

Planning Commission Meeting

Monday, April 10, 2023 12:00 PM

City Hall
704 6th Street
St. Paul, NE 68873

Agenda

1. A meeting of the St. Paul Planning Commission was convened in open and public session on the 10th day of April, 2023 at 12:00 p.m. (noon) held in the City Council Chambers, 704 6th Street, St. Paul, Nebraska.
2. Chairman Jerry Woodgate called the meeting to order at ___ p.m. with a statement regarding the Open Meeting Act, which is posted on the west wall of the City Council Chambers. Member roll call: Chairman Jerry Woodgate, Connie Becker, Arvilla Jacobs, Tyler Solko, and Tony Walch, along with Zoning Administrator Matt Helzer and Laura Berthelsen (minutes). The agenda was sent to the Board members prior to the meeting and was posted in four (4) public places.
3. Discuss - Approve / Deny the February 13, 2023 minutes.
4. Discuss - Approve / Deny Zoning Permit applications:
 - (a) 2023-4 Chad & Stephanie Miller - house at 1212 Wallace Street
 - (b) 2023-5 Isaac & Jewel Howell - fence at 1105 Grand Street
 - (c) 2023-6 Robert & Janice Boehle - deck at 228 Bruce Circle
 - (d) 2023-7 Evan & Bryton Carlson - fence at 217 Bruce Circle
 - (e) 2023-8 Nick Serr - shed at 915 Baxter Street
 - (f) 2023-9 Mandy Anderson - storage shed at 920 Jackson Street
 - (g) 2023-10 Kwik Stop - building expansion at 710 2nd Street
5. Zoning Administrator Helzer Report
6. Public Comments
7. Chairman Woodgate announces the next Planning Commission meeting.
8. Adjournment

St. Paul Planning Commission
February 13, 2023
Meeting Minutes

A meeting of the St. Paul Planning Commission was convened in open and public session on the 13th day of February, 2023 in the Council Chambers at the City office, 704 6th Street, St. Paul, Nebraska.

Chairman Jerry Woodgate called the meeting to order at 12:00 p.m. with a statement regarding the Open Meetings Act; which is posted on the west wall of the City Council chambers. The notice of the meeting was posted in four (4) public places. The agenda was sent to the Commission members prior to the meeting, and was posted in four (4) public places. Commission members present: Chairman Jerry Woodgate, Connie Becker, and Arvilla Jacobs. Commission members absent: Tyler Solko and Tony Walch. Also present Zoning Administrator Matt Helzer, Laura Berthelsen (minutes).

Commission member Becker moved to approve the January 3, 2023 meeting minutes. Commission member Jacobs seconded the motion. Commission members Becker, Jacobs, and Woodgate voted aye, nays none. Motion carried 3/0.

Zoning Administrator Helzer presented the following zoning permit applications:

- (a) 2023-2 Cheryl Yoder – install fence at 1005 7th Street
- (b) 2023-3 Geraldine Pedersen – construct porch at 807 Kendall Street

Commission member Jacobs moved to approve Zoning Permit applications 2023-2 and 2023-3. Commission member Becker seconded the motion. Commission members Becker, Jacobs, and Woodgate voted aye. Nays none. Motion carried 3/0.

Commission member Becker moved to approve the final plat of JET Subdivision located in a part of the SW¹/₄ of Section 33, Township 15 North, Range 10 West of the 6th P.M. in Howard County (along Paul Street between Nelson Street and the Highway 92 intersection). Commission member Jacobs seconded the motion. Commission members Becker, Jacobs, and Woodgate voted aye. Nays none. Motion carried 3/0. The proposed subdivision is located within the City's 1-mile zoning jurisdiction.

The next St. Paul Planning Commission meeting date will be determined as zoning permit applications are submitted.

Chairman Woodgate adjourned the meeting at 12:16 p.m.

Sincerely,

Matthew T. Helzer
Zoning Administrator

Jerry Woodgate
Chairman

Laura Berthelsen
Planning Secretary

Zoning Classification R-1 Value \$ 585,706 PERMIT NUMBER 2023-4
 Please call 811 before completing form FEE \$25.00 CASH _____ CHECK# _____
 CC pmt 3/23/23

APPLICATION FOR A RESIDENTIAL ZONING PERMIT

St. Paul, Nebraska: DIRECTIONS: Fill in the following information as accurately and completely as possible. This application is not acceptable unless all required information is furnished.

Property Owner Chad Stephanie Miller Contractor Vintage Custom Homes
 Address 914 Elm St Address PO Box 743 Gettys, NE 68628
 City, State, Zip St Paul, NE 68873 Phone Number _____
 Phone Number 308-737-8478 Cell Phone 402-489-6804

Complete Legal Description of the Property (H890-1) S 40' Lot 7 All of S 6th block 9 Wallace's Add. Part of Vac L St St Paul

Address of Construction Site 1212 Wallace Street
 (If none, one must be registered with City of St. Paul) In the Flood plain? NO

Proposed Structure Single Family Home Dimension of Structure 91'8" x 47'6"
 Distance from ^{West} Front Property Line 26' Distance from ^{East} Rear Property Line 59'8"
 Distance from ^{North} Side Property Line 32'4" Distance from ^{South} Second Side Line 79'5"

Is there a utility easement on any side of the property? South side
 Approximately when will construction Start 4-1-23 Finish 4-1-24

Contact Utility Superintendent at (308) 754-4483 regarding Set-Back Inspection. Matt Helzer Date of visit 3-28-23
 (Matt Helzer's signature)

Recommendations needed before approval: _____

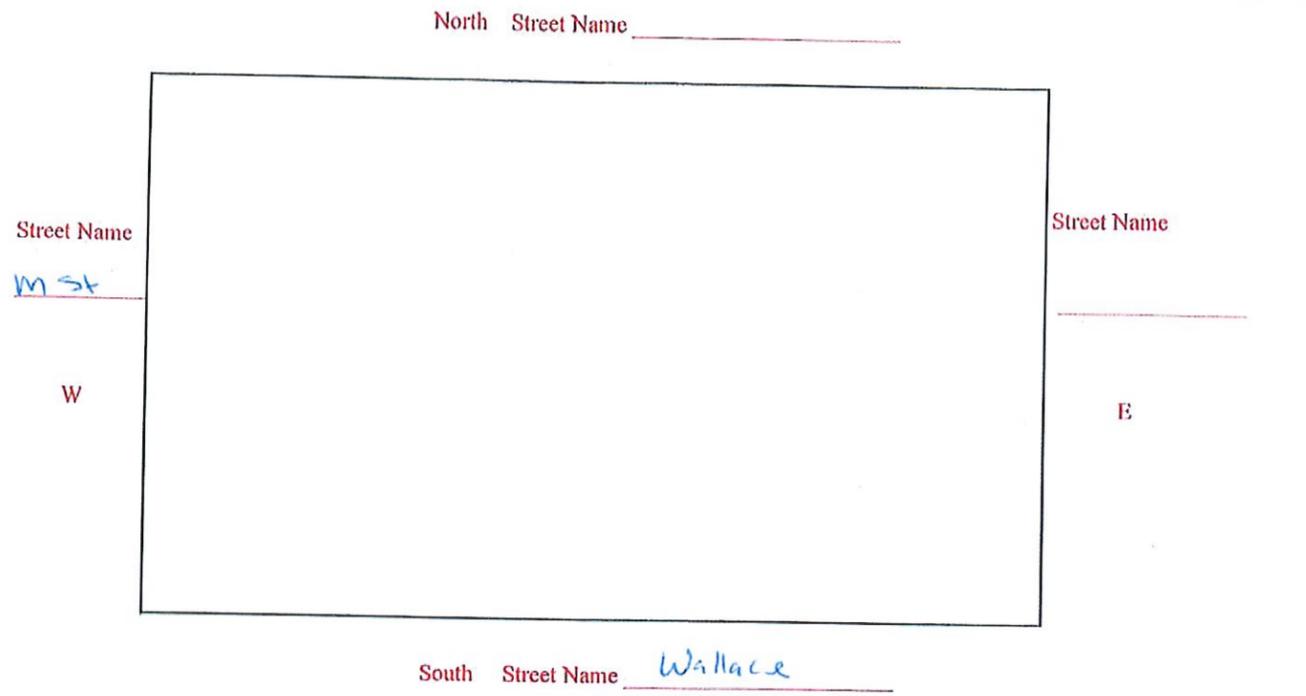
(One Mile radius outside city limits) If the structure is a residence on less than 10 acres indicate the date this property was platted as a separate parcel _____ Name of the Lot Split or Subdivision _____

For Office Use Only:

Is the proposed use permitted within this zoning district? YES NO _____
 Does the proposed use meet all the required setback distances? YES NO _____
 Is a conditional use required for the proposed use? YES _____ NO
 Has a Conditional Use Permit been issued for this proposed use? YES _____ NO
 If yes, when does it expire? _____

PERMIT NUMBER 2023-4

Site Plan Sketch:



Indicate, by drawing, the shape and dimensions of the land, shape and dimensions of all existing and proposed buildings and structures, and the distances from the proposed building and structures to all lot lines (from road frontages, side and rear lot lines). Show the location of roads fronting the property. **MUST CALL DIGGERS HOTLINE @ 811 BEFORE DIGGING - CONSTRUCTION ON UTILITY EASEMENTS IS NOT PERMITTED.**

The above information is, to the best of my knowledge, true and accurate. It is understood and agreed that any error, misstatement or misrepresentation of fact, either with or without intention on my part, such as might, if known, cause a refusal of this application, or any alteration or change in plans made without the approval of the Zoning Administrator subsequent to the issuance of the Permit, shall constitute sufficient grounds for the revocation of such permit. This permit is valid for one (1) year from approval date and work must be started within the first 6 months.

The signature also indicates permission granted to the Zoning Administrator to inspect the construction site in which this permit is granted at any time until construction is completed.

Signature of Applicant [Signature] Date 3-2-23

For Office Use Only:

Permit is Approved _____ Denied _____ Zoning Administrator Signature _____ Date _____

Reasons for Denial: _____

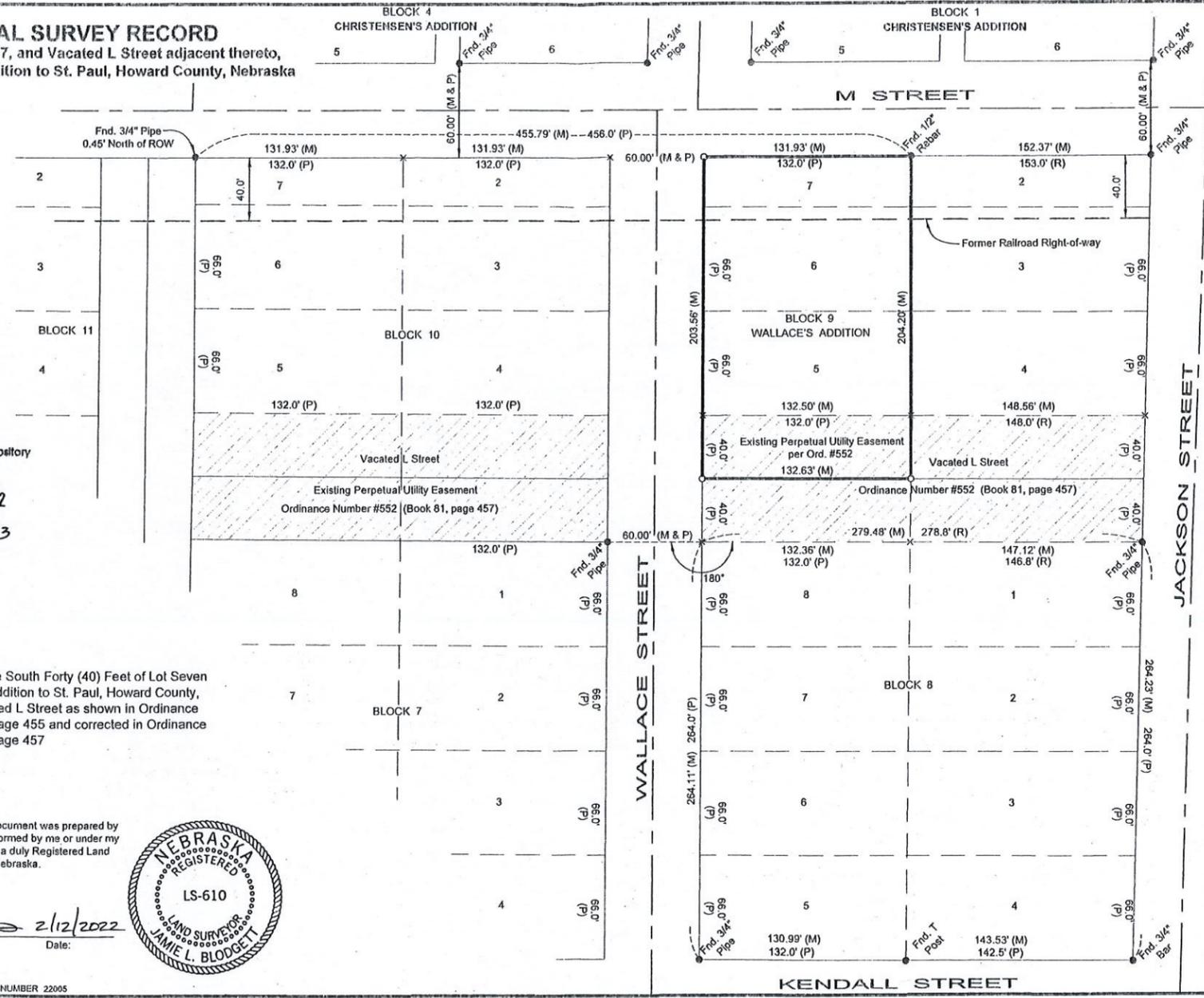
2023-4

OFFICIAL SURVEY RECORD

Lots 5, 6, part of Lot 7, and Vacated L Street adjacent thereto,
Block 9, Wallace's Addition to St. Paul, Howard County, Nebraska



LAND SURVEYING
P.O. BOX 173
Central City, NE 68826
Phone: 308-946-3801



Nebraska
Survey Record Repository
RECEIVED
\$2.50
APR 20 2022
HOWARD
1564-373

Legal Description:
Lots Five (5) and Six (6) and the South Forty (40) Feet of Lot Seven (7), Block Nine (9), Wallace's Addition to St. Paul, Howard County, Nebraska and that part of vacated L Street as shown in Ordinance No. 461 recorded in Book 81, Page 455 and corrected in Ordinance No. 552 recorded in Book 81, Page 457

I hereby certify that this land surveying document was prepared by me and the related survey work was performed by me or under my direct personal supervision and that I am a duly Registered Land Surveyor under the laws of the State of Nebraska.

Jamie L. Blodgett 2/12/2022
Date:
License Number 610
Pages covered by this seal 1



- Legend**
- = Corner Set 1/2" x 24" Rebar w/ Cap #610
 - × = Calculated Point
 - = Corner Found (See Description)
 - (M) = Measured Distance
 - (P) = Platted Distance

2023-4

CHAD AND STEPHANIE MILLER

SQUARE FOOTAGES

FINISHED MAIN FLOOR	1313 SQ. FT.
FINISHED SECOND FLOOR	1920 SQ. FT.
FINISHED SECOND FLOOR	1285 SQ. FT.
TOTAL FINISHED SQUARE FOOTAGE	4,518 SQ. FT.
3 CAR GARAGE	1120 SQ. FT.
COVERED PORCH	64 SQ. FT.
COVERED PATIO	745 SQ. FT.

