

JH & HS SECURE VESTIBULE & HS LIBRARY FENESTRATION
PUTNAM COUNTY SCHOOL DISTRICT #535
GRANVILLE, ILLINOIS

LARSON & DARBY GROUP

4949 Harrison Avenue, Suite 100
815/484-0739

ARCHITECTURE-ENGINEERING-INTERIORS

Rockford, IL 61108
FAX 815.229.9867

TO: ALL BIDDERS

RE: ADDENDUM #1

Changes to Bidding Documents Dated February 20, 2026

PROJECT: JH & HS SECURE VESTIBULE & HS LIBRARY FENESTRATION
PUTNAM COUNTY SCHOOL DISTRICT #535
GRANVILLE, ILLINOIS

PROJECT NO.: 2025-200

DATE: February 20, 2026

Please attach this Addendum to the Project Manual and Drawings for the referenced project. Take the changes to the Project Manual and Drawings into consideration in preparing your Bid.

Bidders shall make note in writing on Bid Form that this Addendum has been taken into consideration. Failure to do so may be sufficient cause to reject the Bid.

LARSON & DARBY GROUP



By _____
Stephen M. Nelson, AIA LEED AP

This Addendum consists of one page and indicated attachments.

I. ADDITIONS OR CHANGES TO THE PROJECT MANUAL

- A. Revised Document 00 11 16 – INVITATION TO BID is issued herewith.
- B. Revised Document 00 41 13 – BID FORM is issued herewith.

II. ADDITIONS OR CHANGES TO THE DRAWINGS:

The following Drawings have been revised and are reissued herewith:

- The Electrical drawings from JDR (E0.0, E1.1, E1.2) had been revised to include power to the automatic door operators for both the Putnam Co. High School and the Jr. High School. The control switch for both these locations was also added to the drawings.
- The area within existing vestibules will be fully abated prior to start of construction for both the Junior High and the High School. (Sheets edited: A1.0, A1.1, A1.2, A1.3)
- Reissued bid form to provide alternate price for all work associated with flooring installation within existing East vestibule area to match other vestibule.

END OF ADDENDUM #1

DOCUMENT 001116 - INVITATION TO BID

1.1 PROJECT INFORMATION

- A. Notice to Bidders: Qualified bidders are invited to submit bids for Project as described in this Document according to the Instructions to Bidders.
- B. Project Identification: JH & HS SECURE VESTIBULES & HS LIBRARY FENESTRATION.
 - 1. Project Locations:
 - a. Putnam County High School, 402 East Silverspoon, Granville, Illinois 61326.
 - b. Putnam County Junior High School, 13183 N 350th Ave, McNabb, IL 61335.
- C. Owner: Putnam County Community Unit School District #535
- D. Project Description: Project consists of JH & HS SECURE VESTIBULES & HS LIBRARY FENESTRATION.
- E. Construction Contract: Bids will be received for the following Work:
 - 1. Lump Sum Contract (all trades).
- F. Clarifications:
 - 1. **Areas within existing vestibules at JH and HS will be fully abated prior to start of construction of this Project.** ~~Please make sure to include in your bid the demo/removal of the existing floor tile for the work associated with each secure vestibule. The glue is being tested for asbestos, but results will not be back before bids are due. If asbestos is present and abatement needs to occur, it will be done under a separate contract, prior to your secure vestibule work beginning and we will then request a credit back to the owner from you for the demo/removal work that you would have done in lieu of the abatement.~~
 - 2. Media center rooms with CMU infill are to receive 4” black resilient base to match the existing adjacent walls.
 - 3. It is the intent to reuse the current exterior buzz in button and intercom that connects with the main office and the electric strike in the door at both school locations, the actual electric strike mechanism may need to be replaced in order to accommodate the new door and frame system that is to be installed.
 - 4. Just a reminder that bids are due to the district office by 2:30 pm and will be opened promptly and read aloud at the District Office on Tuesday, February 25, 2026. Late submissions will be rejected. Please check with office staff for directions to the room in which bids will be opened.

1.2 BID SUBMITTAL AND OPENING

- A. Owner will receive sealed bids until the bid time and date at the location indicated below. Owner will consider bids prepared in compliance with the Instructions to Bidders issued by Owner, and delivered as follows:
 - 1. Bid Date: February 25, 2026
 - 2. Bid Time: 2:30 p.m., local time.
 - 3. Location: District Office, 400 East Silverspoon, Granville, Illinois 61326
 - 4. Address bid package as follows:
 - Putnam County Community Unit School District #535
 - Attn: Dr. Clay Theisinger
 - “JH & HS SECURE VESTIBULES & HS LIBRARY FENESTRATION”.

- B. Bids will be thereafter publicly opened and read aloud.

1.3 BID SECURITY

- A. Bid security shall be submitted with each bid in the amount of 10 percent of the bid amount. No bids may be withdrawn for a period of 60 days after opening of bids. Owner reserves the right to reject any and all bids and to waive informalities and irregularities.

1.4 PREBID CONFERENCE

- A. No Prebid Conference will be held. If you wish to visit the project sites/facilities, please contact the school district directly and ask for Mr. Tracey Reska, he can coordinate your visit and access to the facilities

1.5 DOCUMENTS

- A. Bid Documents: Bidders may obtain access to PDF copies of the Drawings and Project Manual after 3:00 p.m. on Friday February 6, 2026 by contacting Larson & Darby at 815-484-0739, ask for Jade or DocumentAdmin@larsondarby.com.
- B. Documents will be provided to prime bidders only.
- C. Only complete sets of documents will be issued in digital format.

1.6 TIME OF COMPLETION

- A. Bidders shall begin the Work on receipt of the Notice to Proceed and shall complete the Work within the Contract Time per the project specifications.

1.7 BIDDER'S QUALIFICATIONS

- A. Bidders must be properly licensed under the laws governing their respective trades and be able to obtain insurance and bonds required for the Work. A Performance Bond, a separate Labor and Material Payment Bond, and Insurance in a form acceptable to Owner will be required of the successful Bidder.
 - 1. Bidder shall be in good standing as a vendor for the Putnam County Community Unit School District #535, including a minimum of five solid references for projects of similar scope and size over the past seven years.

END OF DOCUMENT 001116

DOCUMENT 004113 - BID FORM - STIPULATED SUM (SINGLE-PRIME CONTRACT)

1.1 BID INFORMATION

A. Bidder: _____.

1.2 CERTIFICATIONS AND BASE BID

A. Base Bid, Single-Prime (All Trades) Contract: The undersigned Bidder, having carefully examined the Procurement and Contracting Requirements, Conditions of the Contract, Drawings, Specifications, and all subsequent Addenda, as prepared by Larson & Darby Group and Architect's consultants, having visited the site, and being familiar with all conditions and requirements of the Work, hereby agrees to furnish all material, labor, equipment and services, including all scheduled allowances, necessary to complete the construction of the above-named project, according to the requirements of the Procurement and Contracting Documents, for the stipulated sum of:

- 1. Base Bid: = \$ _____
- 2. General Contingency Allowance = \$ 20,000.00
- 3. Total Bid Amount = \$ _____

1.3 BID GUARANTEE

A. The undersigned Bidder agrees to execute a contract for this Work in the above amount and to furnish surety as specified within 10 days after a written Notice of Award, if offered within 60 days after receipt of bids, and on failure to do so agrees to forfeit to Owner the attached cash, cashier's check, certified check, U.S. money order, or bid bond, as liquidated damages for such failure, in the following amount constituting ten percent (10%) of the Base Bid amount above:

1. _____ Dollars (\$_____).

B. In the event Owner does not offer Notice of Award within the time limits stated above, Owner will return to the undersigned the cash, cashier's check, certified check, U.S. money order, or bid bond.

1.4 ALTERNATES

A. State the amount to be added to or deducted from the Base Bid when Work shown or specified under the Alternate Bids is accepted and incorporated into the Contract.

<p><u>Alternate 1 – Flooring Work at East Vestibule</u></p> <p><u>Base Bid: Exclude flooring Work at West Vestibule.</u></p> <p><u>Alternate Bid: Include flooring Work at East Vestibule.</u></p>	<p>Add to the Base Bid the sum of:</p> <p>_____ DOLLARS</p> <p>\$ _____</p>
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1.5 TIME OF COMPLETION

- A. The Undersigned Bidder states that if awarded the Contract it shall commence the Work of the Contract Documents on a date specified in a written Notice to Proceed to be issued by Architect, and achieve Substantial Completion of the Work in accord with the Contract by August 8th, 2026.

1.6 ACKNOWLEDGEMENT OF ADDENDA

- A. The undersigned Bidder acknowledges receipt of and use of the following Addenda in the preparation of this Bid:
1. Addendum No. 1, dated _____.
 2. Addendum No. 2, dated _____.
 3. Addendum No. 3, dated _____.
 4. Addendum No. 4, dated _____.

1.7 CONTRACTOR'S LICENSE

- A. The undersigned further states that it is a duly licensed contractor, for the type of work proposed, in Granville and McNabb, Illinois, and that all fees, permits, etc., pursuant to submitting this proposal have been paid in full.

1.8 SUBMISSION OF BID

- A. Respectfully submitted this ____ day of _____, 2026
- B. Submitted By _____ (Name of bidding firm or corporation).
- C. Authorized Signature: _____ (Handwritten signature).
- D. Signed By: _____ (Type or print name).
- E. Title: _____ (Owner/Partner/President/Vice President).
- F. Witness By: _____ (Handwritten signature).
- G. Attest: _____ (Handwritten signature).
- H. By: _____ (Type or print name).
- I. Title: _____ (Corporate Secretary or Assistant Secretary).
- J. Street Address: _____.
- K. City, State, Zip _____.
- L. Phone: _____.
- M. License No.: _____.
- N. Federal ID No.: _____ (Affix Corporate Seal Here).

1.9 BIDDER'S RESPONSIBILITY INFORMATION

A. Information required to be submitted with bid to facilitate application of Bidder Responsibility Criteria:

1. Date of establishment of current form of business organization:

2. Type of current form of business organization:

3. State of registration of current form of business organization:

4. Name of bidder's project manager, with experience summary:

5. Identification of projects which meet the requirements. Use Attachment 1 as the form on which to provide this information.
6. Enclose with this form independently prepared financial reports for the two consecutive, most recently available years.
7. Case, caption, number and court for any bankruptcy, receivership or similar proceeding involving the bidder other than solely as a claimant:

8. List contracts terminated by Owner for non-performance within the past five years of this project's bid date, and the name, address and telephone number of Owner's representative under all such contracts:

9. List contracts on which a claim against the bidder's bond was made within the past five years of this project's bid date, and the name, address and telephone number of Owner's representative under all such contracts.

10. Enclose with this form a list of references and project names of all projects. The references must include the names of contact person who are or were officials representing the Owner who are familiar with the Bidder's performance.

