved _____ Denied _____ Date _____
Zoning Administrator

Reasons for Denial:

City of St. Paul Zoning Administrator
704 6th St, St. Paul, NE 68873
Phone 308-754-4483, e-mail: mhelzer@cityofstpaulne.org

2023-40



NOTE: OWNER SHALL VERIFY EXIST. LINES
 SHOWN LOCATE AND VERIFY AS NOTED
 AROUND NEW DETAIL.
 DIMENSIONS, OWNER SHALL VERIFY &
 NOTIFY ANY EXIST. CONC. DIMENSIONS
 NOT SHOWN ARE ASSUMED AS SHOWN
 AROUND NEW DETAIL.

SITE PLAN GENERAL NOTES

1. CONTRACTOR SHALL FIELD VERIFY EXISTING SITE CONDITIONS AND ADJUST ACCORDINGLY.
2. CONTRACTOR IS ESPECIALLY CAUTIONED THAT LOCATION AND/OR ELEVATION OF EXISTING UTILITIES ARE NOT SHOWN ON THESE DRAWINGS. CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICTS WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.

KEYNOTES

- ① NEW STRUCTURE STOP
- ② NEW 4" X 4" W/ CONC. SKEW
- ③ EXIST. SKEW TO REMAIN, CONC. SHALL MATCH & BEAR IN NEW FOUND BUILDING SECTION

GENERAL NOTES

1. ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, IT IS THE PROJECT LEADER'S RESPONSIBILITY TO VERIFY THE ACCURACY OF ALL DETAILS AND DIMENSIONS.
2. THESE DRAWINGS ARE INTENDED TO CONFORM TO GENERALLY ACCEPTED BUILDING PRACTICES; HOWEVER, STATE AND LOCAL CODES, ORDINANCES, REGULATIONS, ETC., SHALL BE CONSIDERED AS PART OF THE SPECIFICATIONS OF THIS DRAWING, AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN DESCRIBED OR IMPLIED. IF IN THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT ALL APPLICABLE BUILDING CODE REQUIREMENTS ARE BEING MET.
3. DO NOT SCALE DRAWINGS, USE ONLY THE PRINTED DIMENSIONS.
4. VERIFY WITH THE WINDOW MANUFACTURER ALL WINDOW SIZES AND APPLICABLE EGRESS REQUIREMENTS.
5. ALL DIMENSIONS ARE TAKEN FROM TO ROUGH STUDS OF A DIMENSION OF EITHER 3/4" (2x4 STUDS), 3/4" (2x4 STUDS) OR TO THE OUTSIDE OF LOGGING.
6. DUE TO COORDINATION WITH FRAMING AND MECHANICAL INSTALLATIONS, FINAL DIMENSIONS MAY VARY SLIGHTLY FROM DIMENSIONS AS SHOWN ON CONSTRUCTION DRAWINGS.
7. THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN CONCEPT, INCLUDING THE DIMENSIONS OF THE BUILDING, THE MAJOR ARCHITECTURAL ELEMENTS AND THE TYPE OF STRUCTURAL SYSTEM. STRUCTURAL INTEGRITY OF THIS BUILDING IS SUBJECT TO REVIEW BY A QUALIFIED STRUCTURAL ENGINEER. AS A RESULT OF THESE DRAWINGS, THESE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS FOR CONSTRUCTION.
8. CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK. VERIFY ALL EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION, AND NOTIFY THE DESIGNER IMMEDIATELY OF ANY CONFLICTS OR FIELD CONDITIONS WHICH REQUIRE ALTERATION OF THESE PLANS PRIOR TO PROCEEDING WITH THE WORK. IN THE EVENT OF DISCREPANCY OR DISCREPANCIES IN THE PLANS, THE FLOOR PLANS SHALL GOVERN.
9. SPOTANSKI CREATIVE BUILDING DESIGN & DRAFTING IS NOT A PROFESSIONAL OR ARCHITECTURAL FIRM. THESE PLANS ARE DRAWN ACCORDING TO THE CONTRACTOR/CLIENT'S SPECIFICATIONS. ALL DIMENSIONS ARE TO BE VERIFIED BY CONTRACTOR.

IF THIS DRAWING IS NOT 24" X 36", THEN IT IS NOT TO SCALE

DATE:	
REVISION:	

SPOTANSKI CREATIVE BUILDING DESIGN & DRAFTING, LLC
 1306 HOWARD AVE. ST. PAUL, MN 55102
 (612) 736-0258

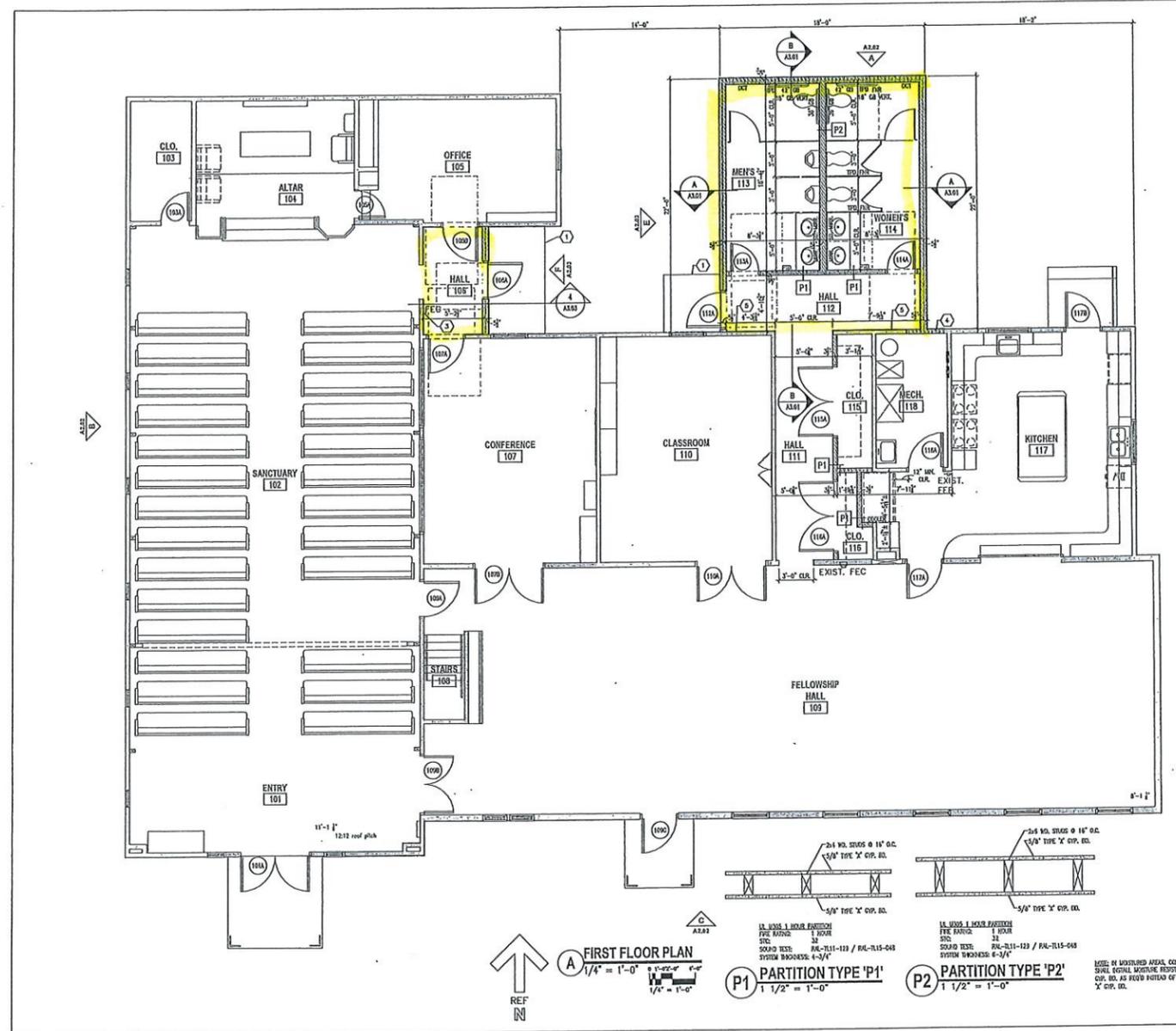
OWNER: ST. MARK LUTHERAN CHURCH
 ST. PAUL, MN 55103
 GENERAL CONTRACTOR: HANDBURY PROPERTY CONSTRUCTION
 1306 N. HILLS ESTIMATES ST. PAUL, MN 55103
 (612) 736-0258

SHEET TITLE: SITE DEMOLITION PLAN
 PROJECT DESCRIPTION: INTERIOR RENOVATIONS & ADDITION TO ST. MARK'S LUTHERAN CHURCH
 1306 HOWARD AVE. ST. PAUL, MN 55103

DRAWN BY: SPOTANSKI
 PLAN DATE: 09-14-2023
 PLOT DATE: 09-14-2023
 SHEET:

C1.02

2023-40



GENERAL NOTES

- ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, IT IS THE PROJECT LEAD'S RESPONSIBILITY TO VERIFY THE ACCURACY OF ALL DETAILS AND DIMENSIONS.
- THESE DRAWINGS ARE INTENDED TO CONFORM TO GENERALLY ACCEPTED BUILDING PRACTICES; HOWEVER, STATE AND LOCAL CODES MAY VARY WIDELY AND ALL FEDERAL, STATE AND LOCAL CODES, ORDINANCES, REGULATIONS, ETC. SHALL BE CONSIDERED AS PART OF THE SPECIFICATIONS OF THIS BUILDING, AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN, DESCRIBED, OR IMPLIED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT ALL APPLICABLE BUILDING CODE REQUIREMENTS ARE MET.
- DO NOT SCALE DRAWINGS, USE ONLY THE PRINTED DIMENSIONS.
- VERIFY WITH THE WINDOW MANUFACTURER ALL WINDOW SIZES AND APPLICABLE EGRESS REQUIREMENTS.
- ALL DIMENSIONS ARE TAKEN FROM/TO ROUNG SIDES OF A DIVISION OF EITHER 1/4" (25 STUDS), 3/8" (24 STUDS) OR TO THE OUTSIDE OF MASSING.
- DUE TO COORDINATION WITH FINISH AND MECHANICAL INSTALLATIONS, FINAL DIMENSIONS MAY VARY SLIGHTLY FROM DIMENSIONS AS SHOWN ON CONSTRUCTION DRAWINGS.
- THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN CONCEPT INCLUDING THE DIMENSIONS OF THE BUILDING, THE MAJOR ARCHITECTURAL FINISHES AND THE TYPE OF STRUCTURAL SYSTEM. STRUCTURAL INTEGRITY OF THIS BUILDING IS SUBJECT TO REVIEW BY A QUALIFIED STRUCTURAL ENGINEER. AS A SCOPE COORDINATOR, THESE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS FOR CONSTRUCTION.
- CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK HEREBY ALL EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION, AND NOTIFY THE DESIGNER IMMEDIATELY OF ANY CONDITIONS OR FIELD CONDITIONS WHICH REQUIRE ALTERATION OF THESE PLANS PRIOR TO PROCEEDING WITH THE WORK. IN THE EVENT OF DIMENSIONAL DISCREPANCIES IN THE PLANS, THE FLOOR PLANS SHALL GOVERN.
- SPOTANSKI CREATIVE BUILDING DESIGN & ARCHITECTURE IS NOT A PROFESSIONAL OR ARCHITECTURAL FIRM. THESE PLANS ARE DRAWN ACCORDING TO THE CONTRACTOR/CLIENT'S SPECIFICATIONS. ALL DIMENSIONS ARE TO BE VERIFIED BY CONTRACTOR.

MATERIAL KEYING LEGEND

- CG CORNER GUARD
- DET DETAIL
- EDB ELECTRIC HAND DRILLER
- FEB FIRE EXTINGUISHER AND BRACKET
- FEC FIRE EXTINGUISHER AND CABINET
- FUR FURNITURE HARPH RECEPTACLE
- GB GRAB BAR
- MB MARCHBOARD
- MRR MOP STRIP
- PS PROJECTION SCREEN
- PID PAPER TOWEL DISPENSER
- PID/WR PAPER TOWEL DISP. & WASTE RECEPT.
- SOP SOAP DISPENSER
- TB TACKBOARD
- TPD TOILET PAPER DISPENSER
- WB WINDOW BLIND

KEYNOTES

- EXIST. STAIR. STAIR
- REINSTALL CABINET REMOVED DURING DEMOLITION PHASE.
- NEW FIRE EXTINGUISHER/CAB.
- NEW WALL REEL COAT. TO MATCH EXIST.
- NEW 5/8" TYPE 'X' GYP. BD. OVER EXIST. SLD FINISH.

WALL LEGEND

- NEW WD. STUD WALL
- EXIST. WD. STUD WALL
- NEW 5/8" TYPE 'X' GYP. BD. @ EA SIDES OF EXIST. STUD WALL



IF THIS DRAWING IS NOT 24" X 36", THEN IT IS NOT TO SCALE.

DATE: _____

REVISION: _____

OWNER: ST. MARK LUTHERAN CHURCH
1306 HOWARD AVE.
ST. PAUL, NE. 68873

GENERAL CONTRACTOR: MATTHEW MCARTY
1745 N. HILLS ESTATES
ST. PAUL, NE. 68873
(202) 750-2583

PROJECT DESCRIPTION: INTERIOR
RENOVATION TO ST. MARK'S
LUTHERAN CHURCH
1306 HOWARD AVE. ST. PAUL, NE. 68873

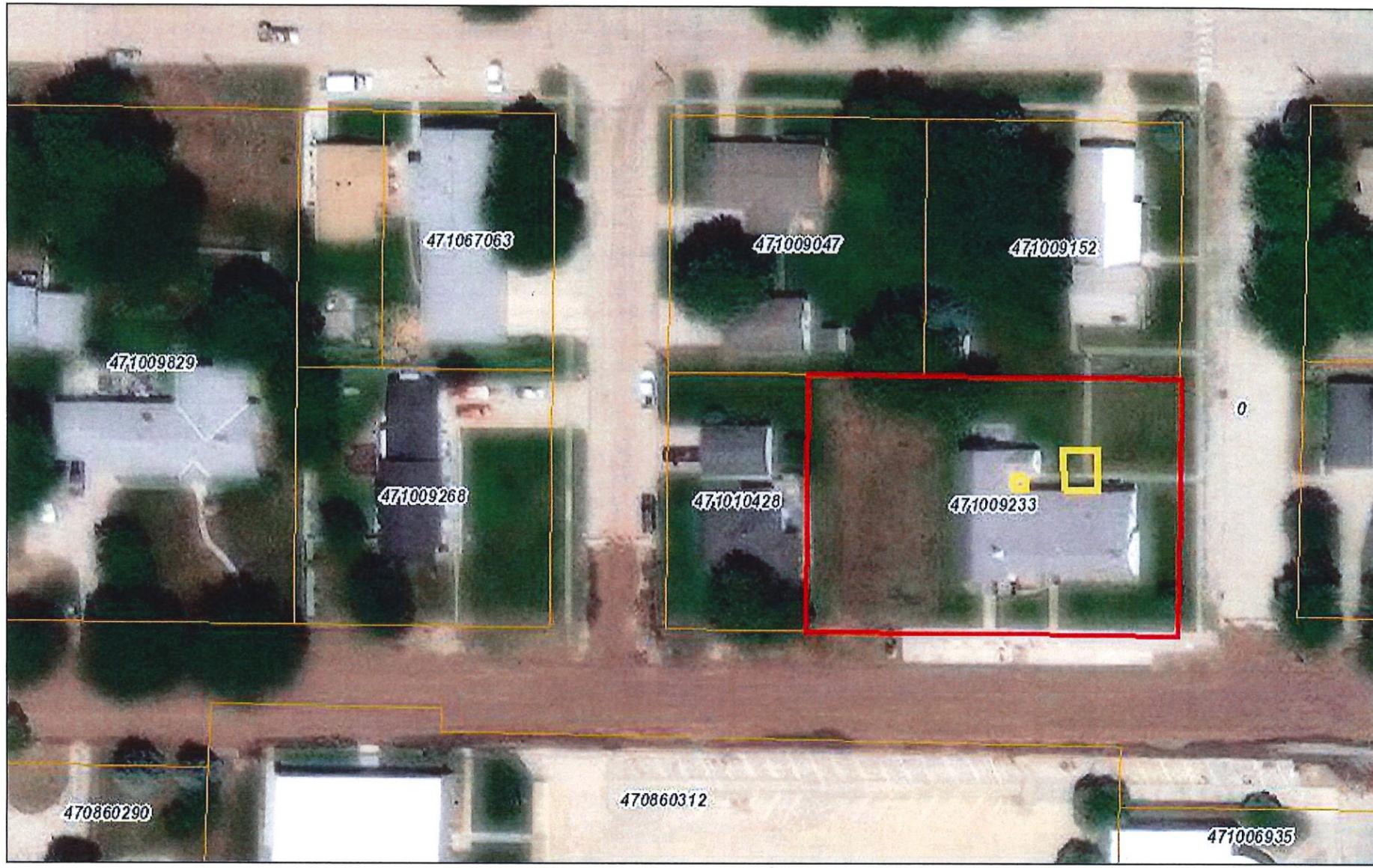
SHEET TITLE: FIRST FLOOR CODE PLAN

DRAWN BY: SPOTANSKI

PLAN DATE: 09-14-2023

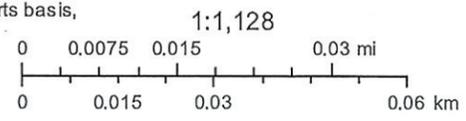
PLOT DATE: 09-14-2023

SHEET: A1.01



September 18, 2023 DISCLAIMER: This map is not intended for conveyances, nor is it a legal survey. The information is presented on a best-efforts basis, and should not be relied upon for making financial, survey, legal or other commitments.

Parcels



Zoning Classification R-1 Value \$ 2,400.⁰⁰ PERMIT NUMBER 2023-41
Please call 811 before completing form FEE \$25.00 CASH CHECK# pd 9/15/23

APPLICATION FOR A RESIDENTIAL ZONING PERMIT

St. Paul, Nebraska: DIRECTIONS: Fill in the following information as accurately and completely as possible. This application is not acceptable unless all required information is furnished.

Property Owner William + Kathleen Martinsen Contractor Parker Klingensmith
Address 109 Nelson Circle Address 1196 Twin Forks Lane
City, State, Zip St. Paul, NE 68873 Phone Number
Phone Number Cell Phone 308-750-1076

Complete Legal Description of the Property Lot 29 Kellys First Add St. Paul
Address of Construction Site 109 Nelson Circle St. Paul, NE
(If none, one must be registered with City of St. Paul) In the Flood plain? NO

Proposed Structure Replace Utility Shed Dimension of Structure 10' x 12' Wooden Shed
Distance from East Front property line 74' Distance from West Rear Property Line 8'
Distance from North Side Property Line 59' Distance from South Second Side Line 17'

Is there a utility easement on any side of the property? Yes
Approximately when will construction Start Finish

Contact Utility Superintendent at (308) 754-4483 regarding Set-Back Inspection. Matt Helzer Date of visit 9-6-23
(Matt Helzer's signature)

Recommendations needed before approval:

(One Mile radius outside city limits) If the structure is a residence on less than 10 acres indicate the date this property was platted as a separate parcel Name of the Lot Split or Subdivision

For Office Use Only:

Is the proposed use permitted within this zoning district? YES NO
Does the proposed use meet all the required setback distances? YES NO
Is a conditional use required for the proposed use? YES NO
Has a Conditional Use Permit been issued for this proposed use? YES NO
If yes, when does it expire?