ALL SQUARE FOOTAGES ARE CONFIGURED BY MEASURING TO THE EXTERIOR FACE OF THE CONDITIONED/FINISHED SPACE WALL, EXCLUDING FIREPLACES, DEAD SPACES, OPEN TO BELOW, FINISHED BASEMENTS, MEASURED TO THE EXTERIOR FACE OF THE STUD WALLS, NOT TO EXTERIOR OF FOUNDATION WALLS

CODE REVIEW

DESIGNED TO THE 2018 IRC AS ADOPTED BY THE CITY OF ST. PAUL, NE

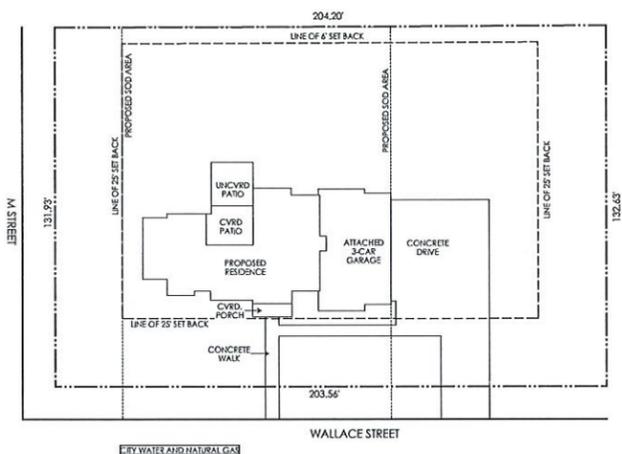
CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES AND REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR ALL SPECIFICATIONS, REQUIREMENTS, FASTENER & ANCHORAGE LOCATIONS, & FINAL FABRICATION/ERECTION DOCUMENTS PRIOR TO CONSTRUCTION

MATERIAL/WALL TYPES

EXTERIOR Siding Wall	CONCRETE
EXTERIOR Dry Wall	EARTH
FOUNDATION WALL	BATT INSULATION
EXTERIOR BRICK WALL	RIGID INSULATION
EXTERIOR THIN SET STONE WALL	GRAVEL/FILL
INTERIOR EXTERIOR PAINTING	
FUTURE WALL	

ABBREVIATIONS

AB ANCHOR BOLT	FD FLOOR DRAIN	OC ON CENTER
ACT ACQUISITION	FF FINISHED FLOOR	OD OUTSIDE DIAMETER
AFV ABOVE FINISHED FLOOR	FR FINISH	OPF OPPOSITE
ALF ALTERNATE OR ALTERNATIVE	FRF FLOOR	OPFCH OFFCH
ALUM ALUMINUM	FRF FLOOR	PLSD PLUMBING
AV AUDIO VISUAL	FRF FLOOR	PNF PANT
BD BOARD	GA GALVANIZED	QTY QUANTITY
BLDG BUILDING	GL GRADE	RA RETURN AIR
BLG BLOCK	GR GRADE	RA RETURN AIR
BLG BEAM	GYP GYPSUM	REF REFLECTED CEILING PLAN
BSG BEARING	GWB GYPSUM WALL BOARD	REQ REQUIRED
BCD BOTTOM OF DECK	HB HOSE BB	RM ROOM
BDT BOTTOM	HC HOLLOW CORE	RO ROOM OPENING
CAB CABINET	HER HEADER	S SOUTH
CEM CEMENT	HR HORIZONTAL	SA SUPPLY AIR
CR CIRCLE	HT HEIGHT	SHG SHEATHING
CLG CEILING	HVAC HEATING, VENTING, AC	SM SIMILAR
CONC CONCRETE	ID INSIDE DIAMETER	SD SQUARE
CONR CONTINUOUS	IN INCH	STD STANDARD
CONR CONCRETE	INSUL INSULATION	STR STORAGE
CPT CARPET	INT INTERIOR	SYM SYMBOL
CT CERAMIC TILE	JB JUNCTION BOX	SYN SYSTEM
DBL DOUBLE	LAM LAMINATED	T&G TONGUE AND GROOVE
DF DRIVING FOUNTAIN	LAV LAVATORY	TOC TOP OF CONCRETE
DIAM DIAMETER	LF LINEAR FEET	TOF TOP OF FOOTING
DIAM DIAMETER	LVS LAMINATED VENEER LUMBER	TRF TYPICAL
DN DOWN	MAX MAXIMUM	UNO UNLESS NOTED OTHERWISE
DR DOOR	MANF MANUFACTURER	UR URINAL
DW DRAWING	MANF MANUFACTURER	VB VAPOR BARRIER
E EAST	M/N MANUFACTURER	W WEST
EA EACH	M/N MANUFACTURER	WI WITH
EGS EXTERIOR INSULATED FIN. SYS.	M/N MANUFACTURER	WC WATER CLOSET
EL ELEVATION	M/N MANUFACTURER	WD WOOD
ELC ELECTRICAL	M/N MANUFACTURER	WO WITHOUT
EQIP EQUIPMENT	M/N MANUFACTURER	WP WATER PROOFING
EQIP EQUIPMENT	M/N MANUFACTURER	WT WEIGHT
EXT EXTERIOR	M/N MANUFACTURER	YD YARD



LOT SPECIFICATIONS

LOT SIZE: 26,926 SQUARE FEET

IMPERVIOUS: HOUSE/GARAGE/SLOOP/PATIO: 3417 SQUARE FEET
DRIVEWAY/WALK: 2685 SQUARE FEET

BUILDING COVERAGE: 12.7%
IMPERVIOUS COVERAGE: 22.6%

LOT# 5,6,S. 40 FT OF 7, BLOCK 9 WALLACE'S ADDITION
1" = 20.00'

STRUCTUR

REVISION NOTES

REVISIONS

PROJECT NUMBER: N502

DATE: 7/21/2022

PROJECT NAME: CHAD AND STEPHANIE MILLER

PROJECT ADDRESS: LOT 5,6,7 WALLACE'S ADD. ST. PAUL NE 68873

SHEET TITLE: PLOT PLAN

DATE: GMF

SHEET: C1

2023-4



FRONT ELEVATION
SCALE: 1/4"=1'-0"



LEFT ELEVATION
SCALE: 1/4"=1'-0"


 CHAD AND STEPHANIE MILLER
 ARCHITECTS
 14517 LICENSE NO. 14517
 4000 NE 15TH ST
 PORTLAND, OR 97232
 WWW.CHADANDSTEPHANIE.COM

WITH THESE PLANS, THE ARCHITECT ASSURES THAT THE DESIGN COMPLETES ALL NECESSARY PERMITS AND REGULATIONS FOR ALL APPLICABLE JURISDICTIONS. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED HEREIN FOR ANY PURPOSES OTHER THAN THAT FOR WHICH IT WAS PREPARED. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR OMISSIONS. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT.



REVISIONS	REVISION NOTES

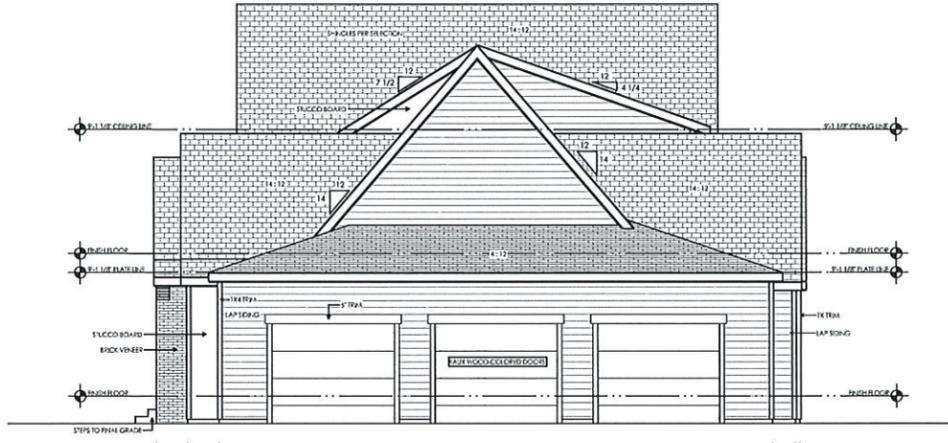
PROJECT NAME: CHAD AND STEPHANIE MILLER
 PROJECT ADDRESS: LOT 5.6.7 WALLACES ADD.
 ST. PAUL NE 68873

SHEET TITLE: ELEVATIONS
 DRAWN BY: GMF
 SHEET: A1

2023-4



REAR ELEVATION
SCALE: 1/4"=1'-0"



RIGHT ELEVATION
SCALE: 1/4"=1'-0"

CHAD AND STEPHANIE MILLER
 PROJECT ADDRESS:
 LOT 5.6.7 WALLACES ADD.
 ST. PAUL NE 68873

STRUCTUR
ARCHITECTURAL ENGINEERING

REVISIONS: _____
 PROJECT NUMBER: **N502**
 DATE: **7/21/2022**

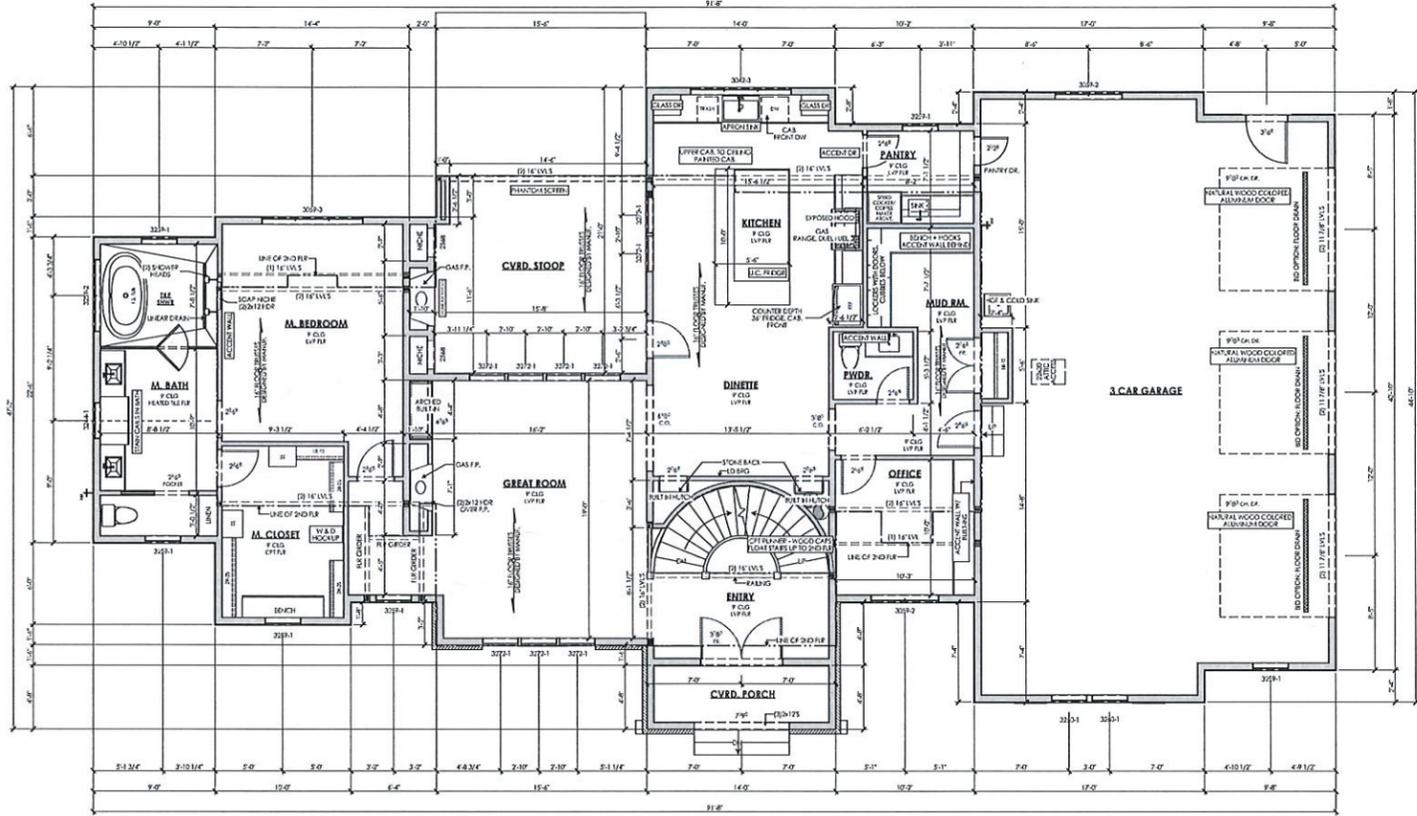
SHEET TITLE: **ELEVATIONS**
 DRAWN BY: **GMF** CHECKED BY: **AZ**

2023-4

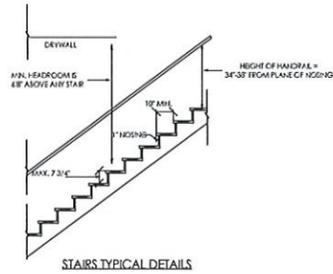
GENERAL NOTES

- ALL WALLS BE LEVEL ARE 1/2" HIGH AND
- ALL ANGLED WALLS ARE 45 DEGREE AND
- ALL EXTERIOR WALLS ARE 2X4 @ 16" OC (NON-NAIL) FRAMING AND
- ALL EXTERIOR WALLS ARE 2X6 @ 16" OC (NON-NAIL) FRAMING AND
- ALL EXTERIOR WINDOW HEADERS TO BE (2) 2X12 UN.G.

NOTE ALL WALLS TO BE DESIGNED FOR SHEAR W/ 5/16" SHEATHING W/ 8d NAILS @ 8" O.C. PERISTETER & 12" O.C. IN FIELD PER IRC 2018 UN.G.



MAIN FLOOR
SCALE: 1/4"=1'-0"



FINISHED FOUNDATION	1313 SQ. FT.
FINISHED MAIN FLOOR	1920 SQ. FT.
FINISHED SECOND FLOOR	1285 SQ. FT.
TOTAL FINISHED SQUARE FOOTAGE	4,518 SQ. FT.
3 CAR GARAGE	1120 SQ. FT.
COVERED PORCH	64 SQ. FT.
COVERED PATIO	246 SQ. FT.

STRUCTUR

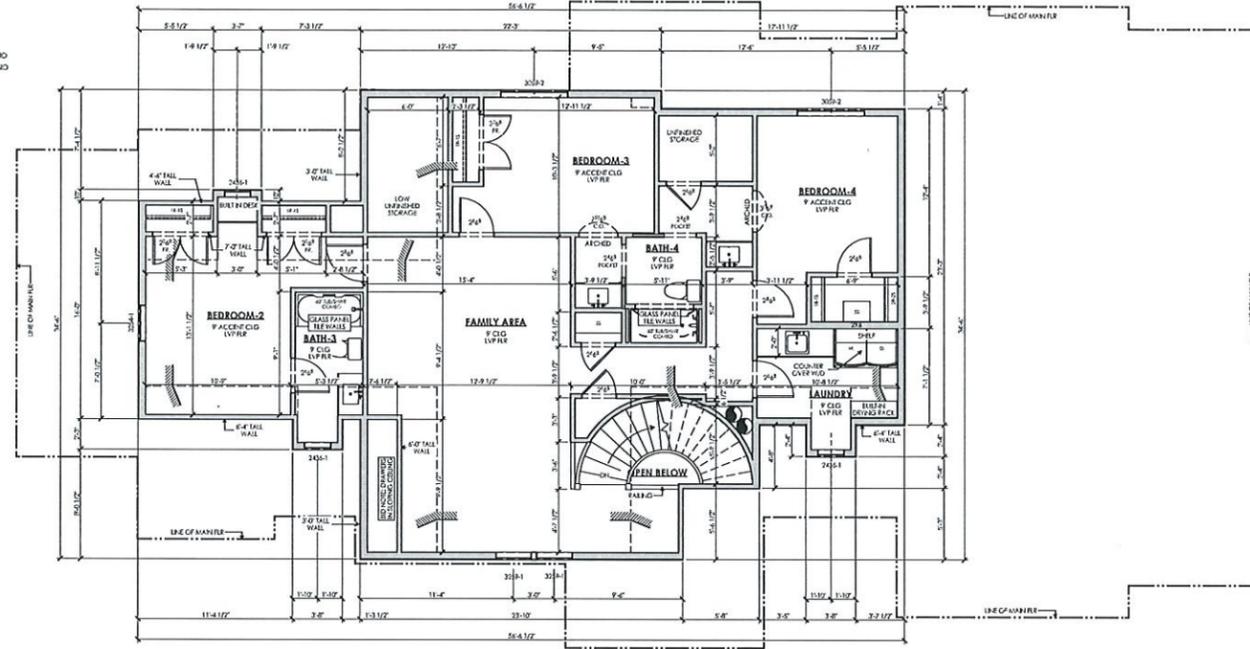
<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 10%;">NO.</th> <th style="width: 40%;">DESCRIPTION</th> <th style="width: 50%;">DATE</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DESCRIPTION	DATE				<p>REVISION NOTES</p> <p>PROJECT NUMBER: NS02</p> <p>DATE: 7/21/2022</p> <p>PROJECT NAME: CHAD AND STEPHANIE MILLER</p> <p>PROJECT ADDRESS: LOT 5,6,7 WALLACES ADD. ST. PAUL NE 68873</p> <p>SHEET VIEW: MAIN FLOOR</p> <p>DATE PLOTTED: 5/22/22</p> <p>GMF A5</p>
NO.	DESCRIPTION	DATE					

2023-4

GENERAL NOTES

- ALL WALLS THE LEVEL ARE 1'-0" HIGH UNDO
- ALL ANGLED WALLS ARE 45 DEGREE UNDO
- ALL INTERIOR WALLS ARE 2x4 @ 16" OC (SHOW WALL) FRAMING UNDO
- ALL EXTERIOR WALLS ARE 2x6 @ 16" OC (SHOW WALL) FRAMING UNDO
- ALL EXTERIOR SECOND LEVEL HEADERS TO BE (2) 2X8S UNDO

NOTE: ALL WALLS TO BE DESIGNED FOR SHEAR & VIB SHEATHING PER 88 WALLS @ 9" O.C. PERIMETER & 17" O.C. IN FIELD PER IRC 2018 UNDO.