THIS FORM MUST BE SUBMITTED WITH BID

ATTACHMENT 1 TO BIDDER'S RESPONSIBILITY INFORMATION

Identification of projects which meet the requirements. Fill out one sheet for each project. Duplicate as necessary:

Name of Project _____

Contract price as bid: \$ _____

Final contract price: \$ _____

Contract start date: _____

Contract completion date: _____

Date of Substantial Completion: _____

Date of Final Completion: _____

Identification of change orders which increased contract price or completion date which were due to the material fault of the Bidder.

Identification of any litigation, mediation or arbitration in which the bidder is or was a party, including the case caption, number and court, mediator or arbitrator and reasons for bidder's involvement:

Identification of claims on the Bidder's bond by Owner, subcontractor or others which were due to the material fault of the Bidder.

Identification of mechanic's liens filed against the Owner and reasons for liens:

JH & HS SECURE VESTIBULES & HS LIBRARY FENESTRATION
PUTNAM COUNTY SCHOOL DISTRICT #535
GRANVILLE, ILLINOIS

Addendum 1, 02/20/26`

Name, address and telephone number of Owner's representative:

THIS FORM MUST BE SUBMITTED WITH BID

CERTIFICATE OF COMPLIANCE WITH ILLINOIS DRUG-FREE WORKPLACE ACT (Contractors With 25 or More Employees)

1.1 CERTIFICATE OF COMPLIANCE WITH ILLINOIS DRUG-FREE WORKPLACE ACT

A. _____, having 25 or more employees, does hereby certify pursuant to Section 3 of the *Illinois Drug-Free Workplace Act* (30 ILCS 580/3) that [he, she, it] shall provide a drug-free workplace for all employees engaged in the performance of work under the contract by complying with the requirements of the *Illinois Drug-Free Workplace Act* and, further certifies, that [he, she, it] is not ineligible for award of this contract by reason of debarment for a violation of the *Illinois Drug-Free Workplace Act*.

By Authorized Agent

Date

SUBSCRIBED and SWORN TO before me

This _____ day of _____, 2026.

NOTARY PUBLIC

CERTIFICATE REGARDING SEXUAL HARRASSMENT POLICY

1.1 CERTIFICATE REGARDING SEXUAL HARRASSMENT POLICY

A. _____, [contractor], does hereby certify pursuant to Section 2-105 of the *Illinois Human Rights Act* (775 ILCS 5/2-105) that [he, she, it] has a written sexual harassment policy that includes, at a minimum, the following information: (i.) the illegality of sexual harassment; (ii) the definition of sexual harassment under State law; (iii) a description of sexual harassment, utilizing examples; (iv) an internal complaint process including penalties; (v) the legal recourse, investigative and complaint process available through the Department of Human Rights and Human Rights Commission; (vi) directions on how to contact the Department of Human Rights and Human Rights Commission; and (vii) protection against retaliation.

By Authorized Agent

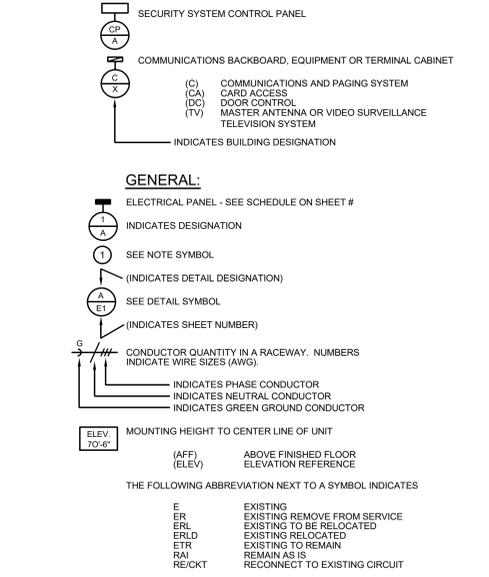
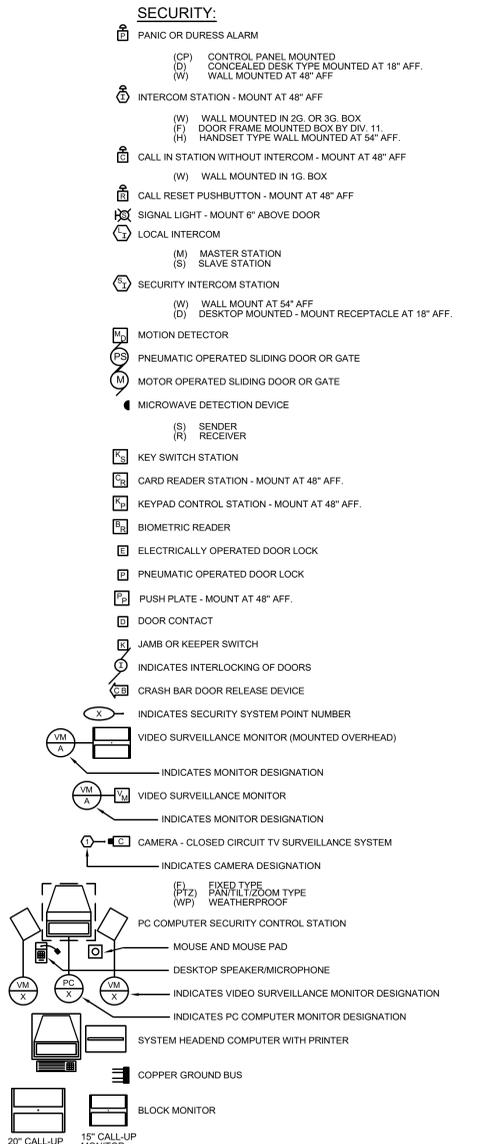
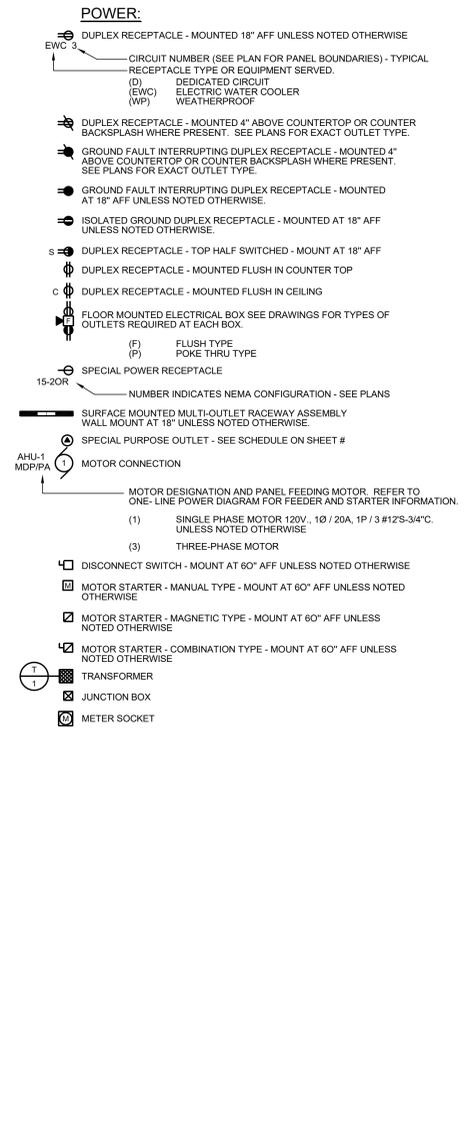
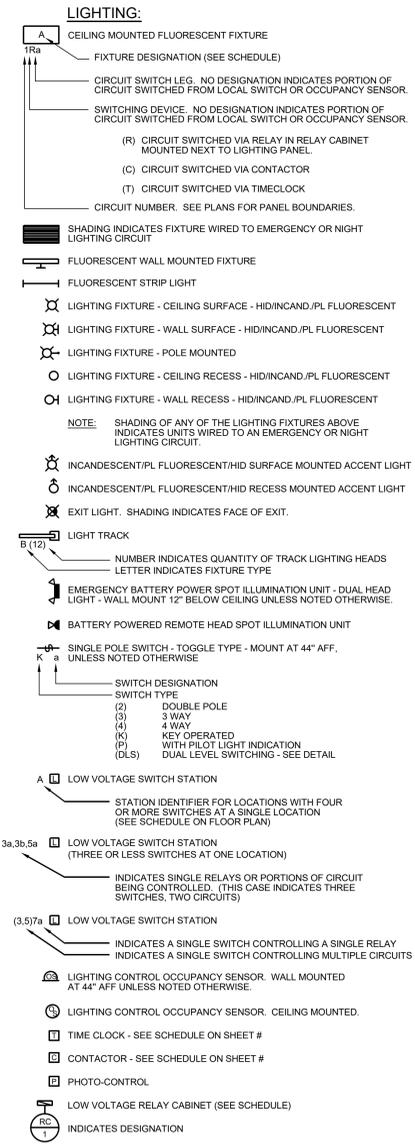
Date

SUBSCRIBED and SWORN TO before me

This _____ day of _____, 2026.

NOTARY PUBLIC

END OF DOCUMENT 00 41 13



ELECTRICAL SHEET INDEX

E0.0	SYMBOLS, ABBREVIATIONS, SCHEDULES - ELECTRICAL
E1.1	PCJH FLOOR PLANS - ELECTRICAL
E1.2	PCHS FLOOR PLANS - ELECTRICAL

ISSUED FOR: 01/19/2026
PROJECT NUMBER: 2025-200
SHEET NUMBER: E0.0

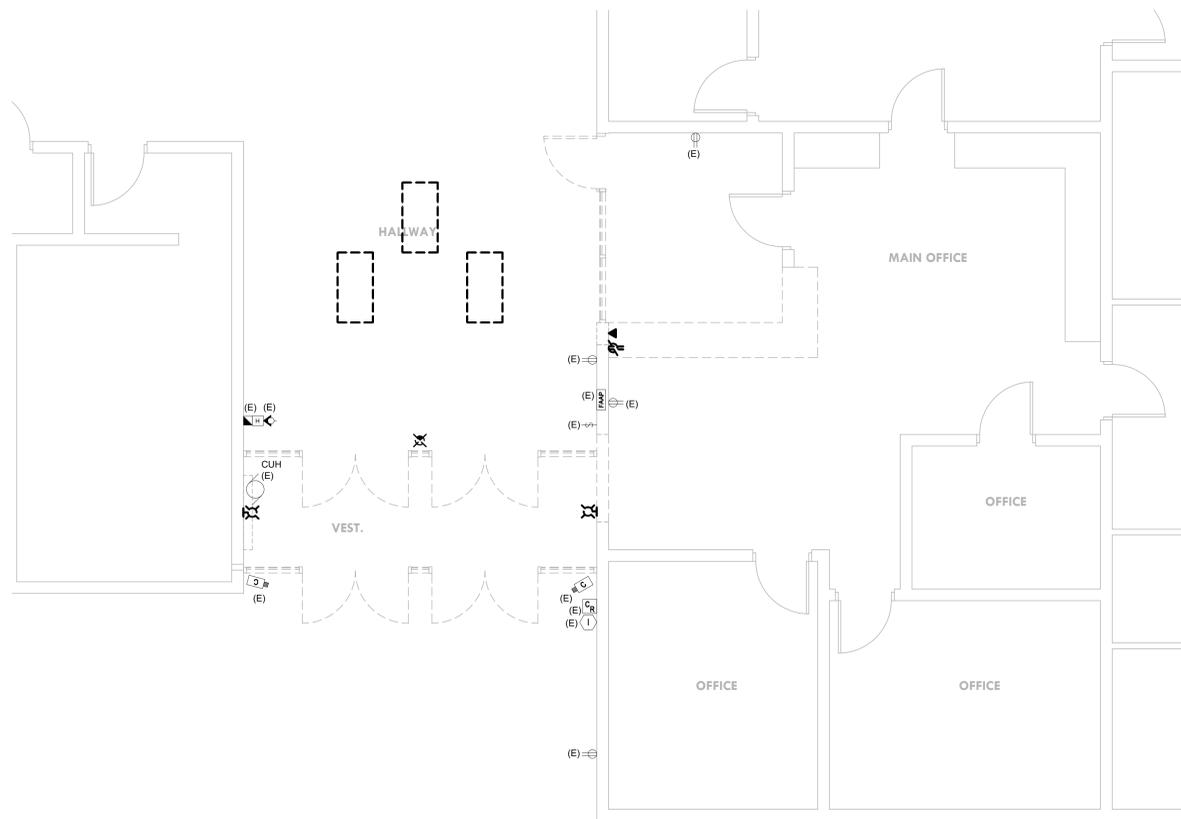
Larson & Darby Group
Architecture Engineering Interiors