Site Plan Sketch:

North Street Name _____

Street Name

Street Name

See attached

W

E

South Street Name _____

Indicate, by drawing, the shape and dimensions of the land, shape and dimensions of all existing and proposed buildings and structures, and the distances from the proposed building and structures to all lot lines (from road frontages, side and rear lot lines). Show the location of roads fronting the property. **MUST CALL DIGGERS HOTLINE @ 811 BEFORE DIGGING – CONSTRUCTION ON UTILITY EASEMENTS IS NOT PERMITTED.**

The above information is, to the best of my knowledge, true and accurate. It is understood and agreed that any error, misstatement or misrepresentation of fact, either with or without intention on my part, such as might, if known, cause a refusal of this application, or any alteration or change in plans made without the approval of the Zoning Administrator subsequent to the issuance of the Permit, shall constitute sufficient grounds for the revocation of such permit. **This permit is valid for one (1) year from approval date and work must be started within the first 6 months.**

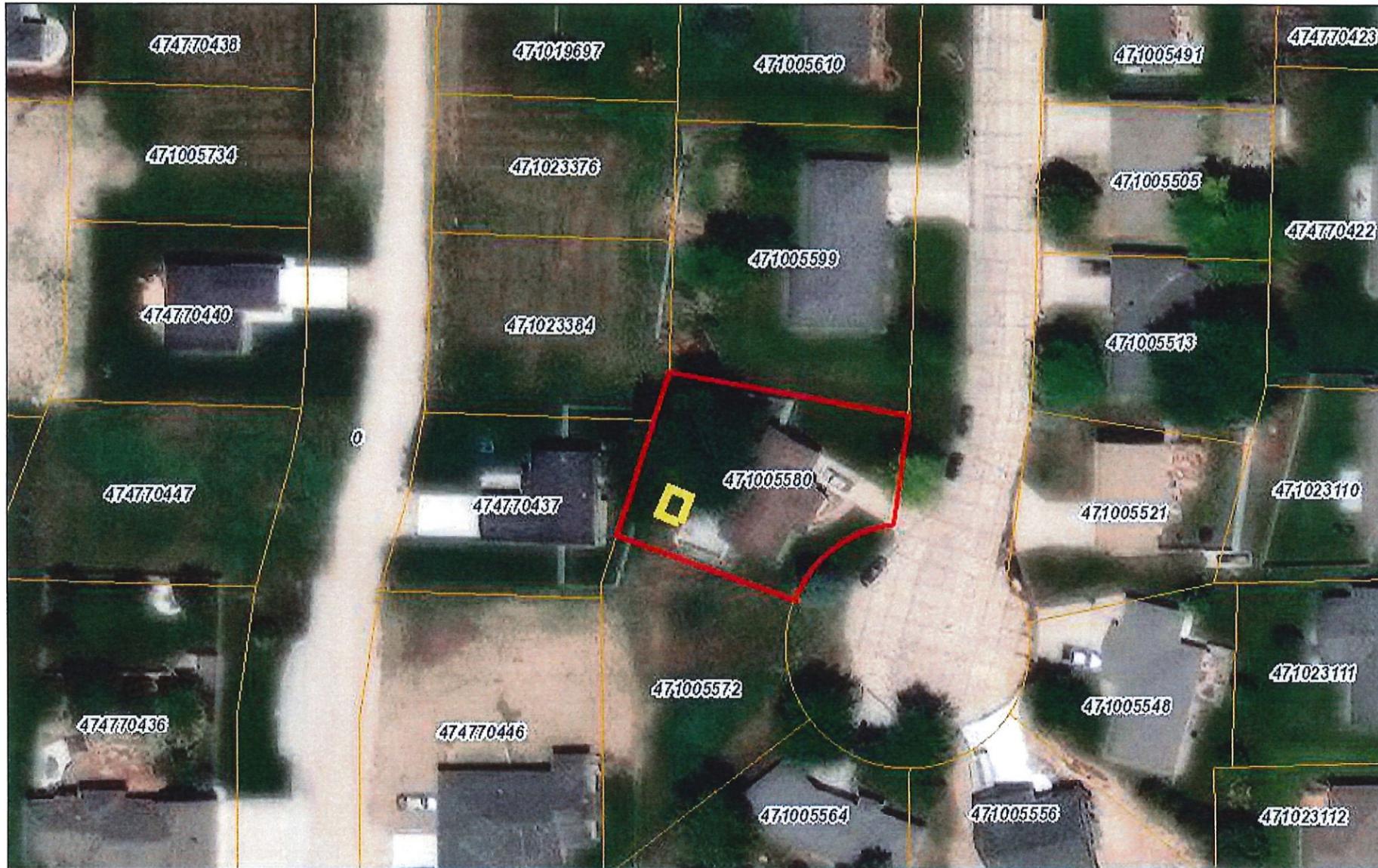
The signature also indicates permission granted to the Zoning Administrator to inspect the construction site in which this permit is granted at any time until construction is completed.

Signature of Applicant Kathleen Martensen Date _____

For Office Use Only:

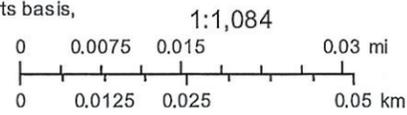
Permit is Approved _____ Denied _____ Date _____
Zoning Administrator Signature

Reasons for Denial: _____



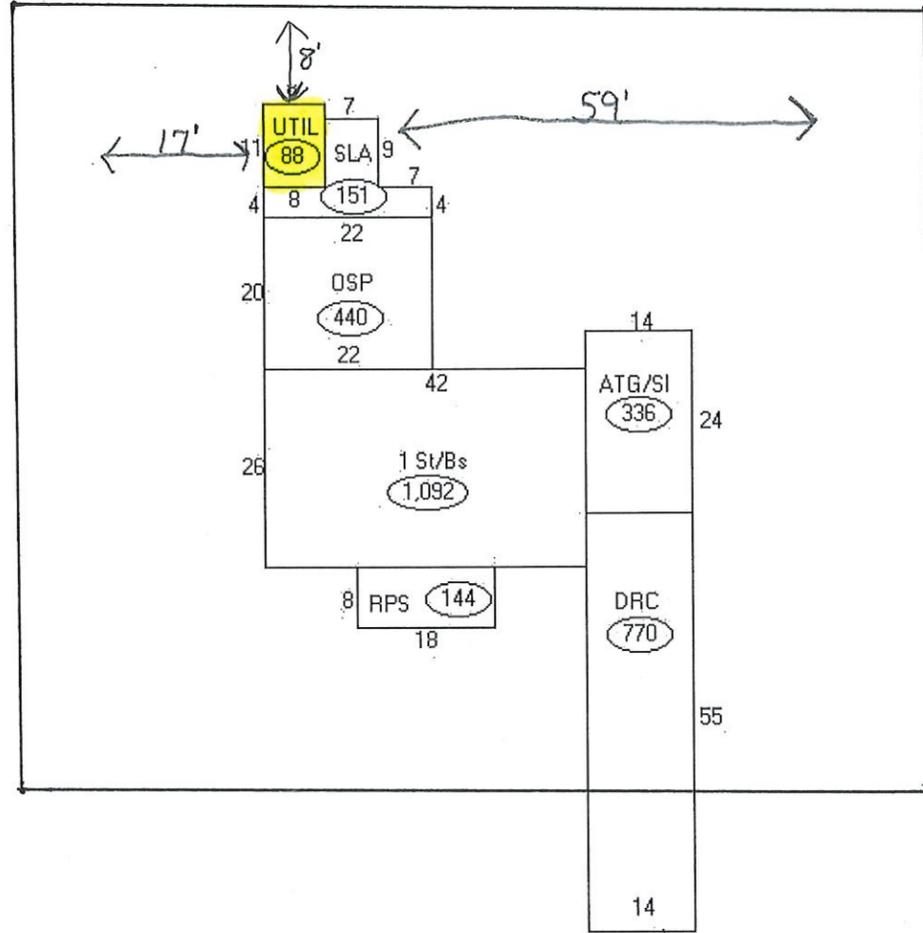
September 7, 2023 **DISCLAIMER:** This map is not intended for conveyances, nor is it a legal survey. The information is presented on a best-efforts basis, and should not be relied upon for making financial, survey, legal or other commitments.

 Parcels



2023-41

Parcel #: 471005580

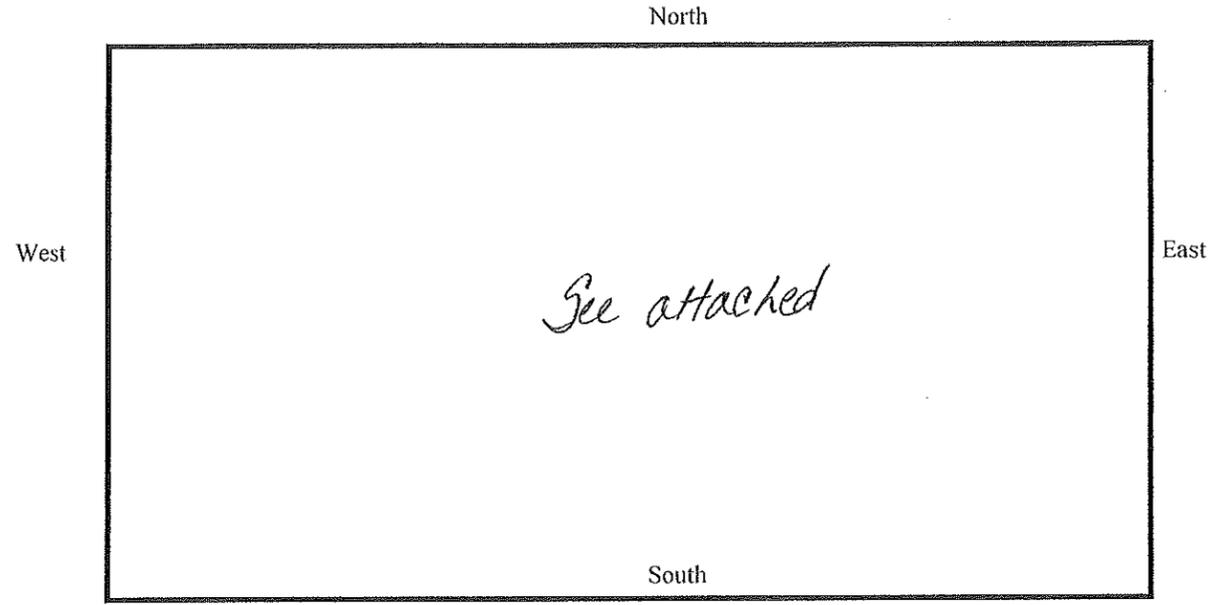


North →

Nelson Street

PERMIT NUMBER 2023-42

Site Plan Sketch:



Street Name: North boundary _____ South boundary _____
 Street Name: West boundary _____ East boundary _____

Indicate, by drawing, the shape and dimensions of the land, shape and dimensions of all existing and proposed building and structures and the distances from the proposed building and structures to all lot lines (from road frontages, side and rear lot lines). Show the location of roads fronting the property. **MUST CALL DIGGERS HOTLINE @ 811 BEFORE DIGGING – CONSTRUCTION ON UTILITY EASEMENTS IS NOT PERMITTED.**

The above information is, to the best of my knowledge, true and accurate. It is understood and agreed that any error, misstatement or misrepresentation of fact, either with or without intention on my part, such as might, if known, cause a refusal of this application, or any alteration or change in plans made without the approval of the Zoning Administrator subsequent to the issuance of the Permit, shall constitute sufficient grounds for the revocation of such permit. **This permit is valid for one (1) year from approval date and work must be started within the first 6 months.**

The signature also indicates permission granted to the Zoning Administrator to inspect the construction site in which this permit is granted at any time until construction is completed.

Signature of Business Owner *Roger Goettsche, President* Date 9-19-23

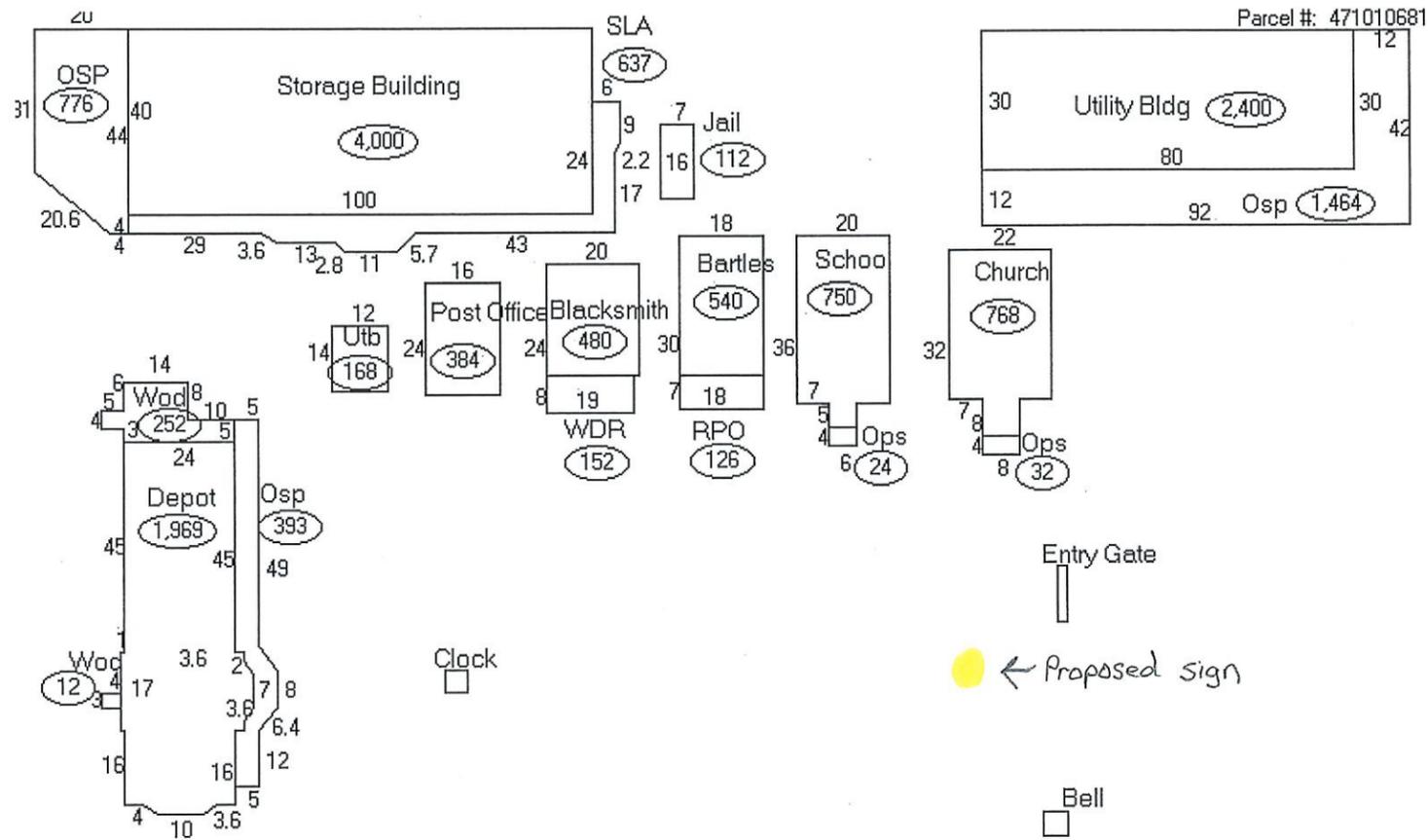
Signature of Property Owner _____ Date _____

For Office Use Only:

Permit is Approved _____ Denied _____ Zoning Administrator _____ Date _____

Reasons for Denial: _____

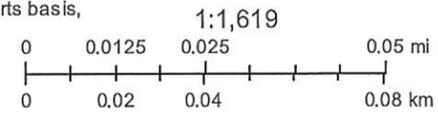
2023-42





September 19, 2023 **DISCLAIMER:** This map is not intended for conveyances, nor is it a legal survey. The information is presented on a best-efforts basis, and should not be relied upon for making financial, survey, legal or other commitments.

□ Parcels



October 2, 2023 Disbursements

Gross Payroll - September 2023	151506.87
911 Custom (uniforms)	1276.00
Altec Industries (repair)	706.64
Amazon Capital Services (books)	432.07
American Legal Publishing (service)	450.00
AT&T Mobility (service, supplies)	467.78
B.C. Murphy Enterprises: Street 2002 International (Dump Truck - September 2023)	27420.00
Banzhaf, Gary (supplies)	500.00
Blue Cross Blue Shield of NE (insurance)	19449.65
BOK Financial (bond)	159473.75
Bomgaars (supplies)	904.35
Charter Spectrum (service)	239.96
City Health Deductible Savings (insurance)	5445.00
City of St. Paul 125 Plan (insurance)	100.00
Construction Rental (supplies)	900.00
Core & Main (supplies)	1628.46
Cornhusker State Industries (supplies)	872.00
Custer County Recycling (service)	14.30
Dana F Cole & Company (service)	9400.00
Danko Emergency Equip (uniform)	115.00
Dick's Repair (repair)	640.97
Dutton Lainson (supplies)	6530.92
Elan Financial Services (car washes)	31.00
Elmwood Cemetery (service)	100.00
Galls Inc (uniform)	2058.23
Heartland Disposal (service)	119.50
Homestead Bank: Bad Check Fee (T. Drew Lost Checkbook) fee	3.00
Hometown Market (supplies)	10.69
Howard Co. Register of Deeds (fee)	30.00
Howard Co. Treasurer (dispatch fee)	3158.54
John Deere Financial (supplies)	87.12
Klanecky, Jamie (meal, fuel)	60.74
LARM (insurance)	168704.33
Madison Nat'l Life (insurance)	187.34
Menards (supplies)	127.85
Modern Marketing (supplies)	404.82
Motorola Solutions (supplies)	214.92
Municipal Supply (supplies)	267.11
NE Generator (service)	746.42
NE Public Health Environment (lab)	628.00
Olsson (service)	32492.53
Overland Ready Mixed (concrete)	2083.95
Pioneer Door (repair)	728.00
Robinson, Grady (car wash)	13.00

RR Donnelly (supplies)	143.54
SE Smith & Sons (supplies)	80.61
ServiTech (lab)	60.00
SiteOne Landscape Supply (supplies)	1154.29
State of NE Central Svcs (telephone)	38.34
Utilites Section of LONM (dues - Sept)	1625.00
Vander Haag's Inc: Street 2005 International (Dump Truck - September 2023)	33475.00

October 2, 2023 Non-General

S Squared Enterprises (TIF Sept. 2023 Proceeds)	6705.39
MAD Development (TIF Sept. 2023 1/2 Share MAD Development Proceeds)	3672.42
City of St. Paul (TIF Sept. 2023 1/2 Share MAD Development Proceeds)	3672.42
City of St. Paul Sales Tax M. Mkt Transfer to Sales Tax Checking Account (Fund Transfer)	75000.00
City of St. Paul Heritage Bank Transfer of Funds to Citizens Bank & Trust Insured Cash Sweep (ICS) Light \$150,000; Water \$75,000; Sewer \$75,000	300000.00
Sales Tax: Street: Mtr Veh Tax: July 2023 Proceeds (Mtr Veh Tax)	8914.66
Sales Tax: Fire Station: July 2023 Proceeds (Fire Station)	17176.09
Sales Tax: 25% Infrastructure: July 2023 Proceeds (25% Infrast)	8588.04
Sales Tax: LARM (Civic Cntr prop ins)	17272.67