○ SECOND FLOOR
SCALE: 1/4"=1'-0"

FINISHED FOUNDATION	1313 SQ. FT.
FINISHED MAIN FLOOR	1920 SQ. FT.
FINISHED SECOND FLOOR	1285 SQ. FT.
TOTAL FINISHED SQUARE FOOTAGE	4,518 SQ. FT.
3 CAR GARAGE	1120 SQ. FT.
COVERED PORCH	64 SQ. FT.
COVERED PATIO	245 SQ. FT.



CHAD AND STEPHANIE MILLER
REGISTERED PROFESSIONAL ENGINEERS
STATE OF OREGON
LICENSE NO. 14614
WWW.CHADANDSTEPHANIE.COM

THIS DOCUMENT IS THE PROPERTY OF CHAD AND STEPHANIE MILLER. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CHAD AND STEPHANIE MILLER.

DESIGNED BY CHAD AND STEPHANIE MILLER
PE, 14614
REGISTERED PROFESSIONAL ENGINEERS
STATE OF OREGON
LICENSE NO. 14614
WWW.CHADANDSTEPHANIE.COM
C000004320

STRUCTUR

REVISIONS	REVISION NOTES

PROJECT NUMBER: N502
DATE: 7/21/2022

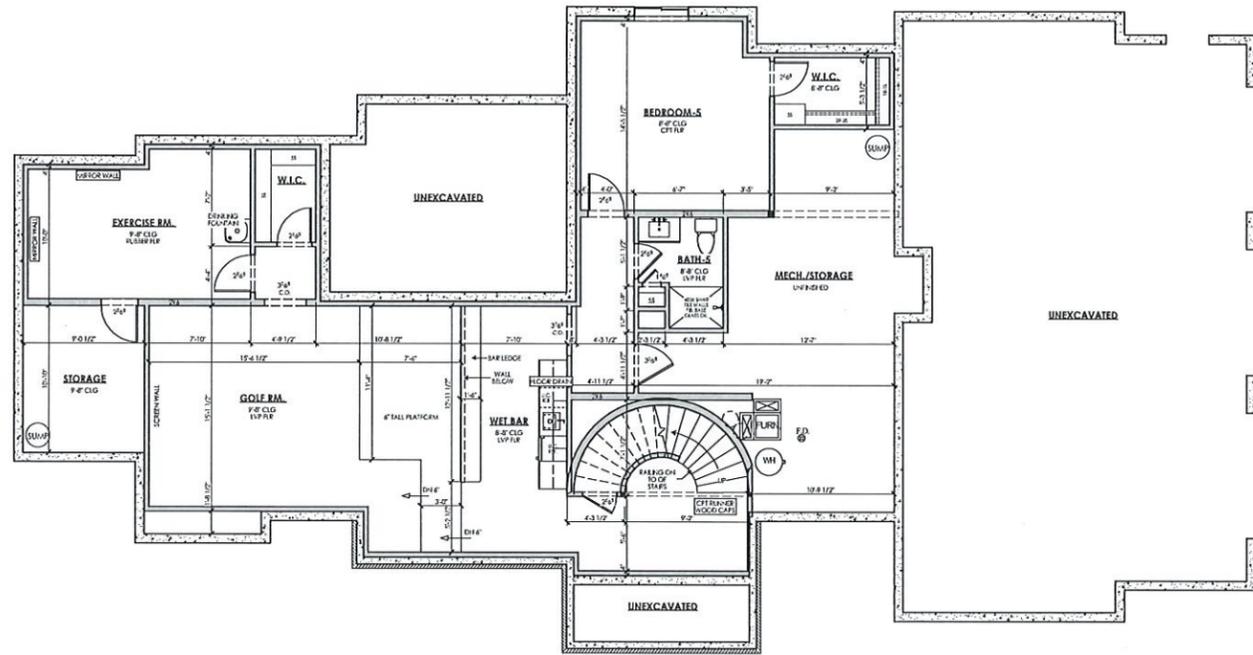
PROJECT NAME: CHAD AND STEPHANIE MILLER
PROJECT ADDRESS: LOT 5.6.7 WALLACES ADD.
ST. PAUL NE 68873

SHEET TITLE: 2ND FLR
DRAWN BY: GMF
SHEET: A6

2023-4

GENERAL NOTES

- ALL CEILING THIS LEVEL ARE 8'0" HIGH UNO
- ALL ANGLED WALLS ARE 45 DEGREE ENO
- ALL INTERIOR WALLS ARE 2X4 @ 16" OC (DOWN) FRAMING ENO



FINISHED BASEMENT
SCALE: 1/4"=1'-0"

FINISHED FOUNDATION	1313 SQ. FT.
FINISHED MAIN FLOOR	1920 SQ. FT.
FINISHED SECOND FLOOR	1285 SQ. FT.
TOTAL FINISHED SQUARE FOOTAGE	4,518 SQ. FT.
3 CAR GARAGE	1120 SQ. FT.
COVERED PORCH	64 SQ. FT.
COVERED PATIO	246 SQ. FT.

CHAD AND STEPHANIE MILLER
REGISTERED PROFESSIONAL ENGINEERS
LICENSE NO. 14512
STATE OF OREGON
WWW.CHADANDSTEPHANIE.COM

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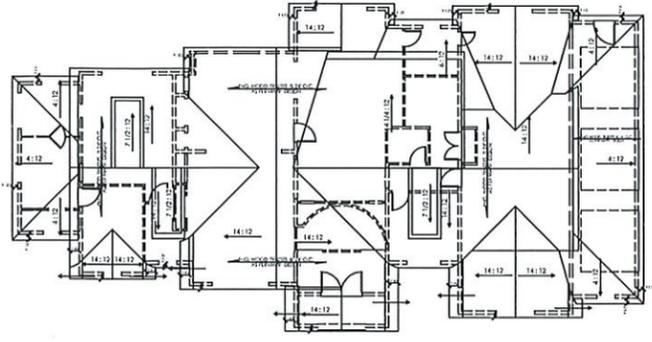
PROJECT NO: N502
DATE: 7/21/2022

PROJECT NAME: CHAD AND STEPHANIE MILLER
PROJECT ADDRESS: LOT 5, 6, 7 WALLACES ADD.
ST. PAUL NE 68873

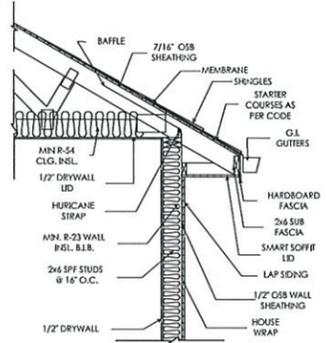
SHEET TITLE: FIN. BASEMENT
DRAWN BY: GMF
CHECKED BY: A4

STRUCTUR

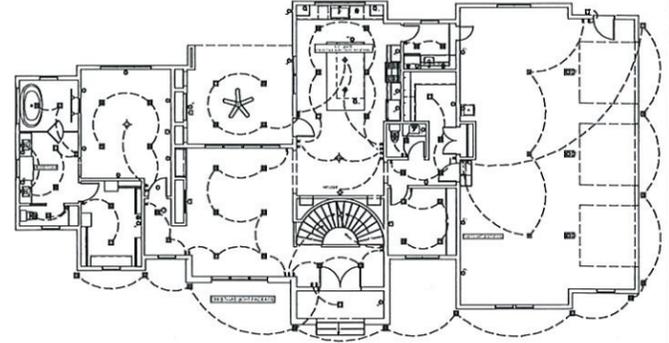
2023-4



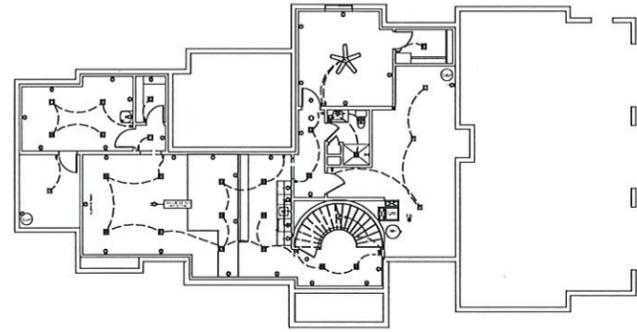
ROOF PLAN
SCALE: 1/8" = 1'-0"



TRUSS TO WALL
3/4" = 1'-0"



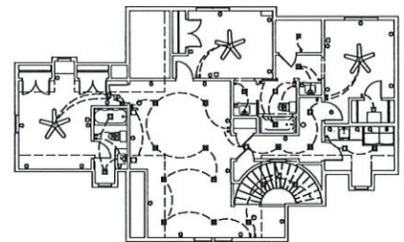
MAIN FLOOR ELECTRICAL
SCALE: 1/8" = 1'-0"



FINISHED BASEMENT ELECTRICAL
SCALE: 1/8" = 1'-0"

ELECTRICAL RELEASE NOTES:
ELECTRICAL PLANS ARE SHOWN AS GENERAL LAYOUT OF THE ELECTRICAL FEATURES OF THE HOUSE. ALL ELECTRICAL COMPONENTS ARE TO BE SET AND INSTALLED ACCORDING WITH 6 REQUIRED BY THE LOCAL CODE

ELECTRICAL SCHEDULE	
☐	CEILING LIGHT FIXTURE
◻	RECESSED CAN LIGHT
○	RECESSED LED CAN LIGHT
◇	FIX-DOWN LIGHT
□	FLUSH LIGHT
⊙	SMOKE DETECTOR
⊗	SMOKE/CO DETECTOR
⊕	EXHAUST FAN
⊗	CETTING FAN
⊕	WALL MOUNT VARIETY LIGHT
⊕	WALL MOUNT LIGHT
U.C.L.	UNDER CABINET LIGHT
○	110 OUTLET
○	200 OUTLET
○	GROUND FAULT COUNTER
○	WEAR-TEAR PROOF OUTLET
○	DISHWASHER
○	DISPOSAL
○	TELEPHONE
⊕	SINGLE POLE SWITCH
⊕	THREE WAY SWITCH
⊕	FOUR WAY SWITCH



MAIN FLOOR ELECTRICAL
SCALE: 1/8" = 1'-0"


 INTERIOR DESIGN
 CLYDE W. BROWN
 LICENSE NO. 1414
 1414 VETERANS DRIVE
 BIRMINGHAM, AL 35202
 402.970.8777
 WWW.PRACTICEDESIGN.COM

WITH THE EXCEPTED CONTRACTOR'S RESPONSIBILITY FOR THE DESIGN OF THE PROJECT, THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE ELECTRICAL SYSTEMS AND TO THE PREPARATION OF THE ELECTRICAL PLANS. THE ARCHITECT DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE ELECTRICAL SYSTEMS AND FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CONTRACTOR. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN OF THE ELECTRICAL SYSTEMS AND TO THE PREPARATION OF THE ELECTRICAL PLANS.

PROJECT NAME:
CHAD AND STEPHANIE MILLER
 PROJECT ADDRESS:
**LOT 5.6.7 WALLACES ADD.
 ST. PAUL NE 68873**

PROJECT NUMBER:
NS02
 DATE:
7/21/2022

SHEET TYPE:
ELEC./ROOF

DRAWN BY:
GMF

CHECKED BY:
A7

Zoning Classification R-2

Value \$ 4200.⁰⁰

PERMIT NUMBER 2023-5

FEE \$25.00

CASH CHECK# pd 3/20/23

APPLICATION FOR A RESIDENTIAL ZONING PERMIT

St. Paul, Nebraska: DIRECTIONS: Fill in the following information as accurately and completely as possible. This application is not acceptable unless all required information is furnished.

Property Owner ISAAC & JEWELL HOWELL Contractor Self

Address 1105 GRAND ST. Address _____

City, State, Zip SAINT PAUL, NE 68873 Phone Number _____

Phone Number 308-383-2039 Cell Phone _____

Complete Legal Description of the Property Lots 1, 2, 3 and E 10' of Lot 4 Block 6 military Add St. Paul

Address of Construction Site 1105 Grand St.; SAINT PAUL, NE 68873
(If none, one must be registered with the City of St. Paul) In the Flood Plain? NO

Proposed Structure FENCE 6' wood privacy Dimension of Structure Approx. 146' of 6' fence

Distance from Front property line 32' (North) Rear property line 20' (South)

Distance from Side property line 64' (East) Second Side property line 28' (West)

Is there a utility easement on either the back or side property? NO

Approximately when will construction Start April 2023 Finish May 2023

Contact Utility Superintendent at (308) 754-4483 regarding Inspection. Matt Helzer Date of visit 3-21-23
(Matt Helzer's signature)

Recommendations needed before approval: _____

For Office Use Only:

Is the proposed use permitted within this zoning district? YES NO

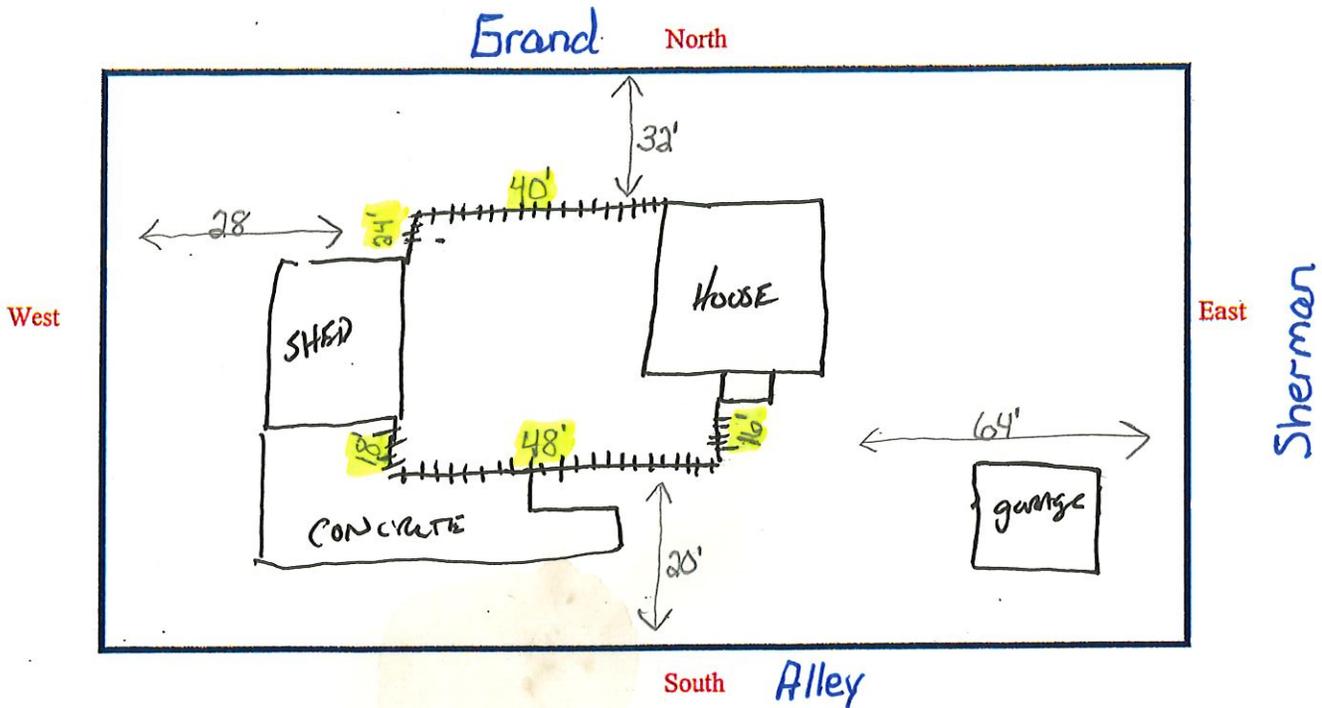
Does the proposed use meet all the required setback distances? YES NO

Is a conditional use required for the proposed use? YES NO

Has a Conditional Use Permit been issued for this proposed use? YES NO
If yes, when does it expire? _____

(One Mile radius outside city limits) If the structure is a residence on less than 10 acres, indicate the date this property was platted as a separate parcel _____ Name of the Lot Split or Subdivision _____

Site Plan Sketch:



Street Name: North boundary Grand St South boundary _____
 Street Name: West boundary _____ East boundary ~~West~~ SHERMAN

Indicate, by drawing, the shape and dimensions of the land, shape and dimensions of all existing and proposed building and structures and the distances from the proposed building and structures to all lot lines (from road frontages, side and rear lot lines). Show the location of roads fronting the property. **MUST CALL DIGGERS HOTLINE @ 811 BEFORE DIGGING - CONSTRUCTION ON UTILITY EASEMENTS IS NOT PERMITTED.**

The above information is, to the best of my knowledge, true and accurate. It is understood and agreed that any error, misstatement or misrepresentation of fact, either with or without intention on my part, such as might, if known, cause a refusal of this application, or any alteration or change in plans made without the approval of the Zoning Administrator subsequent to the issuance of the Permit, shall constitute sufficient grounds for the revocation of such permit. **This permit is valid for one (1) year from approval date and work must be started within the first 6 months.**

The signature also indicates permission granted to the Zoning Administrator to inspect the construction site in which this permit is granted at any time until construction is completed.