DATE: 01/19/2026
PROJECT NUMBER: 2025-200
SHEET NUMBER: E0.0

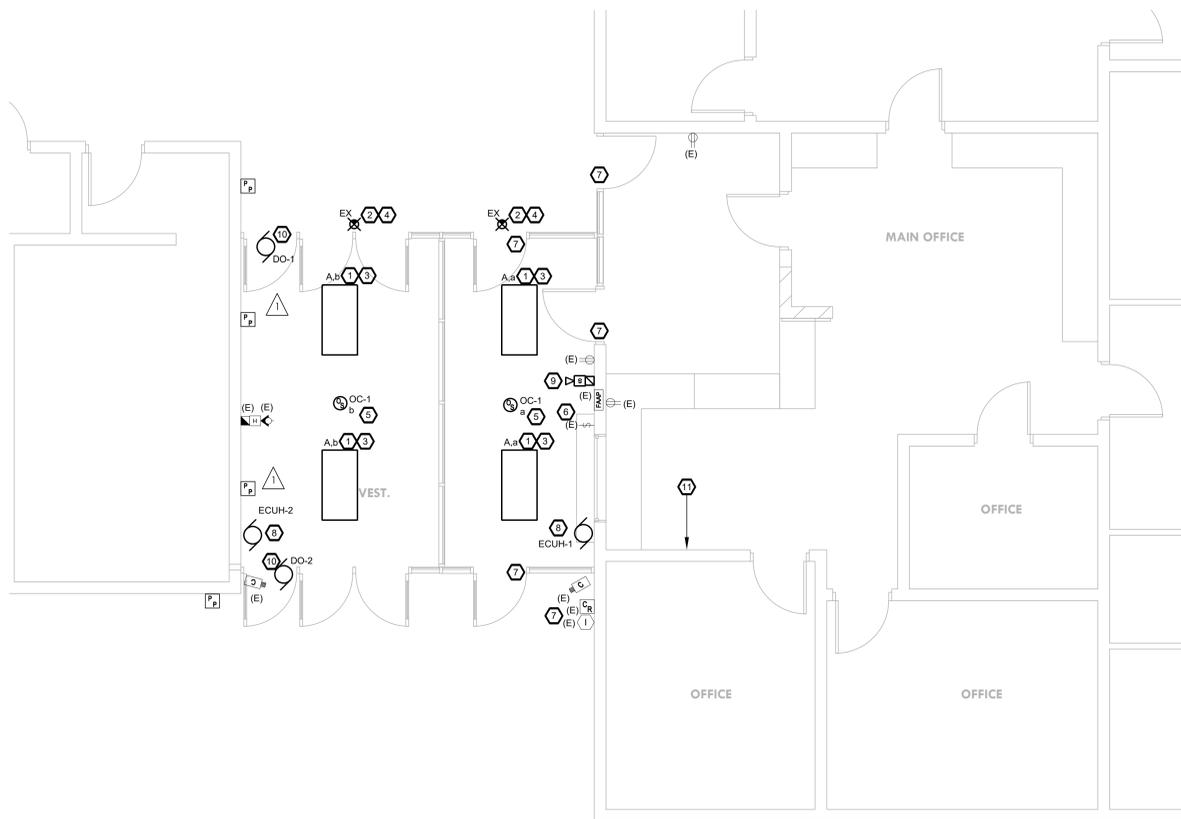
PUTNAM CO. JH & HS SECURE VESTIBULE AND HS LIBRARY FENESTRATION
PUTNAM COUNTY CUSD 535
JH SCHOOL, MCNABB, IL / HIGH SCHOOL, GRANVILLE, IL

JDR
ENGINEERING, INC.
5525 NOBEL DRIVE
SUITE 110
MADISON, WI 53711
PH: 608.277.1728 FAX: 608.271.7046
JDR PROJECT NO. 260005

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All drawn and written information appearing herein shall not be duplicated, disclosed, or otherwise used without the written consent of Larson & Darby Group



1 HS 1ST FLOOR - ENLARGED DEMO PLAN
SCALE: 1/8"=1'-0"



2 HS 1ST FLOOR - ENLARGED DEMO PLAN
SCALE: 1/8"=1'-0"



GENERAL NOTES:

- REFER TO SHEET E0.0 FOR ALL SYMBOLS, ABBREVIATIONS, AND DETAILS.
- REFER TO TEMPORARY ELECTRICAL WORK SECTION IN DIVISION 1 GENERAL REQUIREMENTS OF PROJECT MANUAL FOR ALL TEMPORARY ELECTRICAL REQUIREMENTS.
- ALL DARK AND DARK DASHED LINES APPROXIMATELY INDICATE EXISTING DEVICES TO BE DISCONNECTED AND REMOVED, UNLESS INDICATED OTHERWISE. REMOVE ANY/ALL UNUSED BOXES, WIRING AND CONDUIT BACK TO SOURCE. ALL PROPERLY SIZED AND PROPERLY SUPPORTED CONDUIT ONLY MAY BE REUSED.
- MAINTAIN FIRE ALARM SYSTEM THROUGHOUT CONSTRUCTION AND PROVIDE FIRE WATCH, ETC. AS REQUIRED BY LOCAL AHJ. ANY/ALL CEILING MOUNTED DEVICES SHALL BE TEMPORARILY SUPPORTED AND PROTECTED, INCLUDING BAGGING SMOKE DETECTORS (AS NECESSARY AND AS PERMITTED), DURING CONSTRUCTION AND SHALL BE REINSTALLED AT APPROXIMATE ORIGINAL LOCATION(S). SYSTEM SHALL BE ACTIVE AND MONITORED THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD.
- ALL ELECTRICAL CONDUCTORS AND CONDUITS SERVING REMOVED EQUIPMENT AND DEVICES SHALL BE COMPLETELY REMOVED. CONDUIT AND CONDUCTORS SHALL NOT BE ABANDONED IN PLACE. EXISTING CONDUITS AND PATHWAYS MAY BE REUSED. FOR NEW WORK, EXISTING CONDUCTORS MAY NOT BE REUSED, UNLESS SPECIFICALLY NOTED.

GENERAL NOTES:

- REFER TO SHEET E0.0 FOR ALL SYMBOLS, ABBREVIATIONS, AND DETAILS.
- EXISTING SECURITY INTERCOM SYSTEM TO REMAIN. MODIFY AND EXTEND EXISTING SECURITY INTERCOM SYSTEM AS REQUIRED TO ACCOMMODATE THE ARCHITECTURAL MODIFICATIONS TO THE BUILDING.
- EXISTING ACCESS CONTROL SYSTEM TO REMAIN. MODIFY AND EXTEND EXISTING ACCESS CONTROL SYSTEM AS REQUIRED TO ACCOMMODATE THE ARCHITECTURAL MODIFICATIONS TO THE BUILDING.

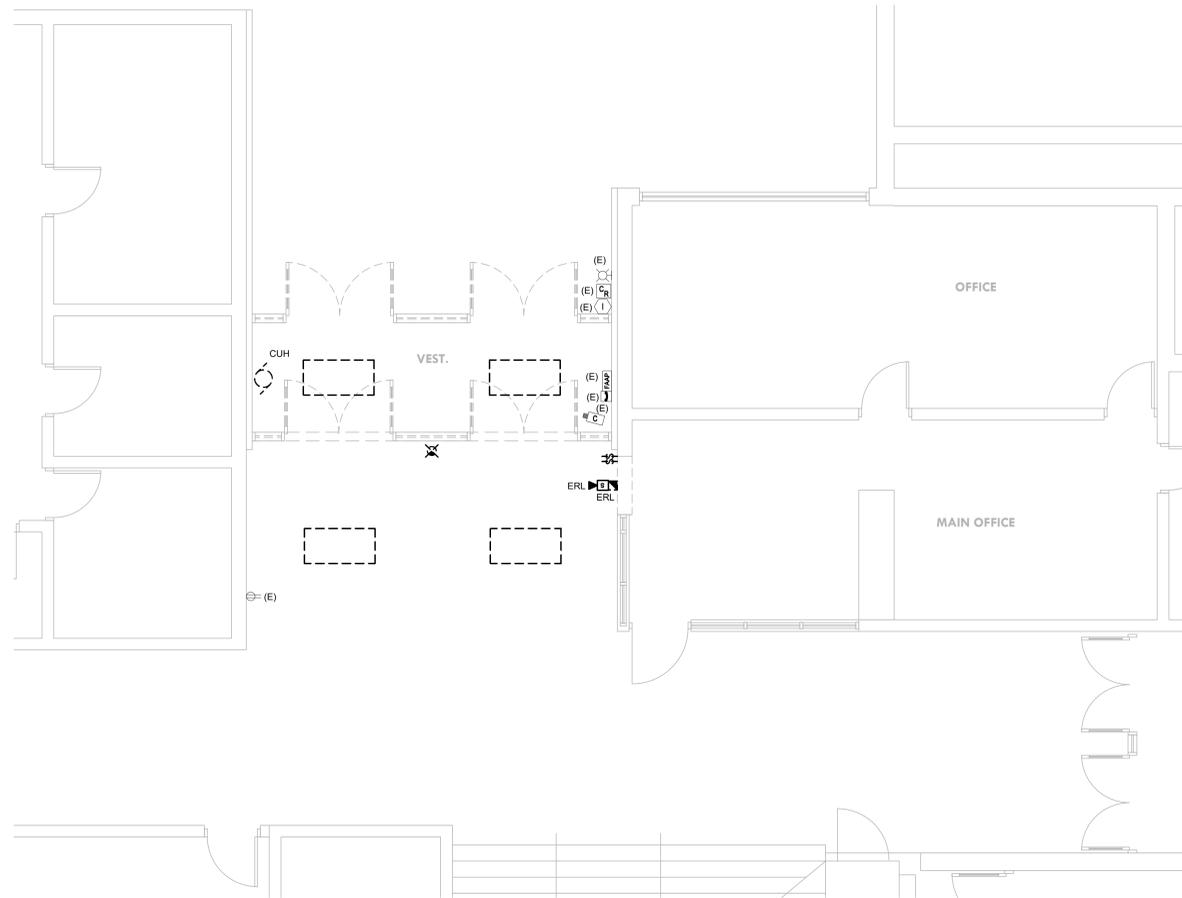
KEYED NOTES:

- LIGHT FIXTURE TYPE "A" SHALL BE - LITHONIA LIGHTING: 2BLT4-48L-ADSM-MVOLT-GZ1-LP8XX.
- LIGHT FIXTURE TYPE "EX" SHALL BE- LITHONIA LIGHTING: LQM-S-W-RG-MVOLT-EL.
- NEW LIGHT FIXTURE IN THIS AREA SHALL BE FED FROM EXISTING CIRCUIT.
- PROVIDE EMERGENCY LIGHTING CIRCUITS/BATTERIES AS REQUIRED.
- CEILING SENSOR OC-1 SHALL BE - nLIGHT: nCM PDT-P-RUB.
- PROVIDE AND/OR REWORK SWITCHING AS REQUIRED.
- PROVIDE AND/OR REWORK ACCESS CONTROL SYSTEM AND SECURITY INTERCOM SYSTEM AS REQUIRED.
- PROVIDE CONNECTION TO NEW CABINET UNIT HEATER. FEED FROM LOCAL ELECTRICAL PANEL(S) AS REQUIRED.
- EXTEND NEW DEVICE TO EXISTING FIRE ALARM SYSTEM AS REQUIRED.
- PROVIDE CONNECTION TO NEW DOOR OPERATOR MOTOR. FEED FROM LOCAL ELECTRICAL PANEL(S) AS REQUIRED.
- PROVIDE DOOR OPERATOR RELEASE BUTTON AT THIS LOCATION.

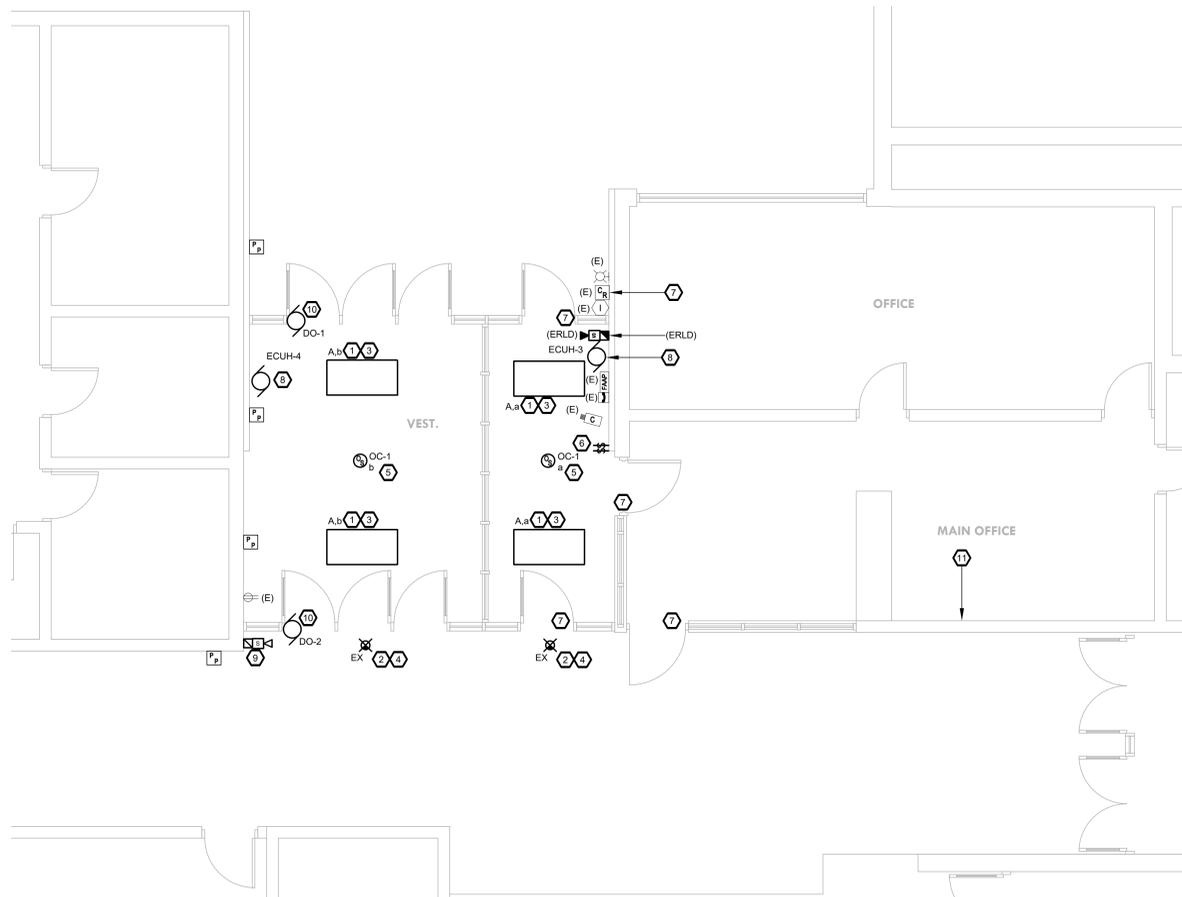
JDR
ENGINEERING, INC.
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PH: 608.277.1728 FAX: 608.271.7046
JDR PROJECT NO. 26.0005

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DATE:	01/19/2026
PROJECT NUMBER:	2025-200
SHEET NUMBER:	E1.2
ISSUED FOR:	
ISSUED FOR REVISION:	
DATE:	



1 JR. HIGH 1ST FLOOR - MAIN ENTRY ENLARGED DEMO PLAN
SCALE: 1/4"=1'-0"



2 JR. HIGH 1ST FLOOR - MAIN ENTRY ENLARGED NEW PLAN
SCALE: 1/4"=1'-0"



GENERAL NOTES:

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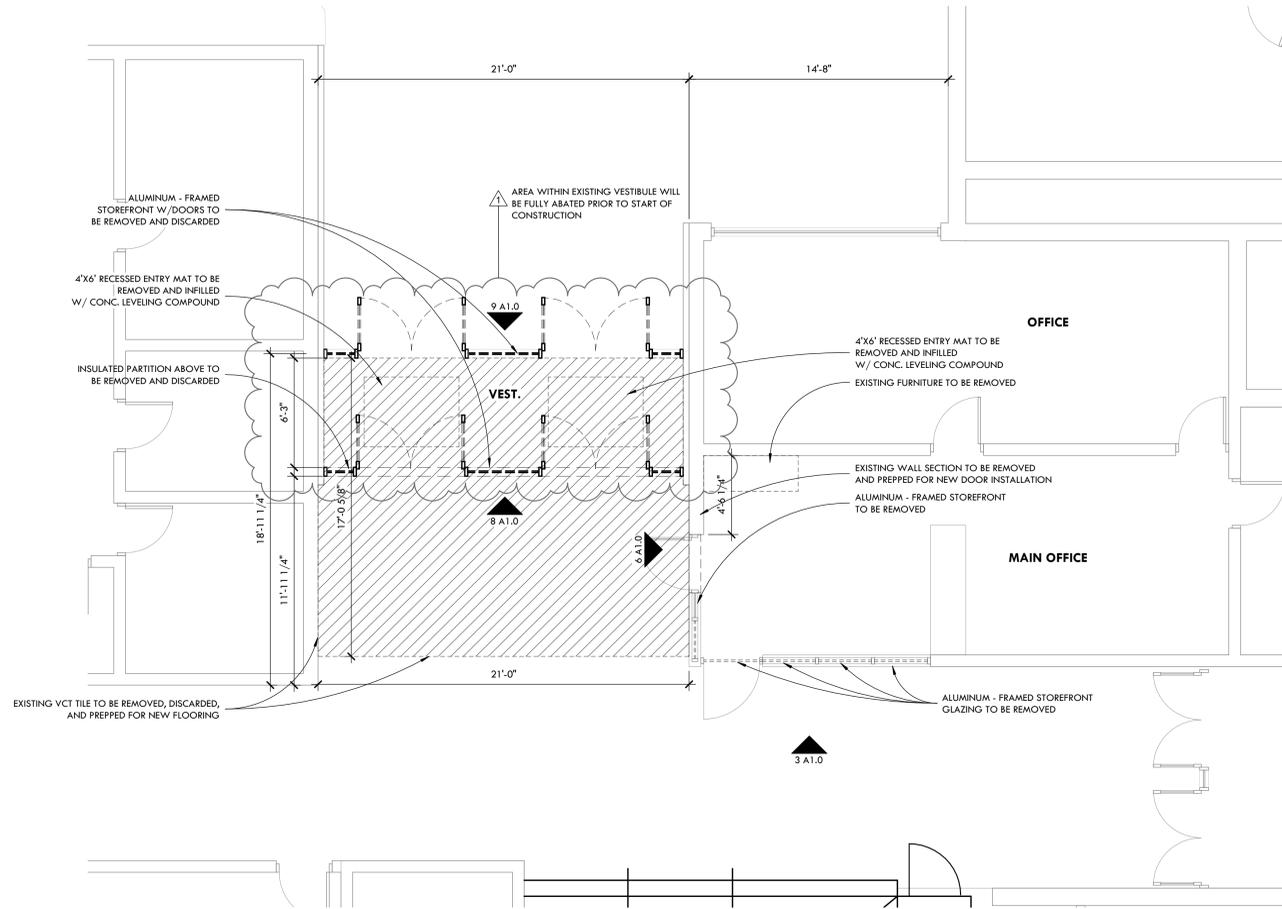
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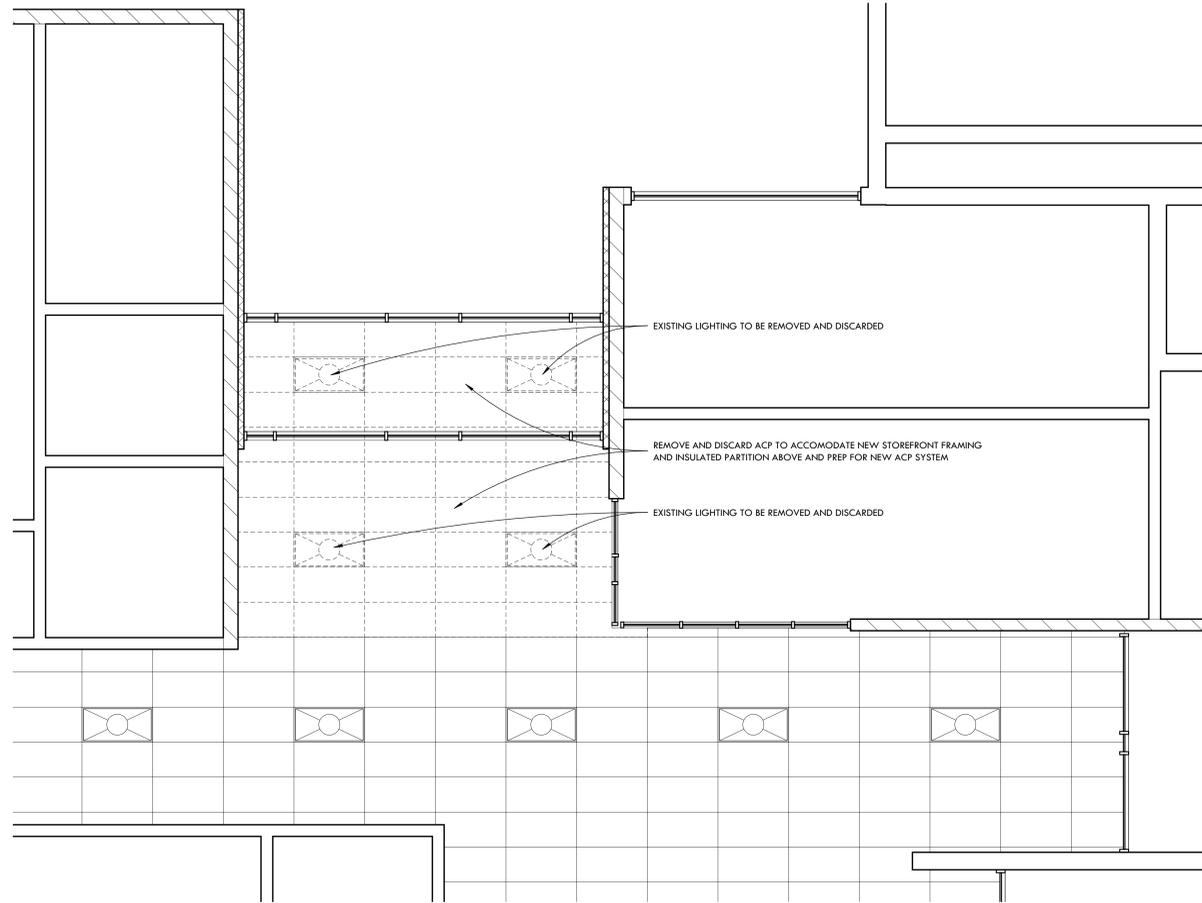
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- PROVIDE EMERGENCY LIGHTING CIRCUITS/BATTERIES AS REQUIRED.
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- PROVIDE AND/OR REWORK SWITCHING AS REQUIRED.
- PROVIDE AND/OR REWORK ACCESS CONTROL SYSTEM AND SECURITY INTERCOM SYSTEM AS REQUIRED.
- PROVIDE CONNECTION TO NEW CABINET UNIT HEATER. FEED FROM LOCAL ELECTRICAL PANEL(S) AS REQUIRED.
- EXTEND NEW DEVICE TO EXISTING FIRE ALARM SYSTEM AS REQUIRED.
- PROVIDE CONNECTION TO NEW DOOR OPERATOR MOTOR. FEED FROM LOCAL ELECTRICAL PANEL(S) AS REQUIRED.
- PROVIDE DOOR OPERATOR RELEASE BUTTON AT THIS LOCATION.