CITY OF ST PAUL

09/27/23 3:24 PM

Page 1

***Check Detail Register©**

Batch: Disb Oct2

Check #	Check Date	Vendor Name	Amount	Invoice	Comment
11100 CHECKING					
70283	10/02/23	911 CUSTOM			
E 32-20-268		Uniforms	\$1,135.00	53761-2	Pol - vest for Matt Sample
E 32-20-268		Uniforms	\$141.00	53761-3	Pol - badge for Jon Howard
		Total	\$1,276.00		
70284	10/02/23	ALTEC INDUSTRIES INC			
E 01-20-271		VEHICLE R & M	\$706.64	12391942	Lgts - #49 new jib assembly
		Total	\$706.64		
70285	10/02/23	AMAZON CAPITAL SERVICES			
E 44-20-242		BOOKS	\$18.94	137R-M3TG-	Lib - books
E 44-20-242		BOOKS	\$116.62	16D7-1CLM-	Lib - books
E 44-20-242		BOOKS	\$16.80	17GR-77CY-	Lib - books
E 44-20-242		BOOKS	\$22.38	1FVN-4KP9-	Lib - books
E 44-20-242		BOOKS	\$42.29	1H7D-3X9X-1	Lib - books
E 44-20-242		BOOKS	\$107.44	1NC1-WQL1-	Lib - books
E 44-20-242		BOOKS	\$107.60	1PLT-N49D-4	Lib - books
		Total	\$432.07		
70286	10/02/23	AMERICAN LEGAL PUBLISHING CORP			
E 10-20-240		PUBLISH / CODIF	\$450.00	27937	Gen - annual fee for online City Code
		Total	\$450.00		
70287	10/02/23	AT&T MOBILITY			
E 32-20-220		COMMUNICATION	\$345.24	08282023	Pol - cell phones and tablets for police vehicles
E 03-20-220		COMMUNICATION	\$231.91	08282023	Swr - modem for WWTP
E 03-20-220		COMMUNICATION	(\$109.37)	08282023	Swr - modem for WWTP
		Total	\$467.78		
70288	10/02/23	BANZHAF, GARY			
E 31-50-540		MACH & EQUIPMENT	\$500.00	INV092	Fire - fire hose testing machine
		Total	\$500.00		
70289	10/02/23	BLUE CROSS BLUE SHIELD OF NE			
E 02-10-130		INSURANCE	\$3,467.35	3437836	Wtr - health insurance
E 10-10-130		INSURANCE	\$3,331.91	3437836	Gen - health insurance
E 01-10-130		INSURANCE	\$2,681.78	3437836	Lgts - health insurance
E 42-10-130		INSURANCE	\$1,571.14	3437836	Park - health insurance
E 32-10-130		INSURANCE	\$3,142.28	3437836	Pol - health insurance
E 21-10-130		INSURANCE	\$3,142.28	3437836	Strs - health insurance
E 03-10-130		INSURANCE	\$2,112.91	3437836	Swr - health insurance
		Total	\$19,449.65		
70290	10/02/23	BOMGAARS SUPPLY INC			
E 03-20-270		UTILITY R & M	\$117.98	43946783	Swr - folding table, pail for WWTP
E 03-20-270		UTILITY R & M	\$99.99	43946784	Swr - folding table for WWTP
E 03-20-270		UTILITY R & M	\$34.99	43946789	Swr - extension cord for WWTP
E 03-20-270		UTILITY R & M	\$123.43	43947312	Swr - hand soap, air freshner, trash can, toilet bowl brush, Clorox wipes, garden hoses for WWTP
E 01-20-270		UTILITY R & M	\$27.80	43948142	Lgts - degreaser

***Check Detail Register©**

Batch: Disb Oct2

Check #	Check Date	Vendor Name	Amount	Invoice	Comment
E 01-20-272		TOOLS	\$32.51	43948753	Lgts - staples, multi-tacker for inventory tagging
E 03-20-272		TOOLS	\$7.97	43948822	Swr - flap disc, cut-off wheels
E 42-20-270		UTILITY R & M	\$11.94	43948988	Park - eye bolts
E 42-20-270		UTILITY R & M	\$7.25	43949079	Park - wire rope clips, hog rings
E 03-20-270		UTILITY R & M	\$34.99	43949102	Swr - trash bags
E 03-20-270		UTILITY R & M	\$9.99	43951083	Swr - anchor line
E 69-20-520		BLDG/ R & M	\$38.98	43951442	Sr Cntr - drano, fan
E 02-20-270		UTILITY R & M	\$42.10	43952971	Wtr - cutting wheels, shop towels
E 42-20-521		GROUNDS / R & M	\$109.99	43953167	Park - weed spray
E 01-20-270		UTILITY R & M	\$36.37	43953622	Lgts - circuit breaker
E 34-20-270		UTILITY R & M	\$19.76	43954261	Cem - links & fasteners for flag pole
E 03-20-270		UTILITY R & M	\$17.99	43954633	Swr - canning jars for wastewater samples
E 02-20-270		UTILITY R & M	\$21.39	43954858	Lgts - LED bulb
E 02-20-272		TOOLS	\$21.39	43954858	Lgts - rake
E 03-20-270		UTILITY R & M	\$17.58	43955387	Swr - cleaning supplies
E 21-20-271		VEHICLE R & M	\$23.98	43955443	Strs - antifreeze for street vehicles
E 21-20-270		UTILITY R & M	\$12.99	43955443	Strs - shop towels
E 21-20-272		TOOLS	\$32.99	43955443	Strs - knee pad
		Total	\$904.35		
70291	10/02/23	CHARTER/SPECTRUM			
E 10-20-220		COMMUNICATION	\$109.98	17621670109	Gen - internet service
E 31-20-220		COMMUNICATION	\$129.98	17621670109	Fire - internet service
		Total	\$239.96		
70292	10/02/23	CITY HEALTH DEDUCTIBLE SAVINGS			
E 42-10-130		INSURANCE	\$363.00		Park - health reimbursement
E 03-10-130		INSURANCE	\$1,089.00		Swr - health reimbursement
E 01-10-130		INSURANCE	\$726.00		Lgts - health reimbursement
E 21-10-130		INSURANCE	\$726.00		Strs - health reimbursement
E 02-10-130		INSURANCE	\$1,089.00		Wtr - health reimbursement
E 10-10-130		INSURANCE	\$726.00		Gen - health reimbursement
E 32-10-130		INSURANCE	\$726.00		Pol - health reimbursement
		Total	\$5,445.00		
70293	10/02/23	CITY OF ST PAUL 125 PLAN			
E 02-10-130		INSURANCE	\$30.00		Wtr - life insurance
E 03-10-130		INSURANCE	\$20.00		Swr - life insurance
E 21-10-130		INSURANCE	\$20.00		Strs - life insurance
E 10-10-130		INSURANCE	\$20.00		Gen - life insurance
E 42-10-130		INSURANCE	\$10.00		Park - life insurance
		Total	\$100.00		
70294	10/02/23	CONSTRUCTION RENTAL GI			
E 31-50-540		MACH & EQUIPMENT	\$900.00	468990-3	Fire - safety seats for grass rigs
		Total	\$900.00		
70295	10/02/23	CORE & MAIN			
E 02-20-270		UTILITY R & M	\$1,628.46	T631265	Wtr - corp stops, ball curbs, rib inserts, meter plugs, service saddles, BRS inserts

***Check Detail Register©**

Batch: Disb Oct2

Check #	Check Date	Vendor Name	Amount	Invoice	Comment
Total			\$1,628.46		
70296	10/02/23	CORNHUSKER STATE INDUSTRIES			
E 03-50-550		IMPROVEMENTS	\$872.00	1390197	Swr - pencil tray, chairs for WWTP
Total			\$872.00		
70297	10/02/23	CUSTER COUNTY RECYCLING			
E 04-20-325		Recycle Delivery	\$14.30	567	Lndfl - recycling trailer
Total			\$14.30		
70298	10/02/23	DANA F COLE & COMPANY, L.L.P.			
E 01-20-345		ACCOUNTING FEE	\$3,133.34		Lgts - accounting services for 2023/2024 budget
E 02-20-345		ACCOUNTING FEE	\$3,133.33		Wtr - accounting services for 2023/2024 budget
E 03-20-345		ACCOUNTING FEE	\$3,133.33		Swr - accounting services for 2023/2024 budget
Total			\$9,400.00		
70299	10/02/23	DANKO EMERGENCY EQUIP			
E 31-50-540		MACH & EQUIPMENT	\$115.00	131527	Fire - bunker gear (pants)
Total			\$115.00		
70300	10/02/23	DICKS REPAIR			
E 01-20-271		VEHICLE R & M	\$640.97	34498	Lgts - #16 replace fuel pump
Total			\$640.97		
70301	10/02/23	DUTTON-LAINSON CO.			
E 02-20-269		Water Meters	\$3,480.60	884854-1	Wtr - water meter radios
E 01-20-270		UTILITY R & M	\$1,738.16	884984-1	Lgts - insulators, crossarm pins, wireholders, riser guards
E 01-20-270		UTILITY R & M	\$622.19	884984-2	Lgts - strandvises
E 01-20-270		UTILITY R & M	\$689.97	S32865-1	Lgts - #8 copper wire
Total			\$6,530.92		
70302	10/02/23	ELAN FINANCIAL SERVICES			
E 32-20-271		VEHICLE R & M	\$10.00	6345	Pol - car wash (no receipt)
E 32-20-271		VEHICLE R & M	\$10.00	6500	Pol - car wash (no receipt)
E 32-20-271		VEHICLE R & M	\$11.00	9994	Pol - car wash
Total			\$31.00		
70303	10/02/23	ELMWOOD CEMETERY			
E 34-20-315		CEMETERY PERPETUAL	\$100.00		Cem - perpetual care - Mary Meyer
Total			\$100.00		
70304	10/02/23	GALLS INC			
E 32-20-268		Uniforms	\$250.12	22896396	Pol - patrol cap, hat strap, whistle, fleece skull cap, tactical key ring holder, handcuff tacos, uniform hat [Jon Howard uniform]
E 32-20-268		Uniforms	\$193.96	22951747	Pol - uniform pant, striping [Jon Howard uniform]
E 32-20-268		Uniforms	\$421.68	22951748	Pol - uniform pant, striping, shirt, whistle, gloves, boots [Grady Robinson uniform]
E 32-20-268		Uniforms	\$695.28	22964913	Pol - shirt, whistle, fleece skull cap, boots, pants, striping, CAT tourniquet, hat strap, snake chain for whistle [Dan Howard uniform]
E 32-20-268		Uniforms	\$173.11	23021915	Pol - pants [Grady Robinson uniform]