Signature of Applicant [Signature] Date 3/20/23

For Office Use Only:

Permit is Approved _____ Denied _____ Date _____
 Zoning Administrator

Reasons for Denial: _____

Zoning Classification R-1 Value \$ 8500 PERMIT NUMBER 2023-6
Please call 811 before completing form FEE \$25.00 CASH CHECK# 4452
pd 3/22/23

APPLICATION FOR A RESIDENTIAL ZONING PERMIT

St. Paul, Nebraska: DIRECTIONS: Fill in the following information as accurately and completely as possible. This application is not acceptable unless all required information is furnished.

Property Owner Robert & Janice Boehle Contractor owners
Address 228 Bruce Circle Address Same
City, State, Zip St. Paul, NE 68873 Phone Number Same
Phone Number 308-750-2476 Cell Phone Same
Complete Legal Description of the Property Lot 2 Kelly's First Addition to St. Paul, Howard Co. Nebraska
Address of Construction Site 228 Bruce Circle, St. Paul, NE 68873
(If none, one must be registered with City of St. Paul) In the Flood plain? NO

Proposed Structure deck Dimension of Structure 16' x 20'
Distance from Front property line West in back of house 65' Distance from Rear Property Line East 28' + or -
Distance from Side Property Line North - 25' + or - Distance from Second Side Line South 30' + or -

Is there a utility easement on any side of the property? YES East side
Approximately when will construction Start April 2023 Finish Sept 2023

Contact Utility Superintendent at (308) 754-4483 regarding Set-Back Inspection. Matt Helzer Date of visit 3-21-23
(Matt Helzer's signature)

Recommendations needed before approval: _____

(One Mile radius outside city limits) If the structure is a residence on less than 10 acres indicate the date this property was platted as a separate parcel _____ Name of the Lot Split or Subdivision _____

For Office Use Only:

Is the proposed use permitted within this zoning district?	YES <input checked="" type="checkbox"/>	NO _____
Does the proposed use meet all the required setback distances?	YES <input checked="" type="checkbox"/>	NO _____
Is a conditional use required for the proposed use?	YES _____	NO <input checked="" type="checkbox"/>
Has a Conditional Use Permit been issued for this proposed use? If yes, when does it expire? _____	YES _____	NO <input checked="" type="checkbox"/>

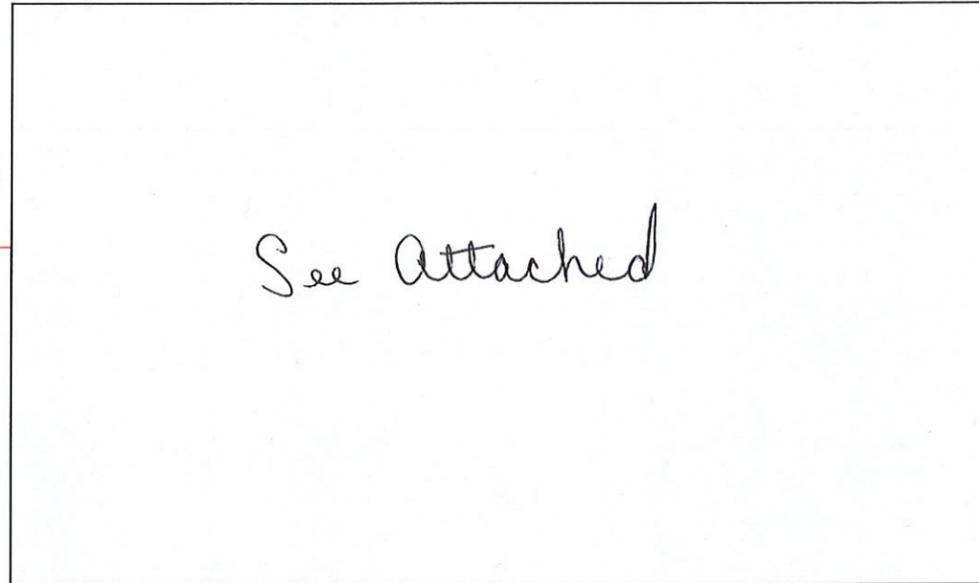
Site Plan Sketch:

North Street Name _____

Street Name

Bruce
Circle

W



Street Name

E

South Street Name _____

Indicate, by drawing, the shape and dimensions of the land, shape and dimensions of all existing and proposed buildings and structures, and the distances from the proposed building and structures to all lot lines (from road frontages, side and rear lot lines). Show the location of roads fronting the property. **MUST CALL DIGGERS HOTLINE @ 811 BEFORE DIGGING – CONSTRUCTION ON UTILITY EASEMENTS IS NOT PERMITTED.**

The above information is, to the best of my knowledge, true and accurate. It is understood and agreed that any error, misstatement or misrepresentation of fact, either with or without intention on my part, such as might, if known, cause a refusal of this application, or any alteration or change in plans made without the approval of the Zoning Administrator subsequent to the issuance of the Permit, shall constitute sufficient grounds for the revocation of such permit. This permit is valid for one (1) year from approval date and work must be started within the first 6 months.

The signature also indicates permission granted to the Zoning Administrator to inspect the construction site in which this permit is granted at any time until construction is completed.

Signature of Applicant Robert C Boehle Janice Boehle Date 3-22-23

For Office Use Only:

Permit is Approved _____ Denied _____ Date _____
Zoning Administrator Signature

Reasons for Denial: _____

West
house

2023-6

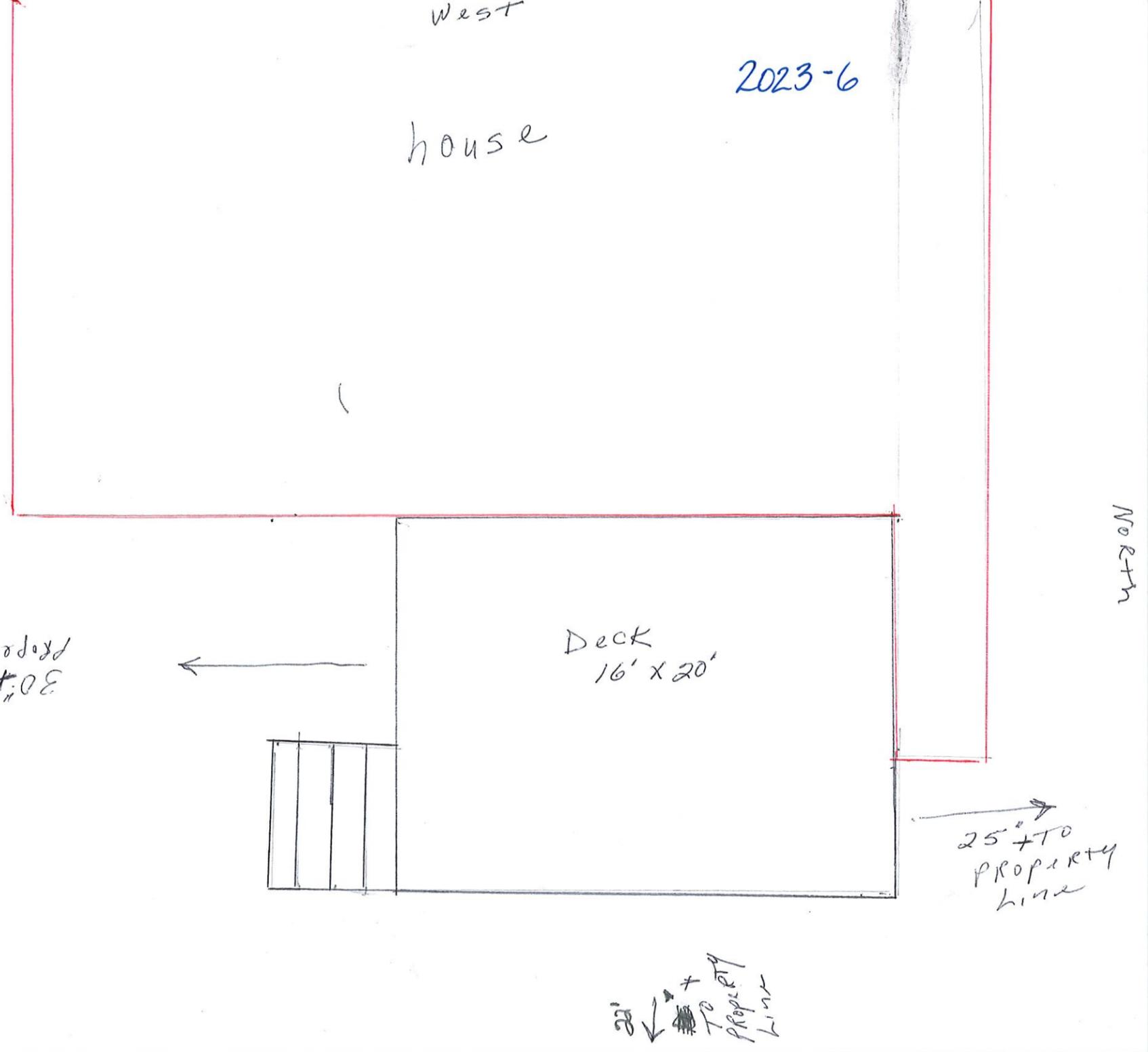
North

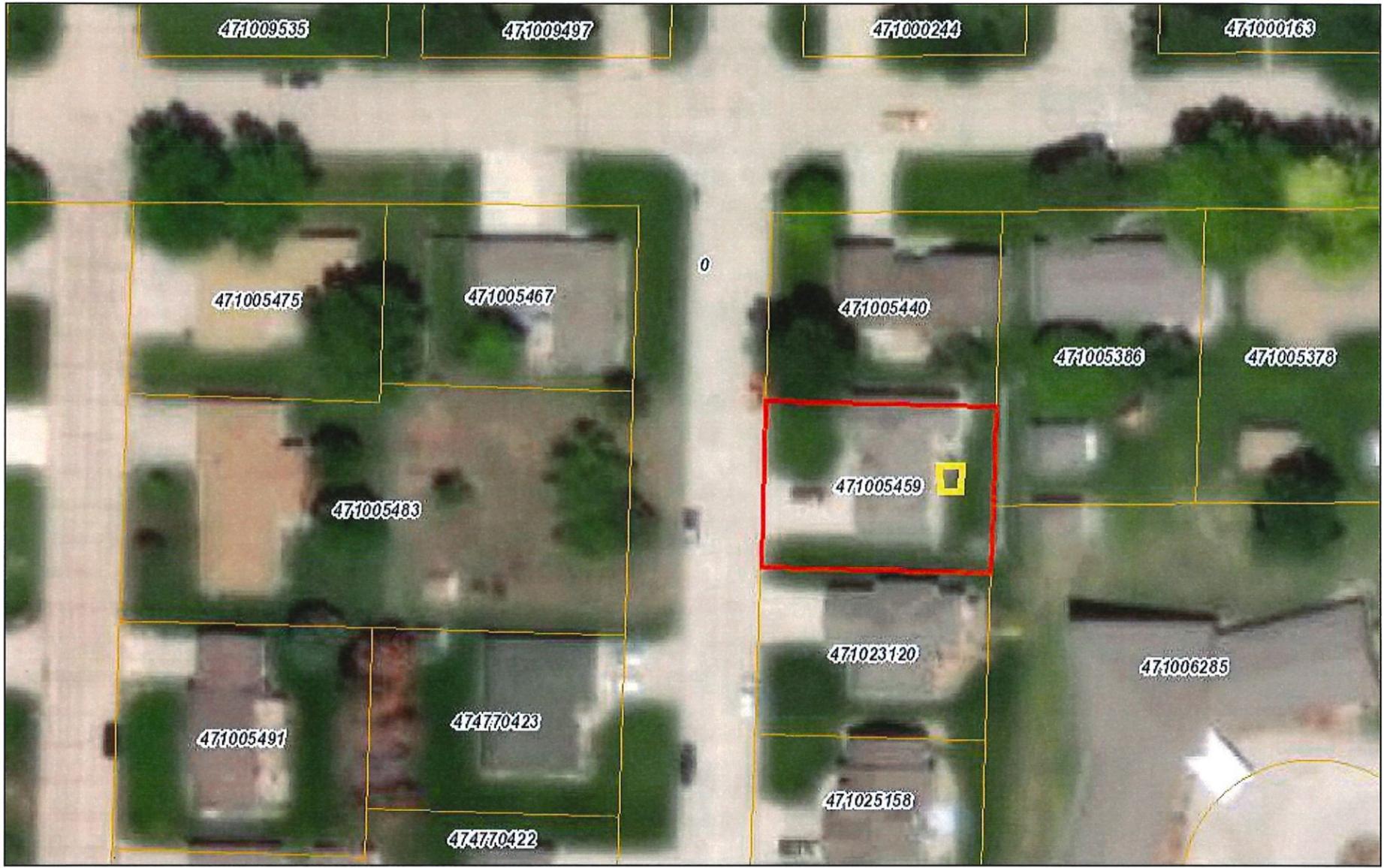
Deck
16' x 20'

← 30" to property line

→ 25" to property line

→ 22" to property line

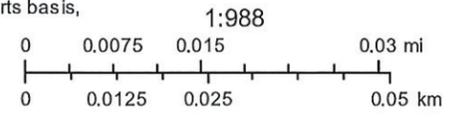




March 22, 2023

DISCLAIMER: This map is not intended for conveyances, nor is it a legal survey. The information is presented on a best-efforts basis, and should not be relied upon for making financial, survey, legal or other commitments.

□ Parcels



Zoning Classification R-1 Value \$ 2,000

PERMIT NUMBER 2023-7
FEE \$25.00 CASH CHECK# 645 CC
pd 3/24/23

APPLICATION FOR A FENCE PERMIT

St. Paul, Nebraska: DIRECTIONS: Fill in the following information as accurately and completely as possible. This application is not acceptable unless all required information is furnished.