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JDR PROJECT NO. 26.0005

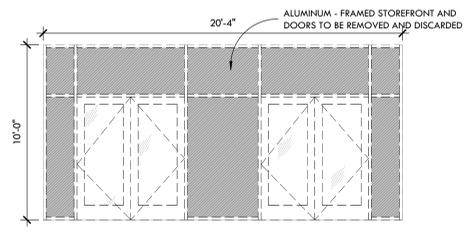
DATE:	01/19/2026
PROJECT NUMBER:	2025-200
SHEET NUMBER:	E.1.1
ISSUED FOR:	
ISSUED FOR REVISION:	02/06/2026
DATE:	



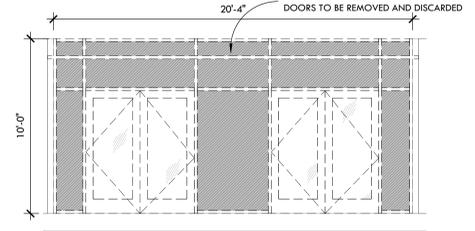
5 JR. HIGH 1ST FLOOR - MAIN ENTRY ENLARGED DEMO PLAN
SCALE: 1/4" = 1'-0"



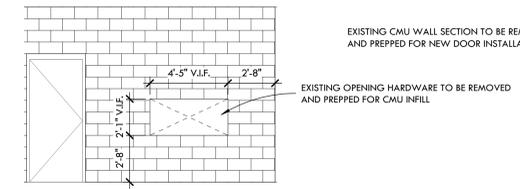
2 JR. HIGH LEVEL 1 - MAIN ENTRY RCP DEMO
SCALE: 1/4" = 1'-0"



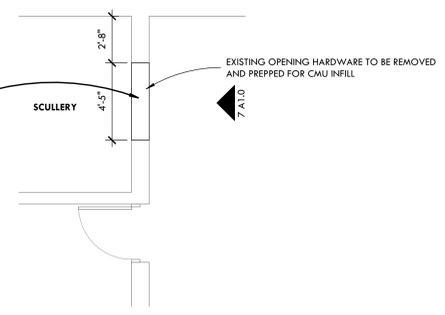
9 EXTERIOR MAIN ENTRY DOOR ELEVATION DEMO
SCALE: 1/4" = 1'-0"



8 INTERIOR MAIN ENTRY DOOR ELEVATION DEMO
SCALE: 1/4" = 1'-0"

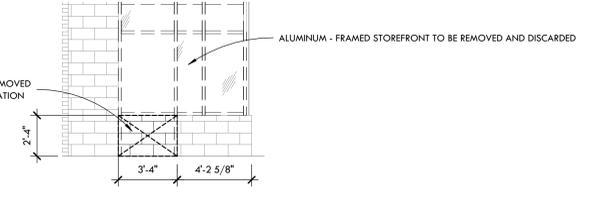


7 GYM OPENING INFILL DEMO ELEVATION
SCALE: 1/4" = 1'-0"

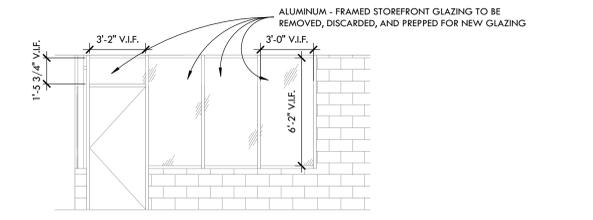


4 1ST FLOOR - GYM ENLARGED PLAN DEMO PLAN
SCALE: 1/4" = 1'-0"

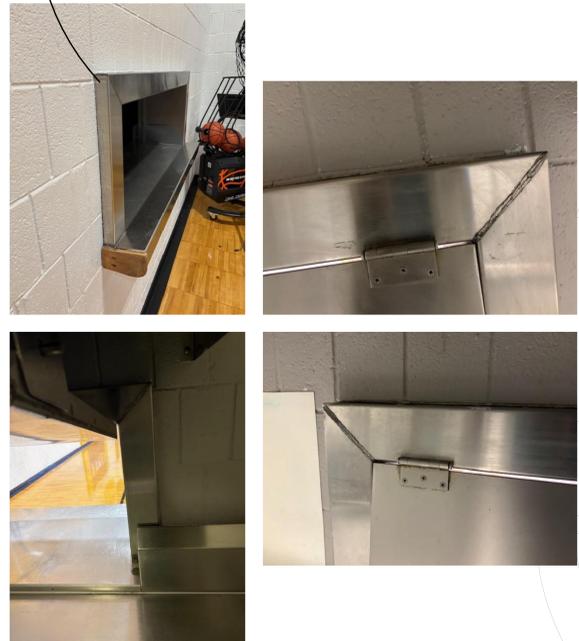
- GENERAL NOTES - DEMOLITION**
- BEFORE BEGINNING WORK AT THE SITE AND THROUGHOUT THE COURSE OF WORK, INSPECT AND VERIFY THE LOCATION AND CONDITION OF EVERY ITEM AFFECTED BY THE WORK UNDER THIS CONTRACT AND REPORT DISCREPANCIES TO THE ARCHITECT BEFORE BEGINNING WORK RELATED TO THAT BEING INSPECTED.
 - BEFORE BEGINNING WORK AT THE SITE, INSPECT THE EXISTING BUILDING AND DETERMINE THE EXTENT OF EXISTING FINISHES, SPECIALTIES, EQUIPMENT, AND OTHER ITEMS WHICH MUST BE REMOVED AND REINSTALLED IN ORDER TO PERFORM THE WORK UNDER THIS CONTRACT.
 - THE ARCHITECTURAL DRAWINGS SHOW PRINCIPLE AREAS WHERE WORK MUST BE ACCOMPLISHED UNDER THIS CONTRACT. INCIDENTAL WORK MAY ALSO BE NECESSARY IN AREAS NOT SHOWN ON THE ARCHITECTURAL DRAWINGS DUE TO CHANGES AFFECTING EXISTING MECHANICAL, ELECTRICAL, PLUMBING, AND OTHER SYSTEMS. SUCH INCIDENTAL WORK IS ALSO PART OF THIS CONTRACT. INSPECT THOSE AREAS AND ASCERTAIN WORK NEEDED AND DO THAT WORK IN ACCORDANCE WITH THE CONTRACT REQUIREMENTS AT NO ADDITIONAL COST.
 - PROTECT EXISTING FINISHES TO REMAIN FROM DAMAGE.
 - REPAIR, PATCH, OR REFINISH AS APPLICABLE TO MATCH ADJACENT EXISTING FINISHES, THOSE FINISHES DAMAGED OR NEWLY EXPOSED DURING PERFORMANCE OF THE WORK UNDER THIS CONTRACT.
 - WHERE MATCH EXISTING IS INDICATED, NEW CONSTRUCTION OR FINISHES, SHALL MATCH THE EXISTING IN EVERY PARTICULAR.
 - WHERE PERMANENT REMOVAL OF EXISTING CASEWORK, DOORS AND FRAMES, EQUIPMENT, OR FURNISHINGS IS REQUIRED AND PREVIOUSLY CONCEALED SURFACES ARE TO REMAIN EXPOSED, PATCH PREVIOUSLY CONCEALED SURFACES TO MATCH ADJACENT EXPOSED SURFACES. WHERE SUCH SURFACES ARE SCHEDULED TO RECEIVE NEW FINISHES, PREPARE THE SURFACES TO RECEIVE THE NEW FINISHES.
 - WHERE CUTTING OF EXISTING SURFACES OR REMOVAL OF EXISTING SURFACES IS REQUIRED TO PERFORM THE WORK UNDER THIS CONTRACT, AND NEW FINISH IS NOT INDICATED, FILL RESULTING OPENINGS AND PATCH THE SURFACE AFTER DOING THE WORK AND FINISH TO MATCH ADJACENT EXISTING SURFACES.
 - REFER TO NEW WORK PLANS TO COORDINATE EXTENT OF DEMOLITION REQUIRED.
 - REFER TO MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION DRAWINGS FOR ADDITIONAL DEMOLITION REQUIRED. CONTRACTOR TO NOTIFY ARCHITECT IMMEDIATELY UPON DISCOVERY OF CONFLICT OR DISCREPANCY WITH ITEMS INDICATED TO BE REMOVED.
 - WHERE NOT SPECIFICALLY NOTED, CONTRACTOR SHALL MODIFY EXISTING FLOORING AND CEILING CONSTRUCTION TO REMAIN AS REQUIRED TO ABUT NEW CONSTRUCTION AND MATCH ADJACENT EXISTING CONDITIONS.
 - COORDINATE SLAB REMOVAL AND REPLACEMENT WITH PLUMBING AND ELECTRICAL UNDERGROUND AND IN-SLAB WORK.
 - WHERE AN ITEM IS SHOWN TO BE REMOVED OR DEMOED ALL MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS SHALL BE REMOVED WITH IT UNLESS PIPING SHALL BE REMOVED TO WITHIN NEAREST WALL TO REMAIN AND CAPPED. ELECTRICAL WIRING AND CONDUIT SHALL BE REMOVED BACK TO NEAREST JUNCTION BOX TO REMAIN. DUCTS AND TERMINALS SHOULD BE REMOVED AS FAR AS NECESSARY FOR NEW DISTRIBUTION SYSTEM OR COMPONENTS TO TIE INTO, OR CAP WITHIN CONCEALED SPACE.