CITY OF ST PAUL

09/27/23 3:24 PM

Page 4

***Check Detail Register©**

Batch: Disb Oct2

Check #	Check Date	Vendor Name	Amount	Invoice	Comment
E 32-20-268		Uniforms	\$324.08	23763484	Pol - shirts [Dan Howard uniform]
		Total	\$2,058.23		
70305	10/02/23	HEARTLAND DISPOSAL INC			
E 21-20-520		BLDG/ R & M	\$35.50	192021	Strs - trash disposal from North yards
E 31-20-520		BLDG/ R & M	\$42.00	192021	Fire - trash disposal
E 04-20-521		GROUNDS / R & M	\$42.00	192021	Lndfl - trash disposal from City office
		Total	\$119.50		
70306	10/02/23	HOMETOWN MARKET			
E 01-20-270		UTILITY R & M	\$10.69	5230	Lgts - toilet paper for North yards
		Total	\$10.69		
70307	10/02/23	HOWARD CO REGISTER OF DEEDS			
E 34-20-216		RECORDING FEE	\$10.00		Cem - certificate for Kosmicki
E 34-20-216		RECORDING FEE	\$10.00		Cem - certificate for Crouch
E 34-20-216		RECORDING FEE	\$10.00		Cem - certificate for Arnett
		Total	\$30.00		
70308	10/02/23	HOWARD COUNTY TREASURER (CCCC)			
E 32-20-214		DISPATCHER	\$3,158.54		Pol - dispatcher pay
		Total	\$3,158.54		
70309	10/02/23	JOHN DEERE FINANCIAL			
E 42-20-270		UTILITY R & M	\$87.12	3613214	Park - v-belt for 830 mower
		Total	\$87.12		
70310	10/02/23	KLANECKY, JAMIE			
E 21-20-210		PROF&SCHOOLS	\$13.26		Strs - meal during trip to Iowa for dump truck inspection
E 21-20-231		CITY GAS & OIL	\$47.48		Strs - fuel during trip to Iowa for dump truck inspection
		Total	\$60.74		
70311	10/02/23	LARM			
E 01-20-250		CITY INSURANCE	\$25,590.21	108207	Lgts - liability, work comp, property insurance
E 02-20-250		CITY INSURANCE	\$32,349.58	108207	Wtr - liability, work comp, property insurance
E 03-20-250		CITY INSURANCE	\$9,095.10	108207	Swr - liability, work comp, property insurance
E 04-20-250		CITY INSURANCE	\$593.84	108207	Lndfl - liability, work comp, property insurance
E 10-20-250		CITY INSURANCE	\$15,298.80	108207	Gen - liability, work comp, property insurance
E 21-20-250		CITY INSURANCE	\$12,840.40	108207	Strs - liability, work comp, property insurance
E 31-20-250		CITY INSURANCE	\$14,640.90	108207	Fire - liability, work comp, property insurance
E 32-20-250		CITY INSURANCE	\$17,980.70	108207	Pol - liability, work comp, property insurance
E 34-20-250		CITY INSURANCE	\$660.44	108207	Cem - liability, work comp, property insurance
E 36-20-250		CITY INSURANCE	\$4,390.09	108207	EMS - liability, work comp, property insurance
E 41-20-250		CITY INSURANCE	\$9,126.85	108207	Pool - liability, work comp, property insurance
E 42-20-250		CITY INSURANCE	\$14,911.30	108207	Park - liability, work comp, property insurance
E 44-20-250		CITY INSURANCE	\$11,226.12	108207	Lib - liability, work comp, property insurance
		Total	\$168,704.33		
70312	10/02/23	MADISON NATIONAL LIFE			
E 42-10-130		INSURANCE	\$11.02	1581952	Park - life insurance

CITY OF ST PAUL

09/27/23 3:24 PM

Page 5

***Check Detail Register©**

Batch: Disb Oct2

Check #	Check Date	Vendor Name	Amount	Invoice	Comment
E 03-10-130		INSURANCE	\$33.06	1581952	Swr - life insurance
E 01-10-130		INSURANCE	\$22.04	1581952	Lgts - life insurance
E 21-10-130		INSURANCE	\$22.04	1581952	Strs - life insurance
E 02-10-130		INSURANCE	\$33.06	1581952	Wtr - life insurance
E 10-10-130		INSURANCE	\$22.04	1581952	Gen - life insurance
E 32-10-130		INSURANCE	\$44.08	1581952	Pol - life insurance
		Total	\$187.34		
70313	10/02/23	MENARDS, INC			
E 03-20-270		UTILITY R & M	\$127.85	71334	Swr - air filters for SBR blowers
		Total	\$127.85		
70314	10/02/23	MODERN MARKETING INC			
E 32-20-295		PUBLIC RELATIONS	\$404.82	MMI152332	Pol - Junior (sticker) badges
		Total	\$404.82		
70315	10/02/23	MOTOROLA SOLUTIONS INC			
E 32-20-272		TOOLS	\$214.92	8281602206	Pol - earpieces for radios
		Total	\$214.92		
70316	10/02/23	MUNICIPAL SUPPLY IN OF NE			
E 03-20-270		UTILITY R & M	\$173.47	885754-IN	Swr - Fernco couplings, manhole cover hooks
E 03-20-270		UTILITY R & M	\$93.64	885755-IN	Swr - Fernco couplings
		Total	\$267.11		
70317	10/02/23	NEBRASKA GENERATOR SERVICE LLC			
E 02-20-270		UTILITY R & M	\$373.21	14982	Wtr - inspection on generator at WTP
E 03-20-270		UTILITY R & M	\$373.21	14983	Swr - inspection on generator at WWTP
		Total	\$746.42		
70318	10/02/23	NEBRASKA PUBLIC HEALTH ENVIRON			
E 02-20-232		LAB SAMPLE	\$628.00	569299	Wtr - lead & copper samples, haloacetic acid samples
		Total	\$628.00		
70319	10/02/23	OLSSON			
E 03-20-213		ENGINEER FEES	\$32,492.53	469614	Swr - WWTF project administration, observation & testing, construction staking
		Total	\$32,492.53		
70320	10/02/23	OVERLAND READY MIXED			
E 21-20-280		Concrete - Streets	\$1,065.83	TX110767	Strs - street repair at Jackson & Kendall Streets
E 21-20-280		Concrete - Streets	\$1,018.12	TX111034	Strs - sewer line repairs at 1415 Sherman (customer to reimburse City)
		Total	\$2,083.95		
70321	10/02/23	PIONEER DOOR			
E 31-20-520		BLDG/ R & M	\$728.00	50612	Fire - replaced torsion springs on overhead door
		Total	\$728.00		
70322	10/02/23	ROBINSON, GRADY			
E 32-20-271		VEHICLE R & M	\$13.00		Pol - car wash (NO RECEIPT)

***Check Detail Register©**

Batch: Disb Oct2

Check #	Check Date	Vendor Name	Amount	Invoice	Comment
Total			\$13.00		
70323	10/02/23	RR DONNELLEY			
E 32-20-240		PUBLISH / CODIF	\$143.54	333803480	Pol - NE Citations (paper traffic tickets)
Total			\$143.54		
70324	10/02/23	S E SMITH AND SONS			
E 02-20-270		UTILITY R & M	\$26.87	664360	Wtr - Promix mortar for water line repairs at 7th & Indian Streets
E 02-20-270		UTILITY R & M	\$53.74	664380	Wtr - Promix mortar for water line repairs at 7th & Indian Streets
Total			\$80.61		
70325	10/02/23	SERVI-TECH INC			
E 03-20-232		LAB SAMPLE	\$30.00	H-988255	Swr - TSS samples
E 03-20-232		LAB SAMPLE	\$30.00	H-988363	Swr - TSS samples
Total			\$60.00		
70326	10/02/23	SITEONE LANDSCAPE SUPPLY			
E 42-20-521		GROUNDS / R & M	\$1,154.29	134685305-0	Park - fall fertilizer
Total			\$1,154.29		
70327	10/02/23	STATE OF NEBRASKA CENTRAL SERV			
E 42-20-220		COMMUNICATION	\$19.17	1390995	Park - telephone
E 41-20-220		COMMUNICATION	\$19.17	1390995	Pool - telephone
Total			\$38.34		
11100			\$263,803.97		

Fund Summary

<u>11100 CHECKING</u>	
01 LIGHTS	\$36,658.67
02 WATER	\$46,378.08
03 SEWER	\$50,263.55
04 LANDFILL	\$650.14
10 GENERAL	\$19,958.73
21 STREETS	\$19,000.87
31 FIREMEN	\$17,055.88
32 POLICE	\$29,538.35
34 CEMETERY	\$810.20
36 AMBULANCE	\$4,390.09
41 POOL	\$9,146.02
42 PARK	\$18,256.22
44 LIBRARY	\$11,658.19
69 SENIOR COMM. CENTER	\$38.98
<hr/>	
	\$263,803.97

Elmwood Cemetery is owned and managed by the City of St. Paul.