Property Owner Evan & Bryton Carlson Contractor SELF

Address 217 Bruce Cir Address _____

City, State, Zip St Paul, NE 68873 Phone Number _____

Phone Number 308-750-2416 Cell Phone _____

Complete Legal Description of the Property 26.6ft of lot 15 & N 54.75ft of lot 14, Kelly's 1st addition

Address of Fence Site 217 Bruce Cir Size & Kind 4' Chain link

Replacement or New Fence: New

Approximately when will the construction: Start April 1 Finish April 28

To Whom Should the Improvements be assessed? Evan & Bryton Carlson

Contact Utility Superintendent at (308) 754-4483 regarding Inspection Matt Helzer Date of visit 3-27-23

(Matt Helzer's signature)

Recommendations needed before approval: _____

MUST CALL DIGGERS HOTLINE @ 811 BEFORE DIGGING - CONSTRUCTION ON UTILITY EASEMENTS IS NOT PERMITTED. The above information is, to the best of my knowledge, true and accurate. It is understood and agreed that any error, misstatement or misrepresentation of fact, either with or without intention on my part, such as might, if known, cause a refusal of this application, or any alteration or change in plans made without the approval of the Zoning Administrator subsequent to the issuance of the Permit, shall constitute sufficient grounds for the revocation of such permit. This permit is valid for one (1) year from approval date. The signature also indicates permission granted to the Zoning Administrator to inspect the site in which this permit is granted at any time until completed.

Signature of Applicant [Signature] Date 3/31/23

N 6"
Drawing:
W 8'



on way to line
Sharon Krzycki

For Office Use Only: Permit is Approved _____ Denied _____ Date _____
Zoning Administrator

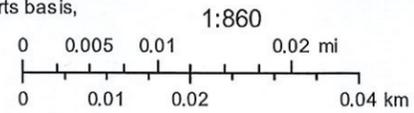
Reasons for Denial: _____



March 31, 2023

DISCLAIMER: This map is not intended for conveyances, nor is it a legal survey. The information is presented on a best-efforts basis, and should not be relied upon for making financial, survey, legal or other commitments.

- Parcels
- Sections



Zoning Classification R-2 Value \$ 800 PERMIT NUMBER 2023-8
 Please call 811 before completing form FEE \$25.00 CASH CHECK# 2035
 pd 3/30/23

APPLICATION FOR A RESIDENTIAL ZONING PERMIT

St. Paul, Nebraska: DIRECTIONS: Fill in the following information as accurately and completely as possible. This application is not acceptable unless all required information is furnished.

Property Owner Nick Serr Contractor SELF
 Address 915 Baxter St Address NA
 City, State, Zip St. Paul NE Phone Number _____
 Phone Number 308-750-3250 Cell Phone _____
 Complete Legal Description of the Property Lot 3, Blk 11 Riley-Stevens Subdivision St. Paul
 Address of Construction Site 915 Baxter
 (If none, one must be registered with City of St. Paul) In the Flood plain? NO

Proposed Structure garden shed (Steel) Dimension of Structure 10'x14'
 Distance from Front ^{North} property line 64' Distance from Rear ^{South} Property Line 92'
 Distance from Side ^{East} Property Line 60' Distance from Second Side ^{West} Line 6'

Is there a **utility easement** on any side of the property? NO
 Approximately when will construction Start as soon as approved Finish _____

Contact Utility Superintendent at (308) 754-4483 regarding Set-Back Inspection. Matt Helzer Date of visit 4-4-23
 (Matt Helzer's signature)

Recommendations needed before approval: _____

(One Mile radius outside city limits) If the structure is a residence on less than 10 acres indicate the date this property was platted as a separate parcel _____ Name of the Lot Split or Subdivision _____

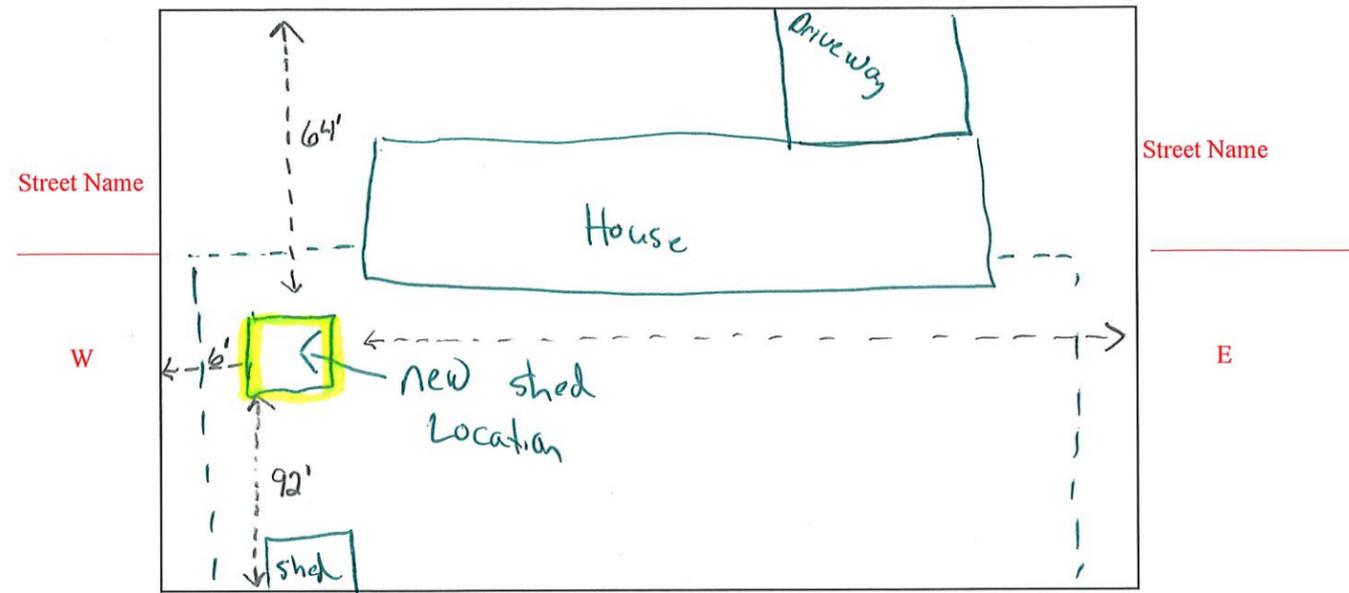
For Office Use Only:

Is the proposed use permitted within this zoning district? YES _____ NO _____
 Does the proposed use meet all the required setback distances? YES _____ NO _____
 Is a conditional use required for the proposed use? YES _____ NO _____
 Has a Conditional Use Permit been issued for this proposed use? YES _____ NO _____
 If yes, when does it expire? _____



Site Plan Sketch:

North Street Name Boyer



South Street Name Alley

Indicate, by drawing, the shape and dimensions of the land, shape and dimensions of all existing and proposed buildings and structures, and the distances from the proposed building and structures to all lot lines (from road frontages, side and rear lot lines). Show the location of roads fronting the property. **MUST CALL DIGGERS HOTLINE @ 811 BEFORE DIGGING – CONSTRUCTION ON UTILITY EASEMENTS IS NOT PERMITTED.**

The above information is, to the best of my knowledge, true and accurate. It is understood and agreed that any error, misstatement or misrepresentation of fact, either with or without intention on my part, such as might, if known, cause a refusal of this application, or any alteration or change in plans made without the approval of the Zoning Administrator subsequent to the issuance of the Permit, shall constitute sufficient grounds for the revocation of such permit. This permit is valid for one (1) year from approval date and work must be started within the first 6 months.

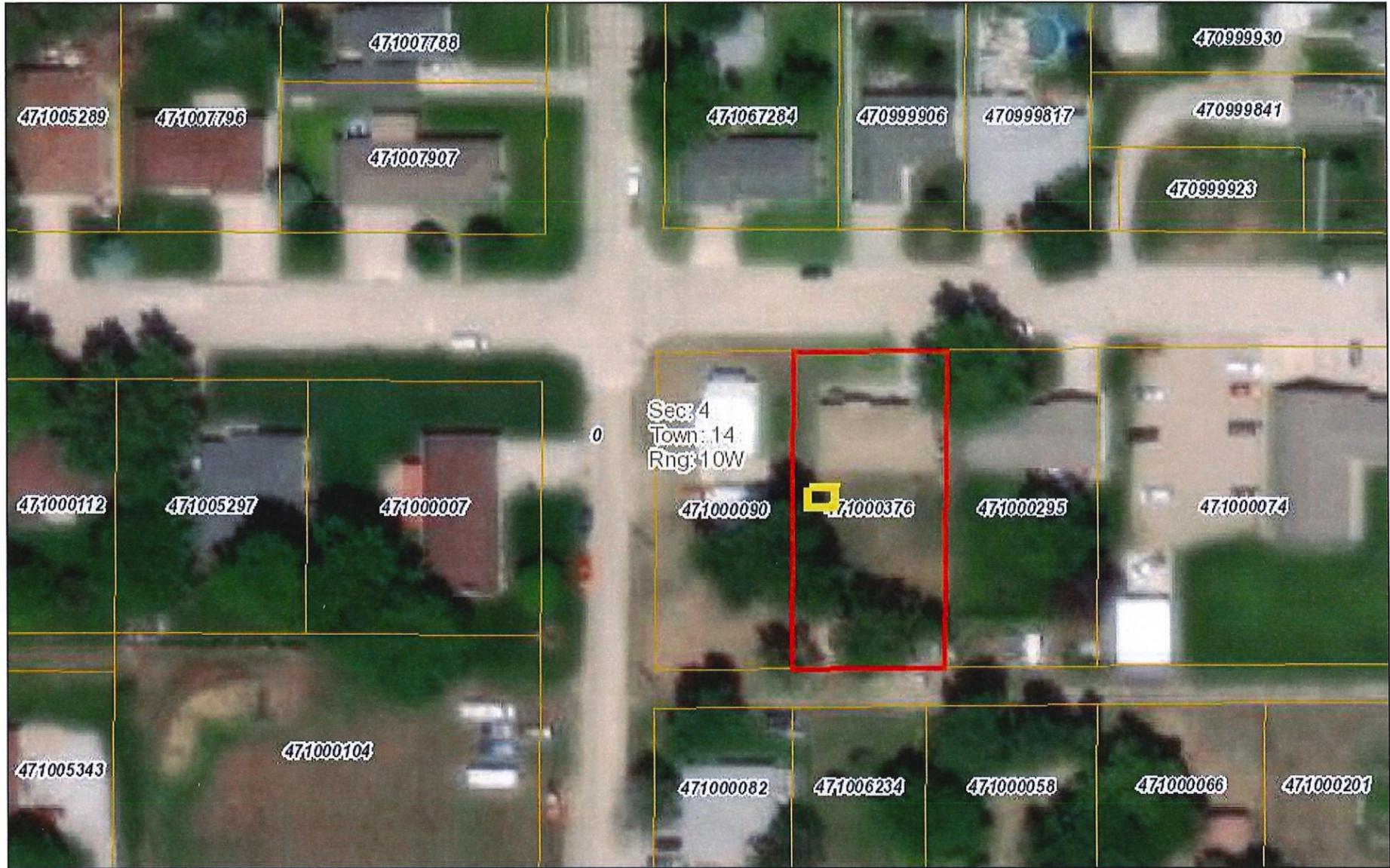
The signature also indicates permission granted to the Zoning Administrator to inspect the construction site in which this permit is granted at any time until construction is completed.

Signature of Applicant [Signature] Date 3-24-23

For Office Use Only:

Permit is Approved _____ Denied _____ Date _____
Zoning Administrator Signature

Reasons for Denial: _____

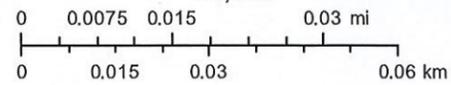


April 4, 2023

DISCLAIMER: This map is not intended for conveyances, nor is it a legal survey. The information is presented on a best-efforts basis, and should not be relied upon for making financial, survey, legal or other commitments.

1:1,152

- Parcels
- Sections



Zoning Classification R-2 Value \$ 3,000 PERMIT NUMBER 2023-9
Please call 811 Diggers Hotline before designing FEE \$100.00 CASH _____ CHECK# 1081 \$100.00
paid 4/5/23

APPLICATION FOR A COMMERCIAL ZONING PERMIT

St. Paul, Nebraska: DIRECTIONS: Fill in the following information as accurately and completely as possible. This application is not acceptable unless all requirement information is furnished.

Property Owner Mandy Anderson Contractor STS Construction + Dierksen Buildings
Address 920 Jackson St Address 103 Grand St, St. Paul
City, State, Zip St. Paul, NE 68873 Phone Number 402-690-0854
Phone Number 308 750 4588 Cell Phone " "

Complete Legal Description of the Property Lot 1, Bartlett's Second Addition to St. Paul

Address of Construction Site 920 Jackson St, St. Paul
(If none, one must be registered with City of St. Paul or the 911 center.) Is property in the Flood Plain? No

Proposed Structure & Use Storage shed for daycare supplies Dimension of Structure 12 x 14

Plans Submitted to Fire Marshall Office Will contact

Distance from Front property line 6' Distance from Rear Property Line 6'

Distance from Side Property Line Even w/ North edge of existing building Distance from Second Side Property Line 121'

Is there a utility easement on either the back or side property? No If so attach a copy of neighbor approval.

Approximately when will construction Start July 2023 Finish No later than Fall 2023

Contact Utility Superintendent at (308) 754-4483 regarding Set-Back Inspection. Matt Helzer Date of visit 4-5-23
(Matt Helzer's signature)

Recommendations needed before approval: Approve per Section 9.2.01 of zoning regulations

(One Mile radius outside city limits) If the structure is a residence on less than 10 acres indicate the date this property was platted as a separate parcel _____ and the Name of the Lot Split or Subdivision _____

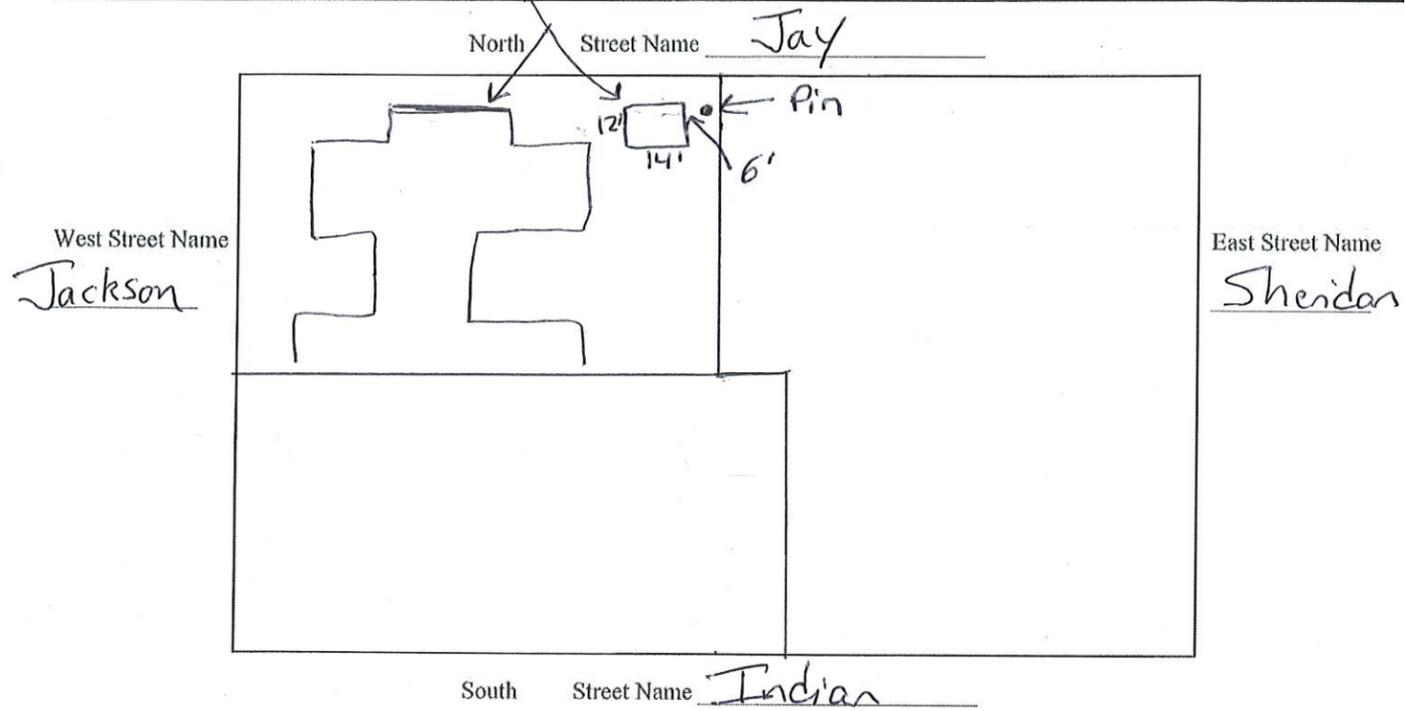
For Office Use Only:

Is the proposed use permitted within this zoning district? YES NO _____
Does the proposed use meet all the required setback distances? YES _____ NO See Sec. 9.2.01
Is a conditional use required for the proposed use? YES _____ NO
Has a Conditional Use Permit been issued for this proposed use? YES _____ NO
If yes, when does it expire? _____

even w/ north edge of building

PERMIT NUMBER 2023-9

Site Plan Sketch:



Indicate, by drawing, the shape and dimensions of the land, shape and dimensions of all existing and proposed building and structures and the distances from the proposed building and structures to all lot lines (from road frontages, side and rear lot lines). Show the location of roads fronting the property. **MUST CALL DIGGERS HOTLINE @ 811 BEFORE DIGGING - CONSTRUCTION ON UTILITY EASEMENTS IS NOT PERMITTED. NEW CONSTRUCTION MUST CALL Electrical Inspector, Kim Farnstrom 308-728-7612**

The above information is, to the best of my knowledge, true and accurate. It is understood and agreed that any error, misstatement or misrepresentation of fact, either with or without intention on my part, such as might, if known, cause a refusal of this application, or any alteration or change in plans made without the approval of the Zoning Administrator subsequent to the issuance of the Permit, shall constitute sufficient grounds for the revocation of such permit. This permit is valid for one (1) year from approval date and work must be started within the first 6 months.