6 MAIN OFFICE CURTAIN WALL DEMO ELEVATION - WEST
SCALE: 1/4" = 1'-0"



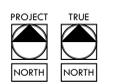
3 MAIN OFFICE CURTAIN WALL DEMO ELEVATION - SOUTH
SCALE: 1/4" = 1'-0"



10 EXISTING SCULLERY WINDOW
SCALE: 6" = 1'-0"



1 KEY PLAN - DEMO
SCALE: 1/32" = 1'-0"



PCJH DEMOLITION PLAN

Larson & Darby Group
 Architecture Engineering Interiors

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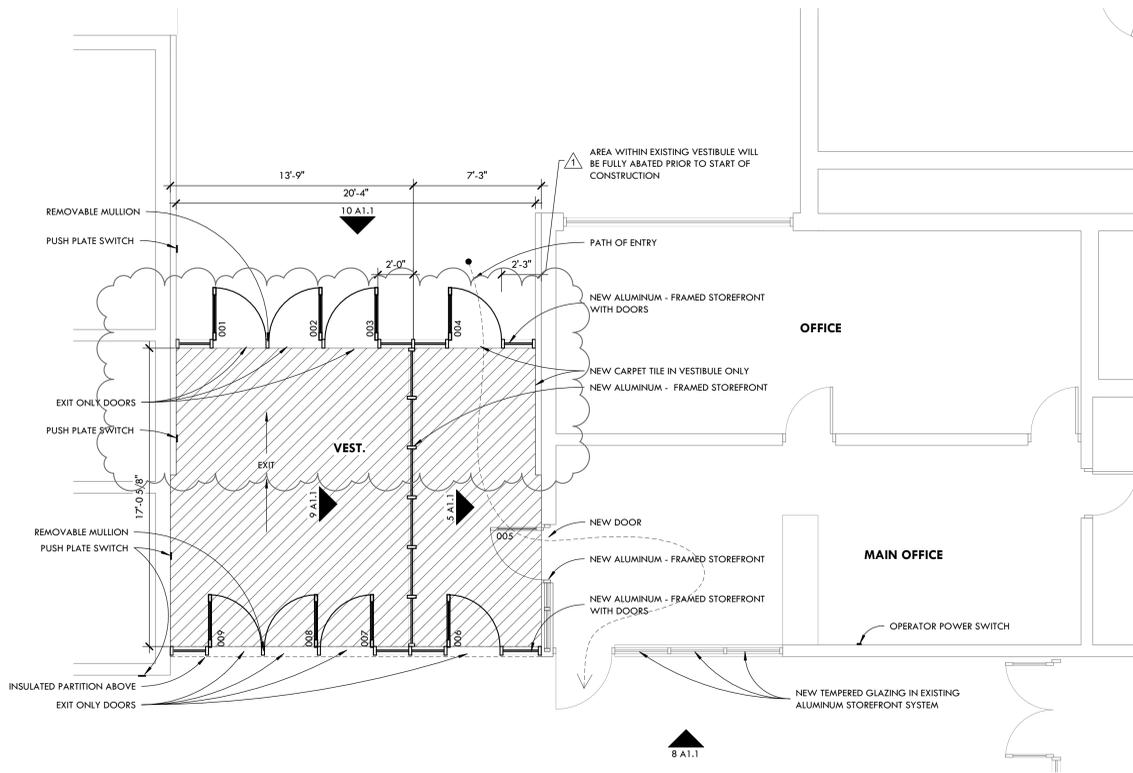
ISSUED FOR:	DATE
1 Revision 1	
ISSUED FOR REVISION:	
02.06.2026	

DATE:	02.06.2026
PROJECT NUMBER:	2025-200
SHEET NUMBER:	A1.0

GLAZING

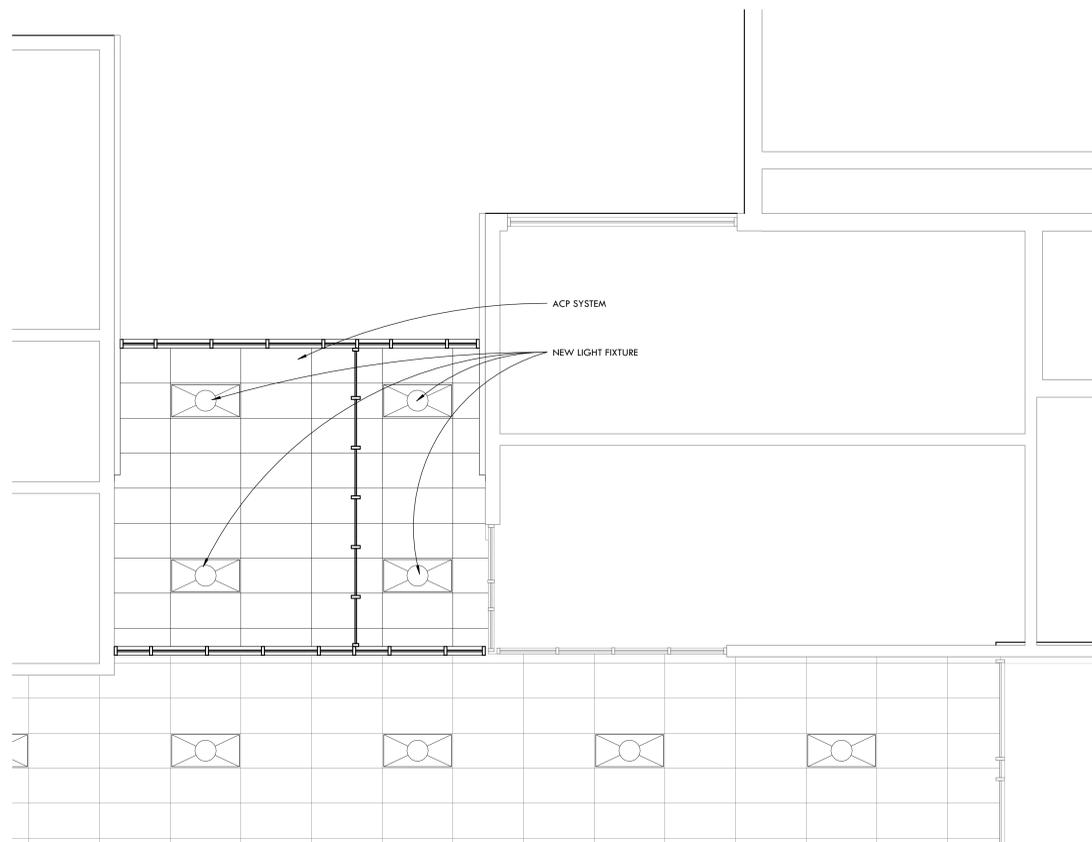
GL-1 CLEAR TEMPERED LOW E INSULATING GLASS
 GL-2 1/4" CLEAR TEMPERED GLASS

CODE	MATERIAL	MANUFACTURER	PRODUCT NO.	DESCRIPTION	REMARKS
-WO1	- WALK OFF CARPET TILE	- PATCRAFT	- PRADO MADILAR 10317	COLOR: OBSIDIAN 00595	- 24"x24", MONOLITHIC INSTALLATION
-CPT1	- CARPET TILE	- PATCRAFT	- FORMWORK 10518	COLOR: MORTAR 00700	- 24"x24", BRICK INSTALLATION; LINEAR PATTERN TO RUN EAST WEST
				COLOR:	

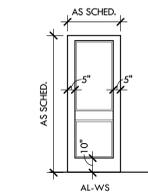


7 JR HIGH 1ST FLOOR - MAIN ENTRY ENLARGED PLAN
 SCALE: 1/4" = 1'-0"

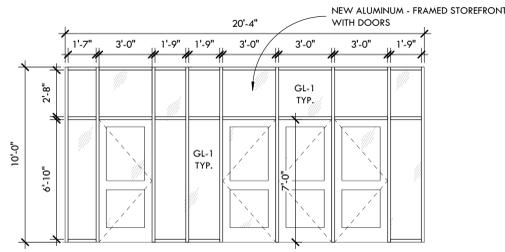
FLOORING



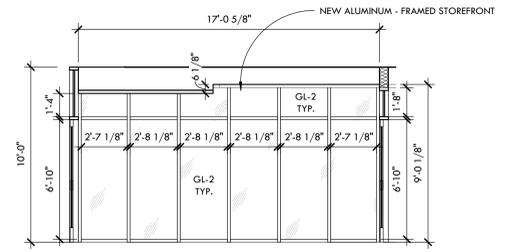
3 JR HIGH LEVEL 1 - MAIN ENTRY RCP
 SCALE: 1/4" = 1'-0"