Elmwood Cemetery has the following Rules and Regulations:

1. Either flat or upright markers are allowed.
2. No new mausoleum vaults are allowed, only to match an existing one on a lot.
3. An outer burial container is required. It may be either steel or reinforced concrete.
4. The mowing is done by the City of St. Paul and is done at their discretion.
5. The cemetery is a natural grass cemetery and is not irrigated. Water is provided at hydrants at various locations in the cemetery.
6. The City of St. Paul will see that any depressions on the grave spaces are filled. Once the grave has settled, grass will be planted.
7. Flowers must be removed from the grave site by Father's Day or they will be removed by the City of St. Paul unless they are in a permanent vase. No glass jars, rocks, wire or shepherd hooks are to be left on the grave. Hoses or sprinklers are not to be left at the cemetery.
8. Trees, shrubs, benches, structures, concrete benches, chairs and anything put on or around the grave will be removed if not approved by the Cemetery Board.
9. The City will do the snow removal of the cemetery roads and lanes at the City's discretion.
10. No Pets Allowed.

St. Paul, NE

The Elmwood Cemetery Board is accepting donations for the improvement of the cemetery. Donations may be made for general improvements or for a specific improvement.

Trees may be purchased as a memorial for a loved one. Trees are \$100.00 each, which includes planting and irrigating by the Board.

Elmwood Cemetery



Located South of Adams Street
on Jackson Street in St. Paul,
Nebraska

Contact Information for ELMWOOD CEMETERY

The City of St. Paul has established a Cemetery Board to solicit ideas and receive donations for improvements to the Elmwood Cemetery.

The Board has put together a multi-year plan to improve the condition and appearance of the Cemetery.

1-3 YEAR PLAN

1. Continue tree planting program
2. Construct a fence around the cemetery
3. Landscape
4. Trim and remove dying or dead trees
5. New equipment building
6. Hire a part-time caretaker
7. White posts and chain to establish roadway.
8. Perpetual upkeep of old stones

Cemetery Sexton

Ronnie Switzer
(308) 750-1966 (Cell)
(308) 754-4483 (Work)

Maintenance Supervisor

Randy Jerabek
(308) 754-4005 Work
(308) 750-8753 Cell

Grave Digger

City of St. Paul
(308) 754-4483

For further information or other ideas for the cemetery improvement, please contact one of the cemetery board members.

Gene Rice	Jerry Solko
Pam Switzer	Todd Peters
Betty Czarnek	Tracey Dietz
Ronnie Switzer	

I would like to make a donation to the Elmwood Cemetery Foundation Fund.

I would like to purchase _____ trees at \$100 each.

I would like to donate toward the purchase of the following:

Landscaping \$_____

Fencing \$_____

I would like to donate \$_____ to the Cemetery perpetual care improvement fund. [Make checks payable to City of St. Paul]

I would like to donate \$_____ to the Elmwood Cemetery Foundation. [Make checks payable to the Elmwood Cemetery Foundation]

Name

Address

City, State & Zip

Phone

Please detach this part and send with your contribution payable to the City of St. Paul, 704 6th St. St. Paul, NE 68873

Grant Fairview Cem = Pets
NE

7. Loitering is not permitted at the Cemetery. Pop = 1,197
8. Littering, gun shells, weapons, golf balls or any other objects that could become projectiles during mowing or which are not reasonably or normally used in a Cemetery are prohibited.
9. No monument, marker, table, headstone, tombstone, or crypt nameplate may be raised or moved without approval of the City.
10. Foot markers are not allowed in the Cemetery.
11. No burial or memorial is permitted for animals or pets at the Cemetery.
12. All persons are prohibited from taking flowers, either natural or artificial, plants or ornaments from grave spaces without special permission from the space owner or the City.
13. Animals and pets are not permitted at the Cemetery.
14. Spreading of cremains is prohibited in the Cemetery.
15. No person shall be permitted to consume alcoholic beverages, food, or other refreshments within the Cemetery.
16. No religious test shall be made concerning the ownership of lots, the burial therein or the ornamentation of graves or lots.
17. The throwing of rubbish when cleaning lot spaces and not using the trash barrels provided is prohibited. If litter is thrown on any one's lot or other ground belonging to the City violators will be subject to a fine.
18. No lot owner shall offer money to any employee for special care of said lot. Any employee found to have accepted money for special care will be dismissed.
19. Flowers and floral decorations on new interments will be left for a period of seven (7) days during summer months, then removed and disposed of.
20. All permanent flower containers shall be constructed of concrete, steel, brass, or other approved durable materials. Containers constructed of fragile materials such as glass, paper, or plastic will not be allowed for permanent flower arrangements. All permanent flower containers shall be a part of the monument,

Pop = 4,878

Ogallala NE Pa Z

4.03 PROHIBITED ACTIVITIES

No person shall be permitted to gather wild, cultivated, or artificial flowers, or break trees, shrubs or plants. No person shall be permitted to gather or collect decorations, flowers or plants from graves unless that person placed them there.

No person shall be permitted to have alcoholic beverages within the Cemetery grounds at any time.

No person shall be permitted to sit or lounge on any of the grounds, graves or monuments within the Cemetery, or in any of the Cemetery buildings except in connection with a visit to a particular burial space or lot.

Throwing rubbish on any part of the grounds or buildings, except into designated receptacles is prohibited.

Peddling or soliciting the sale of flowers or plants or any other goods, commodities or service is prohibited in the Cemetery.

No signs, notices or advertisements, other than those created by the City related to Cemetery business, shall be permitted within the Cemetery grounds.

No firearms shall be permitted within the Cemetery, except firearms used in connection with a military funeral or similar occasion, or by police officers.

No dogs, or any other animal shall be allowed in the Cemetery or in any of the Cemetery buildings unless they are properly supervised, and properly leashed. The owner or keeper of any animal, which trespasses upon the Cemetery grounds, shall be liable for any damage done by the animal. Horses or other animals may be used in conjunction with funerals with the permission of the Cemetery Manager.

4.04 HOURS

Visitors are welcome and the Cemetery grounds will be open at the times posted at the Cemetery office and entrance. The Cemetery is closed to public access after dark.

May 1st thru Oct. 31st 7 A.M. to Sunset.

Nov. 1st thru April 30th 8 A.M. to Sunset.

4.05 TRAVERSING CEMETERY PROPERTY

Persons within the Cemetery shall use only the main entrances, roads, drives or walks as thoroughfares and no person shall walk on the grass unless it is necessary to do so to reach a particular lot, except that a work person may use such space as is necessary to perform maintenance or other services in connection with a lot.

4.06 VEHICLES

All traffic rules applicable in the City of Ogallala shall be applicable to operations of vehicles in the Ogallala Cemetery. Automobiles shall not be driven in the Cemetery at a

POP = 14,436

Scottsbluff

Pets

RULES & REGULATIONS

The rules covering the decoration of graves have been developed to insure safety of the public and cemetery employees.

- Flowers and other forms of decoration will only be allowed in an approved vase attached to a headstone. An approved vase is one constructed and installed by a licensed and bonded monument company.
- Placement of decorations on the ground will not be allowed March 15 through October 31. Examples of things not allowed include, but are not limited to: shepherds hooks, metal or wooden rods, solar lights, toys, glass or ceramic statues or flowerpots. All of these things can become projectiles and cause harm to people and objects in surrounding area.
- Planting of live flowers and placement of borders of any kind on the ground next to a headstone is not allowed.
- Memorial Day decorations and potted plants are only permitted on grave sites 10 days before and after Memorial Day
- Artificial flowers are allowed in approved vases year round. Decoration may be placed on the grave November 1 through March 15, if any time before or after these dates they will be removed by cemetery staff.
- The cemetery shall have the authority to remove all floral design, flowers, weeds, trees, and shrubs, of herbage of any kind from the Cemetery. When, in the judgment of the supervisor, they become unsightly, dangerous, and detrimental, or diseased, or when they do not conform to the standard maintenance.
- All pets must be on a leash, or properly restrained, and kept on roadways or in common areas. Owner must remove waste.
- Work performed in the cemetery shall be performed by cemetery staff, or people or

Columbus - Pets

IV. TITLE OF LOTS: Upon the purchase of lots or burial spaces, a certificate of ownership shall be issued to the purchaser and the owner shall be vested with the title to the tract of space therein described but for the sole purpose of interment and subject to all the rules and regulations of the City now in force or hereinafter adopted. The lots cannot be conveyed without the consent of the City of Columbus nor can use, division, improvement or adornment be made which can be prohibited or deemed improper. On the death of the owner or part owner of the lots, the heirs or devisees of such decedent are required to file with the City Clerk's Office full proof of their ownership, said proof to be recorded in the books of the Columbus Cemeteries. Without such proof and record, the right of ownership will not be recognized by the City of Columbus. A lot owner may resell his or her lots or burial spaces with the consent of the City of Columbus, but said change of ownership must be recorded with the City Clerk's Office. A transfer fee will be charged. If a lot owner resells his or her lots or burial spaces to the City of Columbus, with the original deed, the City will purchase the lots or burial spaces for one-half of the original price on said deed. If no original deed is available, the City will purchase the lots or burial spaces for an amount established by resolution. In case of abandonment of lots, the title thereto shall revert to the City of Columbus, as provided by law.

V. VAULTS OR TOMBS: Vaults or tombs may be erected, provided they are so constructed as to be secure from damage by frost or the elements. They shall be built of durable material and fitted with catacombs in a tight and substantial manner, which shall be sealed with hard brick, granite, marble, or stone, laid in cement immediately after the deposit of the bodies therein, and the entrance provided with one or more metal doors. Plans must be submitted to the Cemetery Supervisor and approved by the City Engineer before work is commenced. Permission to build public or private vaults above ground will be given only for those portions of the cemeteries, which may be reserved for that purpose, or at locations to be designated by the Cemetery Supervisor when application is made. The construction of underground vaults or tombs, which extend to or above the surface of the ground are not allowed unless approved by the Cemetery Supervisor.

VI. REGULATIONS GOVERNING VISITORS AND LOT OWNERS:

1. No person shall enter the cemetery except through one of the main gates thereof and then only when such gates are unlocked. All persons shall leave promptly before closing hours. Persons entering the grounds after regular hours will be considered trespassers. Violations of this rule shall subject the offenders to summary ejection or prosecution for trespassing.
2. No person with dogs, cats, or other such animals will be admitted.