The signature also indicates permission granted to the Zoning Administrator to inspect the construction site in which this permit is granted at any time until construction is completed and a Certificate of Occupancy is issued.

Signature of Applicant Mandy Anderson Date 4-5-23

For Office Use Only:

Permit is Approved _____ Denied _____ Date _____
Zoning Administrator Signature

Reasons for Denial: _____

2023-9

Google Maps 998 Jackson St



St Paul, Nebraska
 Google Street View
 Apr 2012 See more dates

Image capture: Apr 2012 © 2023 Google



2023-9

Google Maps 1216 Jay St



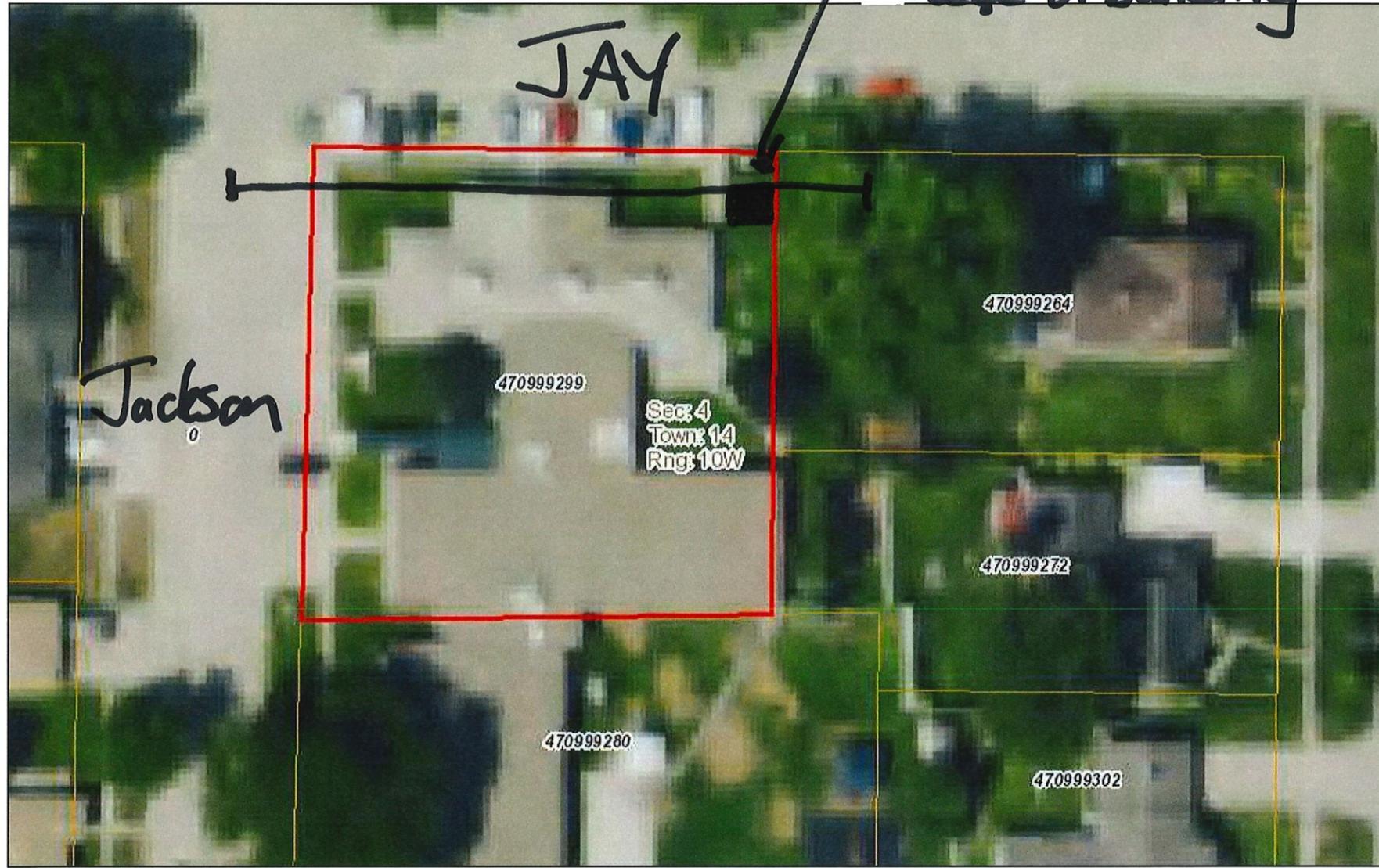
St Paul, Nebraska
 Google Street View
 Apr 2012 See more dates

Image capture: Apr 2012 © 2023 Google



2023-9

6' west of pin and even w/ north edge of building



Jackson

470999299

Sec 4
Town 14
Rng 10W

470999264

470999272

470999280

470999302

Shenandoah

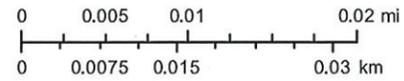
April 5, 2023

DISCLAIMER: This map is not intended for conveyances, nor is it a legal survey. The information is presented on a best-efforts basis, and should not be relied upon for making financial, survey, legal or other commitments.

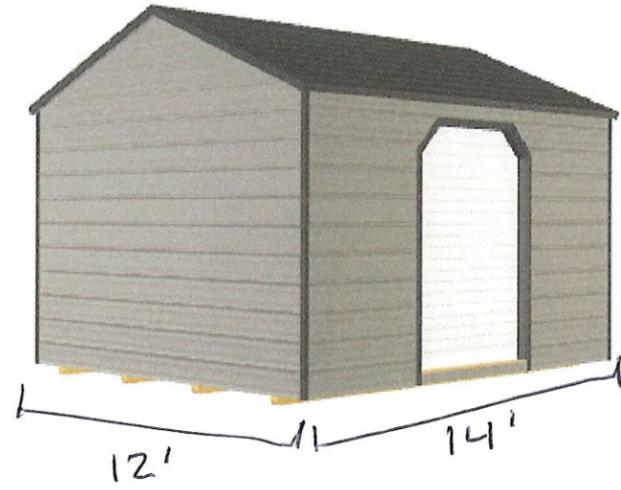
- Parcels
- Sections

Indian

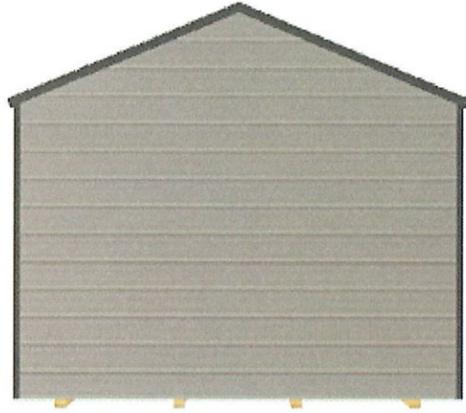
1:665



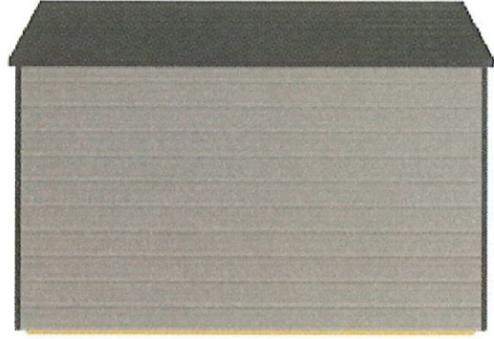
2023-9



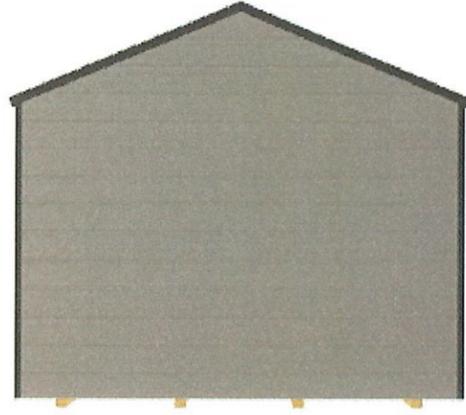
2023-9



2023-9



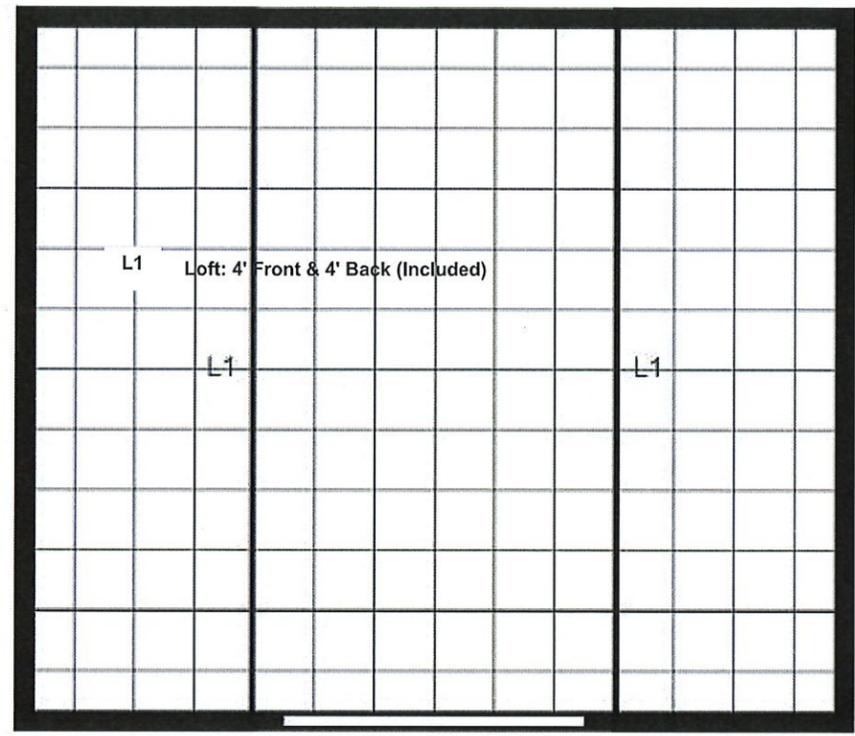
2023-9



Left

2023-9

SYMBOL LEGEND	
D1	5' Rollup Garage Door
	Closed Wall



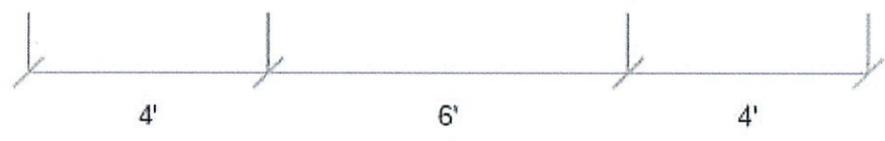
12'

#1680718361647672

Front

Back

D1



Zoning Classification Highway Commercial Value \$ 25,000 PERMIT NUMBER 2023-10
Please call 811 Diggers Hotline before designing FEE \$ _____ CASH _____ CHECK# _____

APPLICATION FOR A COMMERCIAL ZONING PERMIT

St. Paul, Nebraska: DIRECTIONS: Fill in the following information as accurately and completely as possible. This application is not acceptable unless all requirement information is furnished.

Property Owner KS Plus, Inc. dba Kwik Stop #21 Contractor Creative Builders; Darrel Rowley
Address 710 2nd Street Address 990 East Hall School Road, North Platte, NE 69101
City, State, Zip St. Paul, NE 68873 Phone Number 308-530-5877
Phone Number 308-754-4478 Cell Phone 308-530-5877

Complete Legal Description of the Property Lots 9, 10 & 11, block 81 OT ST PAUL and part of vacated alley

Address of Construction Site Same as above
(If none, one must be registered with City of St. Paul or the 911 center.) In the Flood Plain ~~no~~ no known ?

Proposed Structure & Use Walk-in cooler upgrade/ cooler "cave" Dimension of Structure 29' north/south x 29' east/west

Distance from Front property line West 93' ~~Plans submitted to City Marshall Office~~ YES

Rear Property Line East 10' Side Property Line North 10' Second Side Line South 101' Between other buildings (Min 10')

Is there a utility easement on either the back or side property? YES ~~no~~ If so attach a copy of neighbor approval.