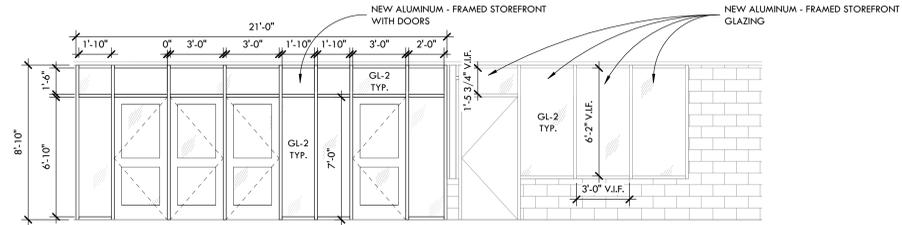
11 DOOR TYPES
 SCALE: 1/4" = 1'-0"



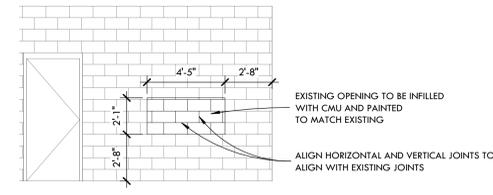
10 EXTERIOR MAIN ENTRY FRAME ELEVATION
 SCALE: 1/4" = 1'-0"



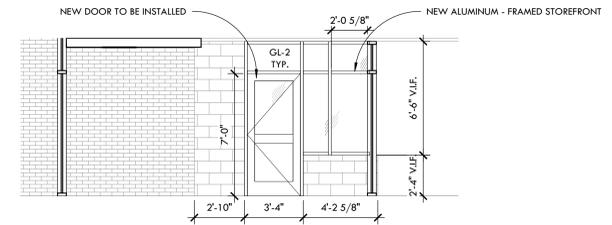
9 INTERIOR VESTIBULE FRAME ELEVATION
 SCALE: 1/4" = 1'-0"



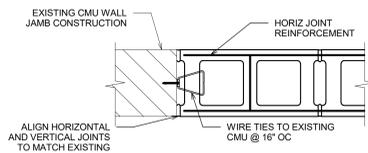
8 INTERIOR OFFICE AND FRONT ENTRY FRAME ELEVATION
 SCALE: 1/4" = 1'-0"



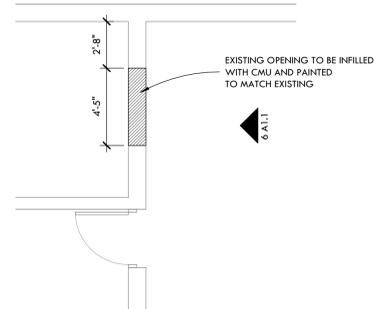
6 GYM OPENING INFILL ELEVATION
 SCALE: 1/4" = 1'-0"



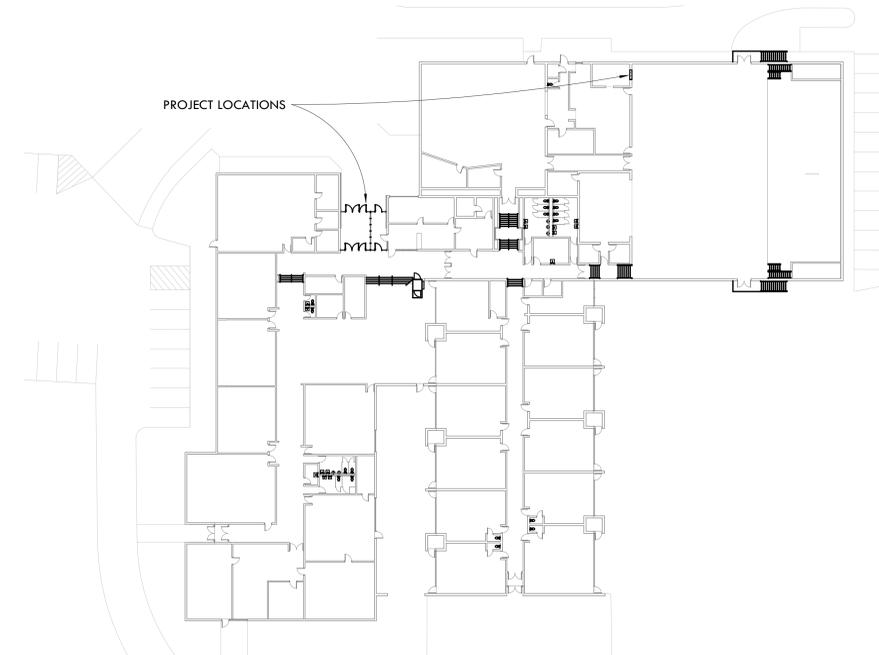
5 MAIN OFFICE ELEVATION
 SCALE: 1/4" = 1'-0"



4 CMU INFILL DETAIL
 SCALE: 1 1/2" = 1'-0"



2 1ST FLOOR - GYM ENLARGED PLAN
 SCALE: 1/4" = 1'-0"



1 KEY PLAN
 SCALE: 1/32" = 1'-0"



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1 Revision 1	
ISSUED FOR REVISION:	02/20/2026

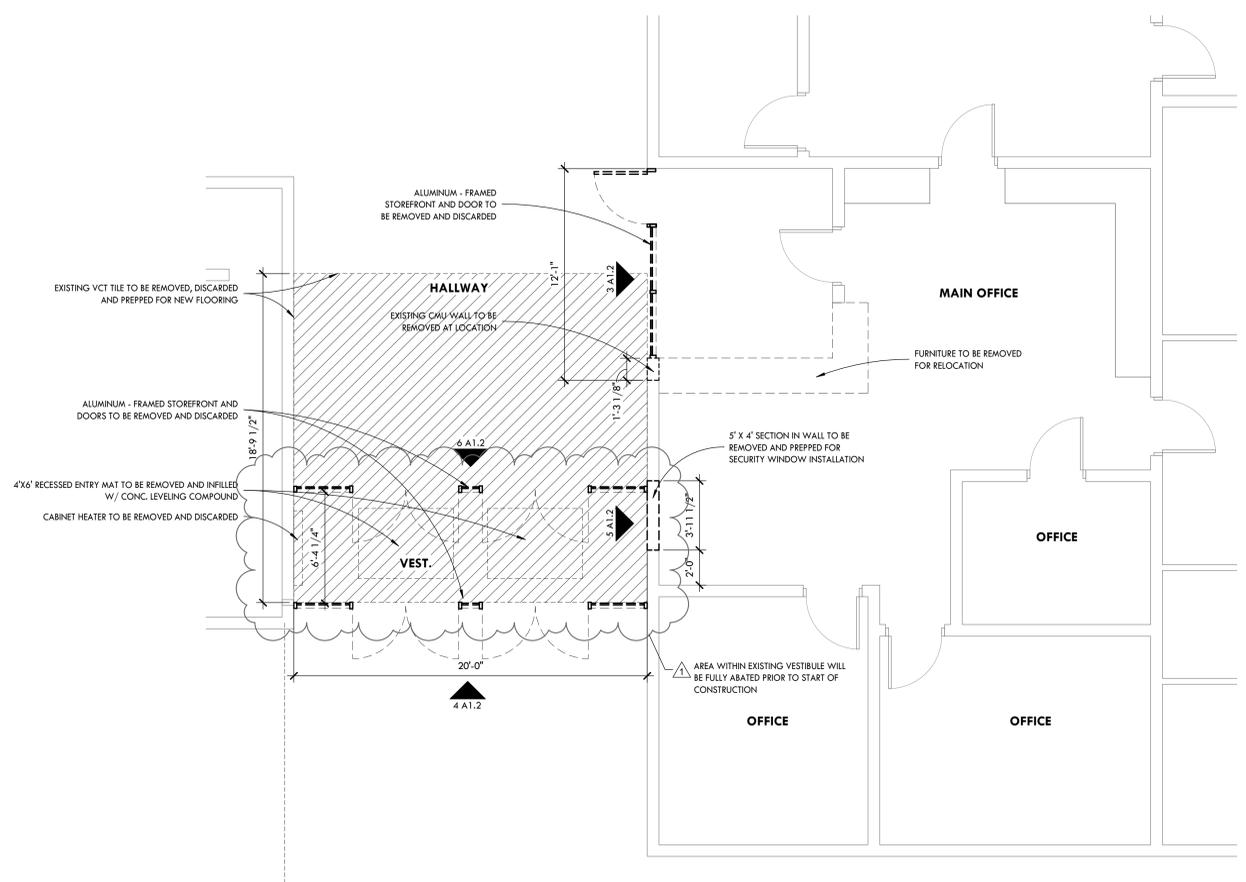
DATE: 02.06.2026	PROJECT NUMBER: 2025-200	SHEET NUMBER: A1.1
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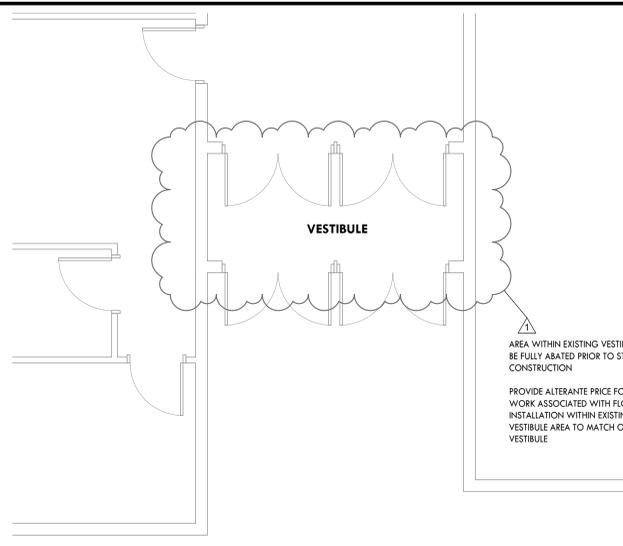
ISSUED FOR:	DATE
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ISSUED FOR REVISION:	
02.06.2026	
PROJECT NUMBER	
2025-200	
SHEET NUMBER	
A1.2	

GENERAL NOTES: FOR DEMOLITION

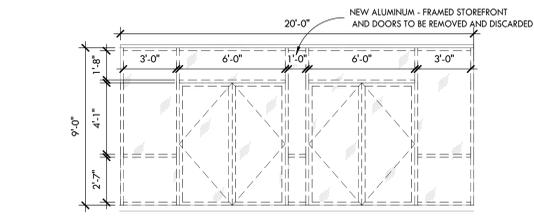
- ITEMS REMOVED AND TURNED OVER TO OWNER SHALL BE TRANSPORTED TO A ROOM OR AREA ONSITE DESIGNATED BY THE OWNER.
- WHERE ITEMS ARE REMOVED, THE SUBSTRATE SHALL BE REPAIRED, PATCHED, CLEANED, ETC. TO A CONDITION SUITABLE TO RECEIVE NEW WORK AND OR FINISHES.
- ITEMS TO BE DISPOSED, SHALL BE REMOVED FROM THE SITE ON A TIMELY BASIS.
- PRIOR TO START OF DEMOLITION, DEMOLITION CONTRACTOR TO REVIEW EXTENT OF DEMOLITION WITH GENERAL CONTRACTOR / OWNER FOR POSSIBLE CHANGES TO SCOPE OF SALVAGE / RE-USE.