POP =
24,028

Kearney NE

Pg 2

POP =
33 792

No person shall be permitted to consume alcoholic beverages, food, or other refreshments within the Cemetery. Throwing rubbish on the drives or any part of the grounds is prohibited.

No religious test shall be made concerning the ownership of lots, the burial therein or the ornamentation of graves or lots.

The throwing of rubbish when cleaning lot spaces and not using the trash barrels provided is prohibited, if litter is thrown on any ones lot or other ground belonging to the Cemetery violators will be subject to a fine.

No lot or space owner shall attempt to raise or move a marker on his or her lot without first consulting with the Supervisor.

No memorial shall be allowed for pets of any sort on Cemetery space.

No lot owner shall offer money to any employee for special care of said lot. Any employee found to have accepted money for special care will be dismissed.

All persons are prohibited from taking flowers, either natural or artificial, plants or ornaments from grave spaces without special permission from the property owner or the Supervisor.

Flowers and floral decorations on new interments will be left for a period of seven (7) days during summer months, then removed and disposed of.

All permanent flower containers shall be constructed of concrete, steel, brass or other approved durable materials. Containers constructed of fragile materials such as glass, paper or plastic will not be allowed for permanent flower arrangements. All permanent flower containers shall be placed on a concrete pad, level with the existing grade, with six (6) inches of clearance around the container. The only approved location for concrete pads and permanent flower containers shall be at either or both ends of the base for the grave marker, remaining within the grave space and specifically prohibited from the front and rear of the marker. The installation of permanent flower containers must be approved by the Cemetery Supervisor.

Pets shall not be allowed on the Cemetery grounds.

All monuments, markers, mausoleums or tombs shall be constructed of natural stone of a quality approved by the City. No artificial stone of any description shall be permitted. No 'for sale' signs may be placed anywhere on the Cemetery grounds.

Peddling of flowers or plants, or soliciting the sale of any commodity, other than by employees of the City under its direction, is prohibited within the Cemetery. Solicitation of any kind is strictly forbidden at any time in the Cemetery without the approval of the City.

No private mausoleums or columbariums may be erected in the Cemetery without prior approval having been obtained from the City, approving the location, construction and ground area to be covered. The City reserves the right to deny permission to construct any structure or building of any type. All types of individual mausoleums above ground level are prohibited.

Our Cemetery is divided into two sections. Memorial Field, which is flat stone area. Marker will be of uniform size measuring 14' by 26' by 6' thick. Bronze plate is used on a 14' to 26' by 6' thick granite or marble. No concrete will be allowed in Memorial Reid. East, New and Park Fields above ground markers of suitable size may be used in these areas. Add on vases to markers must be placed with the base of markers at the ends of markers, none are allowed at front or back of marker for maintenance reasons.

XIII. PROTECTION AGAINST LOSS

A. When Cemetery Not Responsible. The Cemetery shall take reasonable precaution to protect the lot owners, and the property rights of the lot owners, within the Cemetery, from the loss or damage; but it

Connie Beck

From: Bobbi Placke <bplacke@bankwithcitizens.com>
Sent: Wednesday, September 20, 2023 9:07 AM
To: Connie Beck
Cc: Joel Bergman
Subject: RE: Insured Cash Sweep (ICS) Interest Rate

Good Morning,

Citizens Bank & Trust will increase the interest rates on the City of St Paul's Intrafi (ICS) accounts to 4.40% as of 9/20/23. Thank you for the opportunity to continue providing you with our many financial services.

Thank you,

Bobbi Placke

Co-Trust Officer/Assistant Cashier
721 7th St, PO Box 385
St Paul, NE 68873
Phone: (308)754-4426
Fax: (308)754-4428



Your Community. Your Bank.

From: Connie Beck <cjbeck@cityofstpaulne.org>
Sent: Tuesday, September 19, 2023 1:14 PM
To: Bobbi Placke <bplacke@bankwithcitizens.com>
Cc: Joel Bergman <jbergman@cityofstpaulne.org>
Subject: Insured Cash Sweep (ICS) Interest Rate
Importance: High

EXTERNAL EMAIL

Good Afternoon, Bobbi, can you please have a Loan Officer review the City of St. Paul's Insured Cash Sweep (ICS) interest rate; as far as increasing? This is due to interest rates rising? Thanks much, greatly appreciate!!!

Connie Jo Beck
City of St. Paul
City Clerk/Deputy Treasurer
704 6th Street
St Paul NE 68873

SALES TAX	2022-2023					
Proceeds Received	Total Amt	St - Mtr Veh Tx	25% Infrast.	Sales Tax Fire Station	End Amount	
				Proceeds		
		21-022	60-040	60-041	60-700	
September 21, 2023	\$ 60,442.91	\$ (8,914.66)	\$ (8,588.04)	\$ (17,176.09)	\$ 25,764.12	
August 25, 2023	\$ 66,466.09	\$ (8,487.53)	\$ (9,663.10)	\$ (19,326.19)	\$ 28,989.27	
July 23, 2023	\$ 60,893.45	\$ (6,866.75)	\$ (9,004.45)	\$ (18,008.90)	\$ 27,013.35	
June 22, 2023	\$ 51,826.09	\$ (4,422.36)	\$ (7,900.62)	\$ (15,801.25)	\$ 23,701.86	Fire Station Began
May 21, 2023	\$ 41,623.78	\$ (5,610.03)	\$ (9,003.44)		\$ 27,010.31	
April 21, 2023	\$ 32,236.77	\$ (3,117.80)	\$ (7,279.75)		\$ 21,839.22	
March 21, 2023	\$ 40,492.90	\$ (5,455.17)	\$ (8,759.44)		\$ 26,278.29	
February 21, 2023	\$ 43,380.16	\$ (5,020.15)	\$ (9,590.01)		\$ 28,770.00	
January 22, 2023	\$ 41,539.39	\$ (4,910.64)	\$ (9,157.19)		\$ 27,471.56	
December 22, 2022	\$ 38,442.77	\$ (2,762.28)	\$ (8,920.13)		\$ 26,760.36	
November 22, 2022	\$ 41,697.42	\$ (6,540.71)	\$ (8,789.18)		\$ 26,367.53	
October 22, 2022	\$ 37,051.62	\$ (5,075.72)	\$ (7,993.98)		\$ 23,981.92	
	\$ 556,093.35	\$ (67,183.80)	\$ (104,649.33)	\$ (70,312.43)	\$ 313,947.79	

LIBRARY BOARD WORK SESSION MINUTES

APRIL 13, 2023

DRAFT

- I. Call to Order at 5:10 p.m.
Attendance: Tara Sjuts X Jill Paulsen X Steven Neal X Janet Elstermeier X
Deb Wells X Phil Thede X Also present, Laura Berthelsen, City of St. Paul

President Steven Neal noted that the current copy of the Nebraska Open Meetings Act is available for review and noted the location of said copy in the room. Proper notice of the meeting had been printed in the Phonograph Herald newspaper and posted 3 places in the community.
- II. The purpose of this work session meeting was listed on the Agenda, prepared by the President of the Library Board, Steven Neal: to review and discuss the Interlocal Agreement, Bylaws, Annual Calendar, Budget, Library Board Certification, Duties of the Library Director and to talk about ways to improve the communication between the Library Board, School Board and City of St. Paul office.
- III. The original Interlocal agreement, from 1996, was reviewed, line by line. It was determined that it had been retyped at some time, date unknown, and there were some differences noted. After much discussion, it was decided that Laura Berthelsen will retype the agreement, redlining new changes and crossing out what we feel should not be there. Then the agreement will be sent to the Library Board, then to the School Board and to the City Council.
- IV. The Bylaws for the Library were discussed. There were no suggestions for changes.
- V. We talked about the annual Calendar for the Library. Laura reported on the things that are needed at the City Office, in a timely manner, such as working on the Budget. Some revisions were made to the rough draft that we had for a calendar.
- VI. We talked at length about the process of making the Budget in regards to the Library. The Library Board will need to be working on the budget by April, so that by June we will have things figured out and sent to the City, for an August workshop about budget. The City's Fiscal year ends September 31st. Laura gave some suggestions to the Board about determining our part of the Budget process.
- VII. Library Board Certification is very important and ours has lapsed. We need 25 CE credits to earn our Certification. Kelli will send out a list of educational videos that we can watch, to earn our CEs. We can do this at our meetings, and we can all do

them at home. We talked about the importance of someone on our Library Board belonging to the Nebraska Library Association. We need to be well prepared for any problems that are occurring in Libraries across the state.

- VIII. The Library Board is responsible for hiring the Library Director. The School hired Trisha Hedman as the Media Specialist. Since the new Library was opened, one person has done the duties of both the Media Specialist and the Library Director. Kelli Helton was appointed as the temporary Library Director and she will be working closely with the newly hired Media Specialist. It is felt that this system will be the best for the time being, and we will work closely with both of these ladies.
- IX. Communication between the Library Board and the City office is imperative and we want to improve this communication. It was suggested that Laura could attend our meetings during the year. The minutes, in draft form, will be sent to the City Office after each meeting, so they know what is going on. It is important that the bills from the Library are sent to the City, in a timely manner. Kelli and Laura have been working together well, to get all bills paid.
- X. We talked about having our next meeting on June 21st. This meeting was adjourned at 8:15 p.m.

Janet Elstermeier, Secretary

Steven Neal, President

Approved _____

City of St. Paul, Nebraska

Place in Phonograph Herald

- Instructions on how patrons can retrieve the City Agendas and Minutes through the City Website:

City Website: <https://stpaulnebraska.com>

- (1) Go to: **Government Tab** (4th tab at top of page);
- (2) Scroll down to “Agendas & Minutes”;
- (3) Then scroll down for Agendas & Minutes Date and Year.

- City of St. Paul Council meeting Agendas are posted in four (4) prominent places in St. Paul:
 - a. City of St. Paul Office;
 - b. Citizens Bank and Trust;
 - c. Howard County Court House; and
 - d. United States Post Office (Federal).