Approximately when will construction Start Weather depending 3/1/2023 Finish 4/1/2023

To Whom Should the Improvements be assessed? the owner, KS Plus, Inc

Contact Utility Superintendent at (308) 754-4483 regarding Set-Back Inspection. Matt Helzer Date of visit 4-6-23
(Matt Helzer's signature)

Recommendations needed before approval: _____

(One Mile radius outside city limits) If the structure is a residence on less than 10 acres indicate the date this property was platted as a separate parcel _____ and the Name of the Lot Split or Subdivision, _____

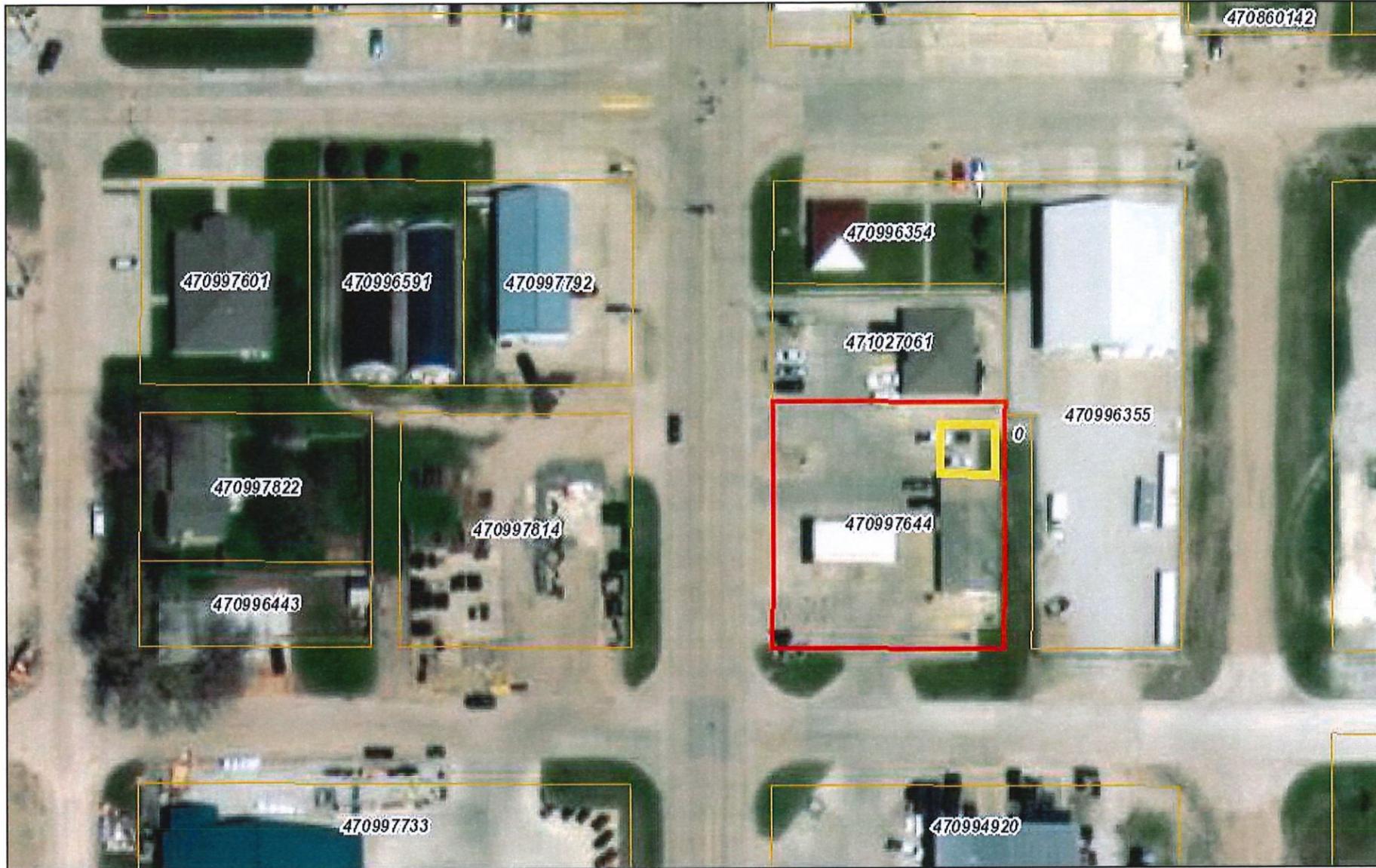
For Office Use Only:

Is the proposed use permitted within this zoning district? YES NO

Does the proposed use meet all the required setback distances? YES NO

Is a conditional use required for the proposed use? YES NO

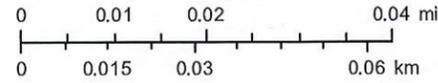
Has a Conditional Use Permit been issued for this proposed use? YES NO
If yes, when does it expire? _____



April 6, 2023

DISCLAIMER: This map is not intended for conveyances, nor is it a legal survey. The information is presented on a best-efforts basis, and should not be relied upon for making financial, survey, legal or other commitments.

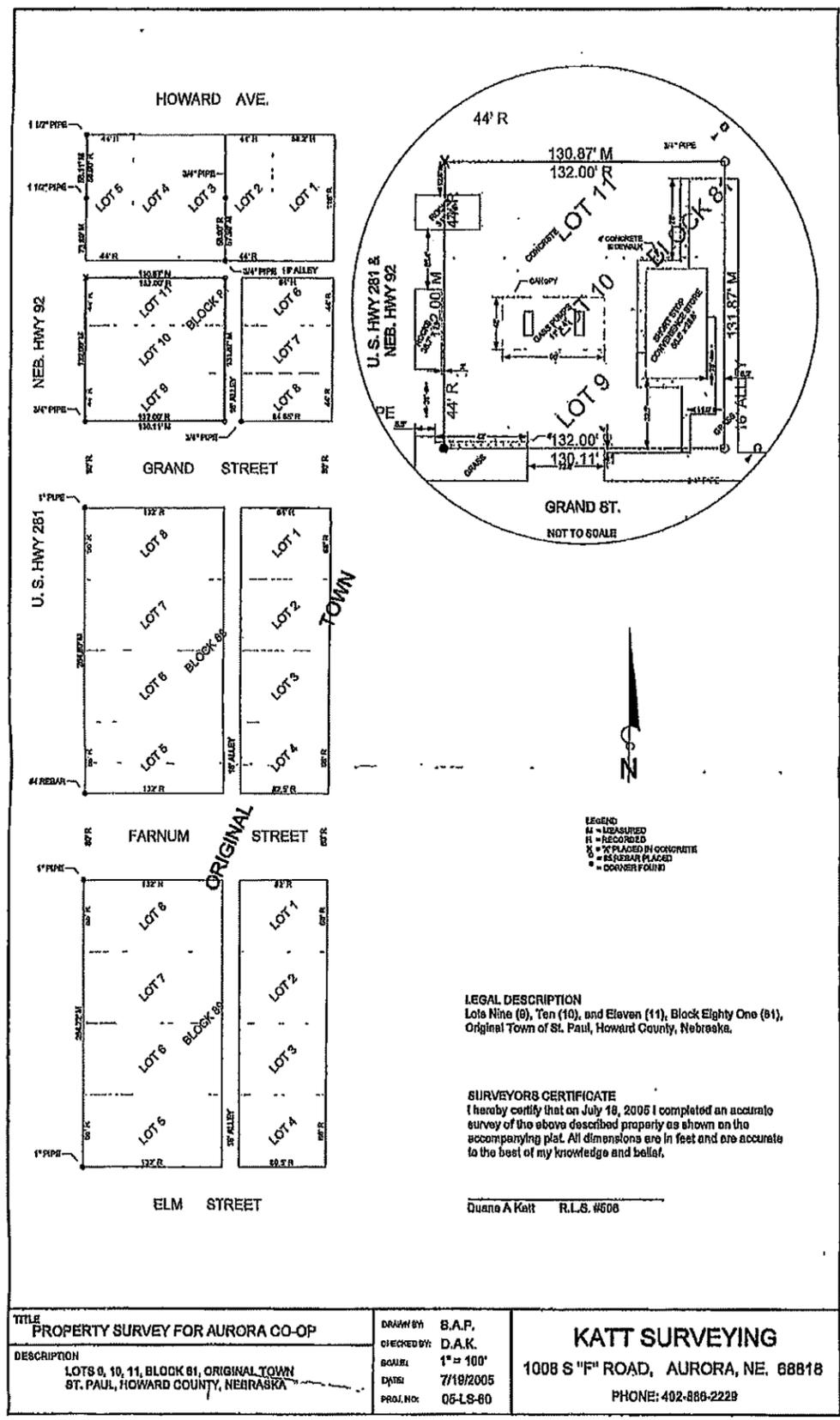
1:1,252



Parcels

2023-10

Survey
B



Ordinance

2023-10

CITY OF ST. PAUL, NEBRASKA

ORDINANCE NO. 669

AN ORDINANCE TO VACATE THE ALLEY AS DESCRIBED IN SECTION 1 OF THIS ORDINANCE IN BLOCK 81, ORIGINAL TOWN OF ST. PAUL, HOWARD COUNTY, NEBRASKA, AND PROVIDING THE TIME WHEN THIS ORDINANCE SHALL BE IN FULL FORCE AND EFFECT.

BE IT ORDAINED BY THE MAYOR AND COUNCIL OF THE CITY OF ST. PAUL, NEBRASKA:

Section 1. Whereas, the east-west alley in Block 81, in the City of St. Paul, Howard County, Nebraska, as surveyed, platted and recorded, is not traveled by the public, and whereas, the Mayor and City Council of the City of St. Paul, Nebraska deem it advisable, advantageous and from the best interests of the City of St. Paul, Nebraska that such part of Block 81 as herein described be vacated.

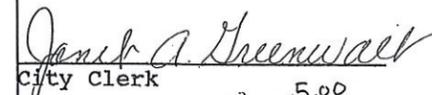
Section 2, Now therefore, the alley in Block 81, Original Town of St. Paul, Howard County, Nebraska, which is generally described as an east-west alley, as surveyed, platted and recorded, is hereby vacated and that portion of the alley of Block 81 as, vacated shall revert to the owners of the abutting real estate. The City of St. Paul, Nebraska reserves a perpetual right to construct and maintain overhead and underground utilities as required upon the land heretofore described and vacated and this vacation is further subject to an agreement executed between the CITY and the OWNER of the abutting real estate.

Section 3. This Ordinance shall be in full force and take effect from and after its passage, approval and publication according to law.

PASSED AND APPROVED this 3rd day of April, 1995.


Mayor

ATTEST:

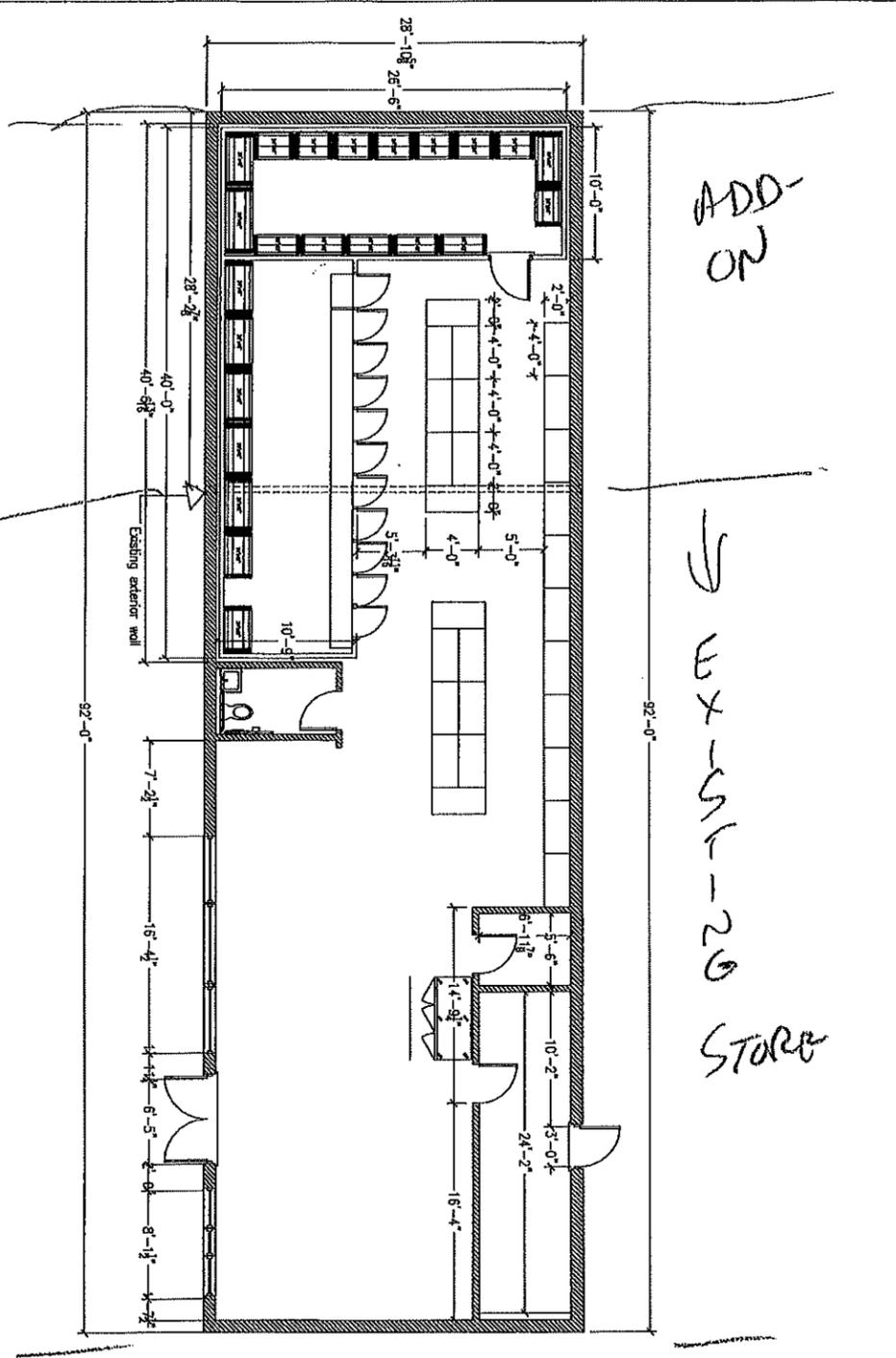

City Clerk

5.00
PAID
PER BOOK
SERIAL INDEX
FILE

STATE OF NEBRASKA
HOWARD COUNTY, SS.
FILED FOR RECORD #340
April DAY 13 1995
AT 2:45 O'CLOCK P.M. RECORDED
BOOK 95 OF P. 845
Rogge Smith
City Clerk

2023-10

PLAN
A



ADD-ON

62'-5 1/2" - 20 STORE

SHEET 2 OF 3	Revised	Date 08.29.22
	Drawn By: CLE	
	Scale 1/8" = 1'-0"	

Kwik Stop St. Paul

This drawing is design a sole property of Buller Fixture Company a division Cash-We Distributing Divisions provided by Buller Fixture Company and is not to be used for construction purposes. Contractors are responsible for field verification of details, dimensions, elevations, and local code requirements.

**BULLER
FIXTURE
COMPANY**
A DIVISION OF CASH-WE DISTRIBUTING

401 West 4th
Kearney, NE 68845
(308) 237-3151

BC-1

2023-10

WALK-IN SPECIFICATIONS



WALK IN COOLER/COOLER COMBO
OVERALL SIZE: 26'-6" X 40'-0" X 9'-6 1/4" (INDOOR)

PANELS
FOAMED IN PLACE URETHANE FOAM 4"

EXTERIOR FINISH
WALL: GALVALUME - ENROSSSED 26 GA EXCEPT AS NOTED
TOP: GALVALUME - ENROSSSED 26 GA

INTERIOR FINISH
WALL: GALVALUME - ENROSSSED WHITE 26GA.
TOP: GALVALUME - ENROSSSED WHITE 26GA.

FLOOR TYPE
C01 MERCHANDISE COOLER: SCREED, VINYL 4" X 4" HIGH
C02 BEER CAVE: SCREED, VINYL 4" X 4" HIGH

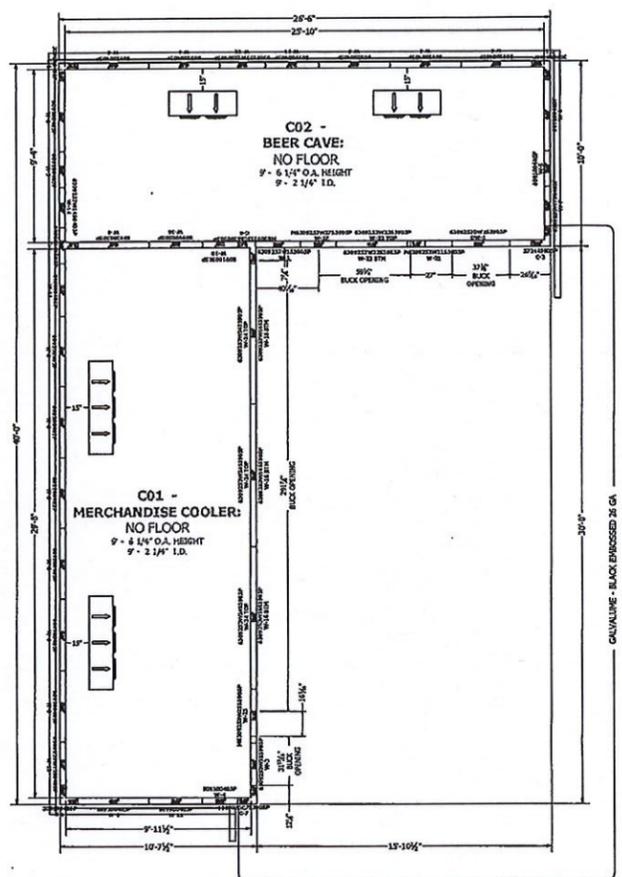
WALK-IN ACCESSORIES
(1) 24" X 72" X 2" FINISHED OPENING @ 0'-4" A.F.F.
(1) 2'-7 1/2" X 8'-2" FINISHED OPENING @ 0'-4" A.F.F.
(1) 3'-3 1/2" X 8'-2" FINISHED OPENING @ 0'-4" A.F.F.
(1) 4'-11 1/4" X 6'-3" FINISHED OPENING @ 0'-4" A.F.F.
(1) LOT, BUCK OPENING RACKING CLIPS
(1) LOT, BUCK OPENING HANGERS
(2) ANGLE BOX MODIFICATION
(5) LIGHT - LED 48IN 120/230V 50/60HZ

REFRIGERATION
KPC26K20P-3EP, R404A, VOLTS: 208-230-60-3
(2) KAM06-161-1EC-PR-4 VOLTS: 115-60-1
KPC16K20P-3EP, R404A, VOLTS: 208-230-60-3
(2) KAM06-094-1EC-PR-4 VOLTS: 115-60-1

AS-BUILT INSTALLATION DRAWING

Print Used AS Worksheet Only, Not a Control Document.
Valid 10 Days Before or 10 Days After Scheduled Production Date

Table with 2 columns: QTY and DESCRIPTION. Lists various components like CORNER, LIGHT, BUCK OPENING TRIM, CEILING, WALL, and TOP HDR with their respective quantities and descriptions.



WALLS LAYOUT

DRAWING #: A22220R
UNIT #: 001
ORDER #: 000023



KOLPAK
A Walk-In Brand

CASH-WA DISTRIBUTING
CO INC

Table with columns for various project details like DATE, TIME, and SHEET #.

ATTENTION

1. SUBMITTAL DRAWING NOT INTENDED FOR INSTALLATION.
AS-BUILT DRAWING FOR INSTALLATION IS AVAILABLE AFTER ORDER IS PLACED. HARD COPY OF AS-BUILT DRAWING WILL BE IN BIDDING FOR THIS WALK-IN SUBJECT TO RECEIVING ALL REQUIRED SERVICES FROM THAT ALPACOS AND TO LABELS ON PLAN VIEWS.
2. ALL WALK-INS ARE DESIGNED FOR SINGLE APPLICATION UNLESS NOTED OTHERWISE.
3. ALL WALK-INS ARE DESIGNED TO BE USED IN A SINGLE APPLICATION UNLESS NOTED OTHERWISE.
4. ALL WALK-INS ARE DESIGNED TO BE USED IN A SINGLE APPLICATION UNLESS NOTED OTHERWISE.
5. ALL WALK-INS ARE DESIGNED TO BE USED IN A SINGLE APPLICATION UNLESS NOTED OTHERWISE.
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7. ALL WALK-INS ARE DESIGNED TO BE USED IN A SINGLE APPLICATION UNLESS NOTED OTHERWISE.
8. ALL WALK-INS ARE DESIGNED TO BE USED IN A SINGLE APPLICATION UNLESS NOTED OTHERWISE.
9. ALL WALK-INS ARE DESIGNED TO BE USED IN A SINGLE APPLICATION UNLESS NOTED OTHERWISE.
10. ALL WALK-INS ARE DESIGNED TO BE USED IN A SINGLE APPLICATION UNLESS NOTED OTHERWISE.

FOR APPROVAL

YOU MUST REVIEW ALL NOTES, DETAILS, CONDITIONS, FINISHES, DOORS SIZES, LOCATIONS AND WEIGHTS

SMOOTH FINISH DISCLAIMER

Panels with non-textured and/or no-profile panel finishes (smooth finishes) on the exterior and interior faces may exhibit "oil canning" and flatness imperfections on the surface. Our standard panels have a stucco embossed texture on both faces that helps to reduce oil canning and any other irregularities in the exposed surface. Please be aware of this potential situation in your specification process. Such "oil canning" and flatness issues are typical and are not covered under standard warranties.

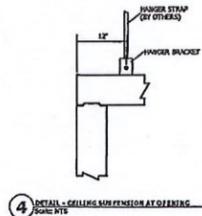
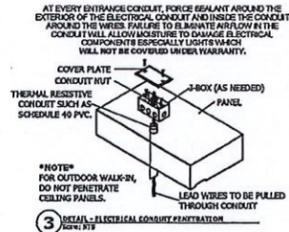
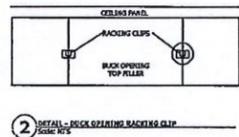
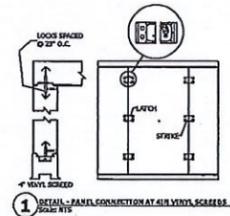
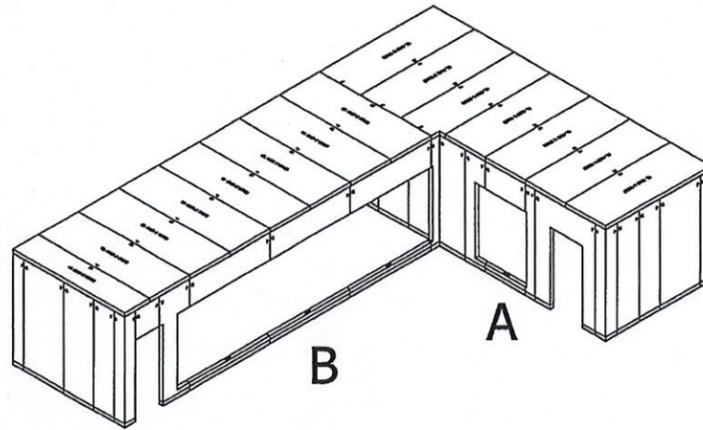
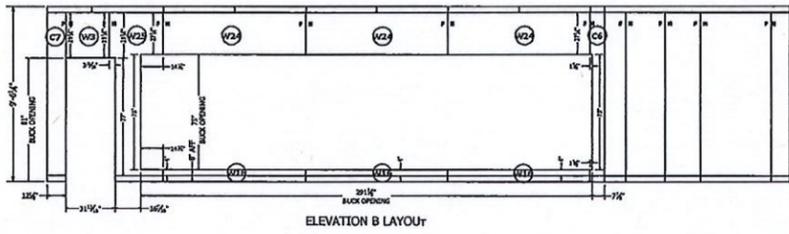
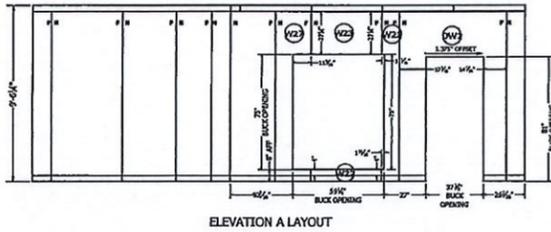


NOTICE:

Kolpak and Harford walk-ins are compliant with UL standards.
• Door panels are UL471, UL file listing E46140.
• Standard Evaporator coils are UL412.
• Condensing Units are UL1995.

BC-2

2023-10



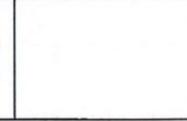
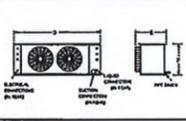
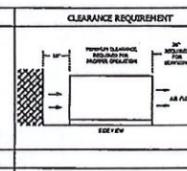
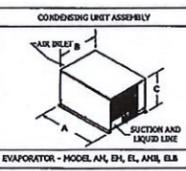
AT EVERY ENTRANCE CONDUIT, FORCE SEALANT AROUND THE EXTERIOR OF THE ELECTRICAL CONDUIT AND INSIDE THE CONDUIT AROUND THE WIRES. FAILURE TO ELIMINATE AIRFLOW IN THE CONDUIT WILL ALLOW MOISTURE TO DAMAGE ELECTRICAL COMPONENTS ESPECIALLY LIGHTS WHICH WILL NOT BE COVERED UNDER WARRANTY.

COVER PLATE CONDUIT INLET
THERMAL RESISTIVE CONDUIT SUCH AS SCHEDULE 40 PVC
1-BOX (AS NEEDED)
PANEL
LEAD WIRES TO BE PULLED THROUGH CONDUIT

NOTE FOR OUTDOOR WALK-IN, DO NOT PENETRATE CEILING PANELS.

COMPARTMENT				CONDENSING UNIT																				
DESCRIPTION	TEMP F	WT	QTY	MODEL #	REFRIGERANT	COMPRESSOR TYPE	DIMENSIONS				COMPRESSOR				CONDENSER FAN MTR		TOTAL	MAX AHP	CONNECTIONS O.D.		RCV CAP			
							L (A)	W (B)	H (C)	LBS	HP	RIA	LRA	V	HZ	Φ	FLA	V	Φ	AMPS	DISC	SUCT	LIQ	① 90% FULL (lbs)
C01	35		1	PC29MZOP-3E	R404A	SCROLL	33	40.125	22.25	216	3	15.2	93	208-230	60	3	2.4	208-230	1	18	35	7/8	3/8	13.7
C02	35		1	PC149MZOP-3E	R404A	SCROLL	33	25.5	19.25	163	1 1/2	9.7	56	208-230	60	3	1.2	208-230	1	11.1	20	7/8	3/8	10.4

COMPARTMENT				UNIT COOLER													
DESCRIPTION	TEMP F	WT	QTY	MODEL #	REFRIGERANT	DIMENSIONS				FAN		HEATER		CONNECTIONS O.D.			
				(DEFROST: A-AIR E-ELECTRIC)		L (D)	W (E)	H (F)	LBS	TOTAL AMPS	V	TOTAL AMPS	V	Φ	SUCT	LIQ	DRAIN
C01	35		2	KAM36-161-1EC-PR-4	R404A	60.125	15.5	16.75	78	2.4	115	0	N/A	0	5/8	3/8	3/4
C02	35		2	KAM26-094-1EC-PR-4	R404A	43.625	15.5	16.75	55	1.6	115	0	N/A	0	5/8	3/8	3/4

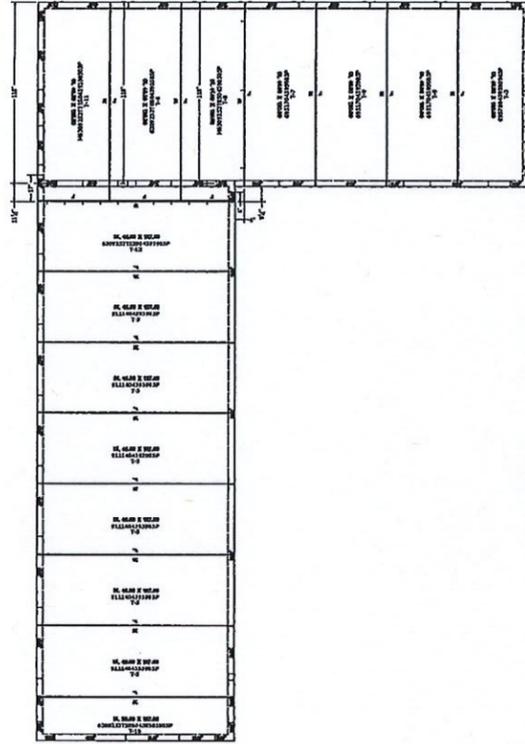


DRAWING #: A232028L
 UNIT #: 001
 ORDER #: 000025
KOLPAK
 A Weibull Brand
 KWIK STOP ST PAUL
 N/A
 SAINT PAUL, NE 68073 USA
CASH-WA DISTRIBUTING
 CO INC
 SHEET #
 AD-3 of 3

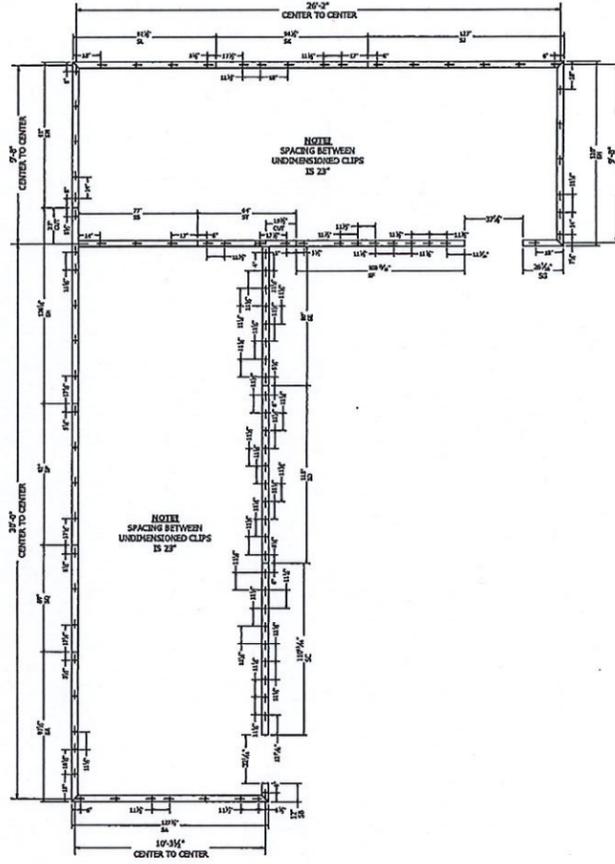
BC-3

2023-10

WALK-IN SPECIFICATIONS



CEILING LAYOUT



SCREEDS LAYOUT

ATTENTION

1. SUBMITTAL DRAWINGS NOT INTENDED FOR INSTALLATION. AD-BUILT DRAWINGS FOR INSTALLATION WILL BE AVAILABLE AFTER ORDER IS PLACED. HAVE COPY OF AD-BUILT DRAWINGS WITH YOU IN HANDMADE FOR WALK-IN MANUFACTURER TO VERIFY. ALL DIMENSIONS SHOWN MUST BE VERIFIED AND TO BE LACED ON PLAN VIEWS.

FOR APPROVAL YOU MUST REVIEW ALL NOTES, DETAILS, DIMENSIONS, FINISHES, DOOR SEALS, LOCATIONS AND FINISHES. APPROVAL IS NOT A GUARANTEE OF PERFORMANCE OR DURABILITY. APPROVAL IS NOT A GUARANTEE OF THE MANUFACTURER'S LIABILITY FOR DEFECTS OR DAMAGE TO THE WALK-IN UNIT OR TO THE WALK-IN MANUFACTURER'S LIABILITY FOR DEFECTS OR DAMAGE TO THE WALK-IN UNIT OR TO THE WALK-IN MANUFACTURER'S LIABILITY FOR DEFECTS OR DAMAGE TO THE WALK-IN UNIT.

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Vertical sidebar containing company information: DRAWING #, UNIT #, ORDER #, KOLPAK logo, CASH-WA DISTRIBUTING CO INC, and address: 10010 WALK STOP ST PAUL, MN 55120.



KATT SURVEYING
1008 S "F" ROAD, AURORA, NE 68818
Ph. 402-886-2229 Cell 402-631 9263
E-mail-kattsurveying@aol.com

2023-10
Survey
A

INVOICE

Date: 7/18/05

Project No. 05-LS-61

For:

Aurora Co-op (Short Stop, St Paul, Nebraska)

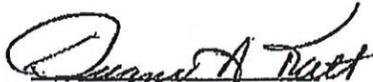
Description of Work:

Survey of Lots 9, 10 & 11, Block 81, Original Town, St. Paul,
Howard County, Nebraska. Survey Showing Improvements

Copies of the survey will be filed with the Howard County Clerks Office and the
State Survey Record Repository in Lincoln, Nebraska as required by State
Statute 81-8,122.01.

Total due this Invoice \$830.00

Thank You


Duane A. Katt



2023-10

KWIK STOP

Convenience Stores

113 West B Street • P.O. Box 1665
North Platte, Nebraska 69103
(308) 532-7480 • Fax (308) 534-8455

2/28/2023

Enclosed is my application for an addition to the building at Kwik Stop #21 in St. Paul. I was first concerned that we would have the room for the 29' addition to the north, but after meeting Matt on site, because of the vacated alley, it appears there will be enough room.

Our plan is to:

1. Build an addition to accommodate a new walk-in cooler
 2. Tear out the old walk-in cooler and replace the deteriorated floor to make more store floor space
 3. The rest of the store, including the restroom, will remain as is, with the exception of re-locating the current office to the south back room
- "Plan A" is the diagram of our existing building and the proposed addition
 - "BC-1, 2 and 3" are different diagrams of the proposed walk-in cooler/beer cave
 - "Survey A" is a copy of the survey completed in 2005

Please do not hesitate to contact me directly at my mobile number, 308-530-4905 and/or my email doneill@kwikstop.org.

If there are any charges due, please let me know and I will give our Store Manager, Marge Svedas, authorization for a paid out to bring to the store.

Sincerely,

KWIK STOP CONVENIENCE STORES

A handwritten signature in blue ink that reads "Dan O'Neill".

Dan O'Neill
President & CEO

Judy
PLEASE
MAIL -
THANKS.