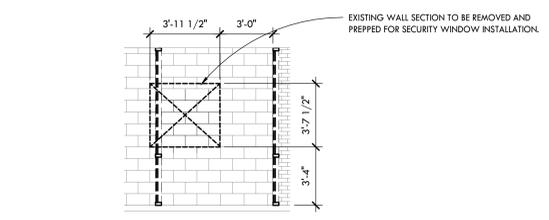
7 HS 1ST FLOOR - ENLARGED DEMO PLAN
SCALE: 1/4" = 1'-0"



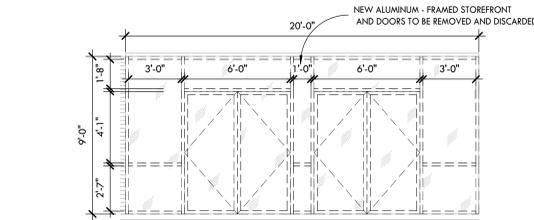
8 DEMOLITION FLOOR PLAN - EAST VESTIBULE
SCALE: 1/4" = 1'-0"



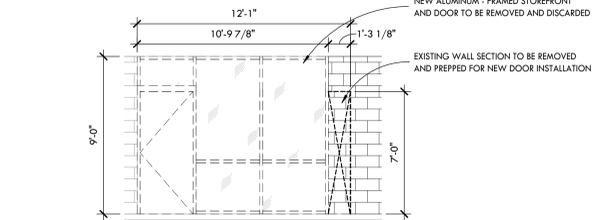
6 INTERIOR MAIN ENTRY DOOR ELEVATION DEMO
SCALE: 1/4" = 1'-0"



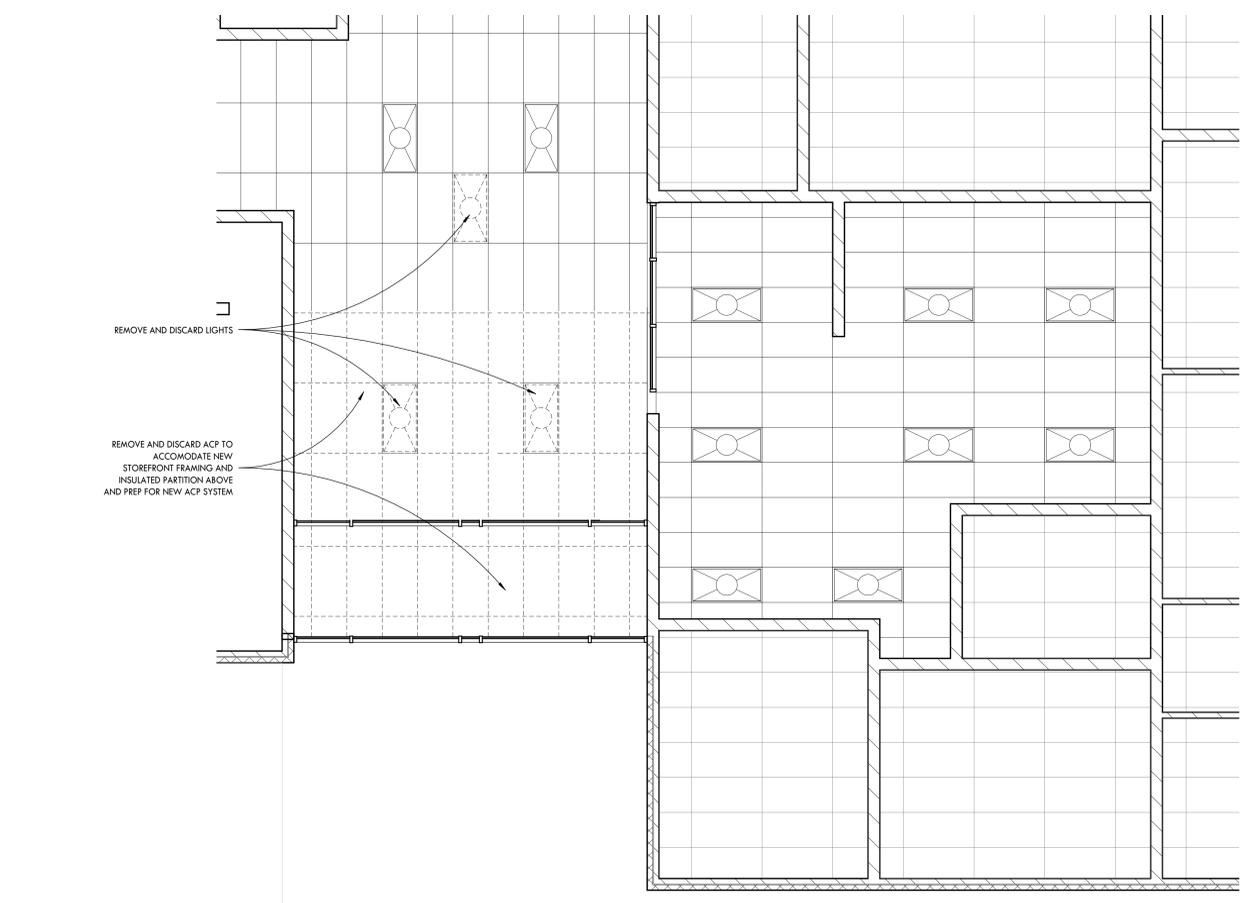
5 VESTIBULE SECURITY WINDOW ELEVATION DEMO
SCALE: 1/4" = 1'-0"



4 EXTERIOR MAIN ENTRY DOOR ELEVATION DEMO
SCALE: 1/4" = 1'-0"



3 MAIN OFFICE ELEVATION DEMO
SCALE: 1/4" = 1'-0"



2 HS 1ST FLOOR - MAIN ENTRY RCP ENLARGED DEMO
SCALE: 1/4" = 1'-0"

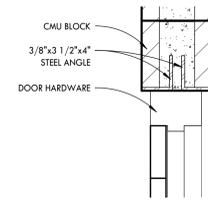


1 DEMO KEY PLAN
SCALE: 1/32" = 1'-0"

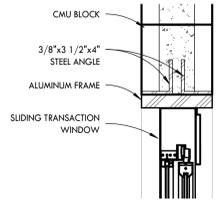
LEGEND - MATERIAL				
CODE	MATERIAL	MANUFACTURER	PRODUCT NO.	REMARKS
-W01	- WALK OFF CARPET TILE	- PATCRAFT	- PRADO MADULAR 10317	COLOR: OESIDIAN 00595
-CPT1	- CARPET TILE	- PATCRAFT	- FORMWORK 10518	COLOR: MORTAR 00700
				COLOR:

GLAZING

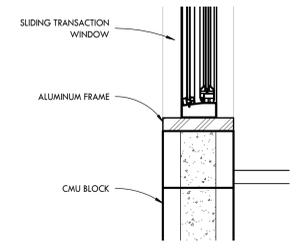
- GL-1 CLEAR TEMPERED LOW E INSULATING GLASS
- GL-2 1/4" CLEAR TEMPERED GLASS



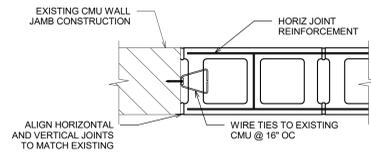
14 LINTEL DETAIL @ DOOR
SCALE: 1 1/2" = 1'-0"



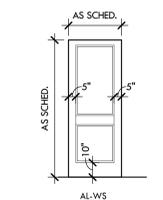
13 LINTEL DETAIL @ SLIDING TRANSACTION WINDOW
SCALE: 1 1/2" = 1'-0"



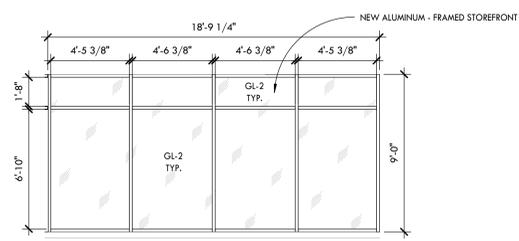
12 SILL DETAIL @ SLIDING TRANSACTION WINDOW
SCALE: 1 1/2" = 1'-0"



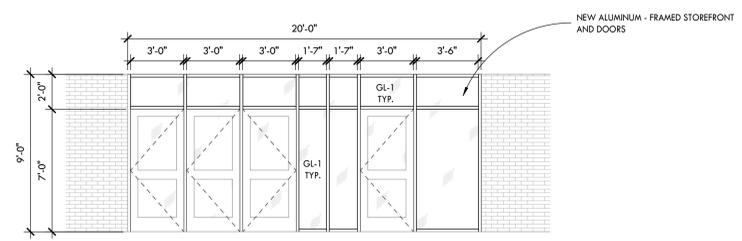
11 CMU WALL CONNECTION DETAIL @ EXISTING CMU WALL
SCALE: 1 1/2" = 1'-0"



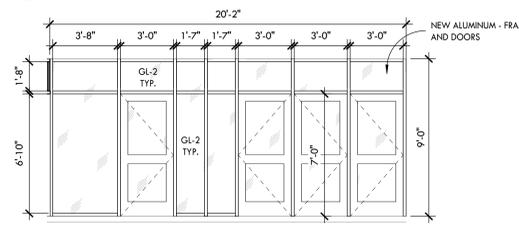
10 DOOR TYPES
SCALE: 1/4" = 1'-0"



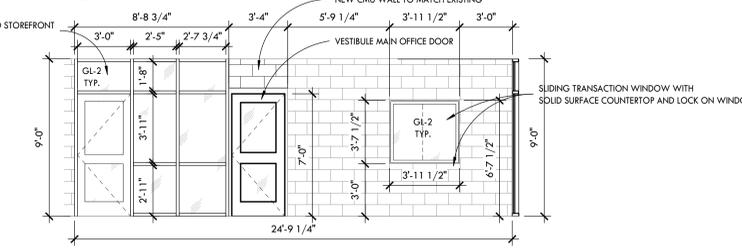
8 INTERIOR VESTIBULE FRAME ELEVATION
SCALE: 1/4" = 1'-0"



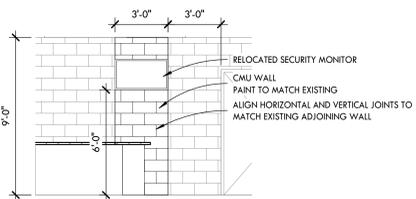
7 EXTERIOR MAIN ENTRY FRAME ELEVATION
SCALE: 1/4" = 1'-0"



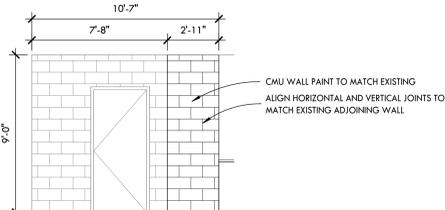
6 INTERIOR MAIN ENTRY FRAME ELEVATION
SCALE: 1/4" = 1'-0"



5 MAIN OFFICE ENTRY ELEVATION
SCALE: 1/4" = 1'-0"



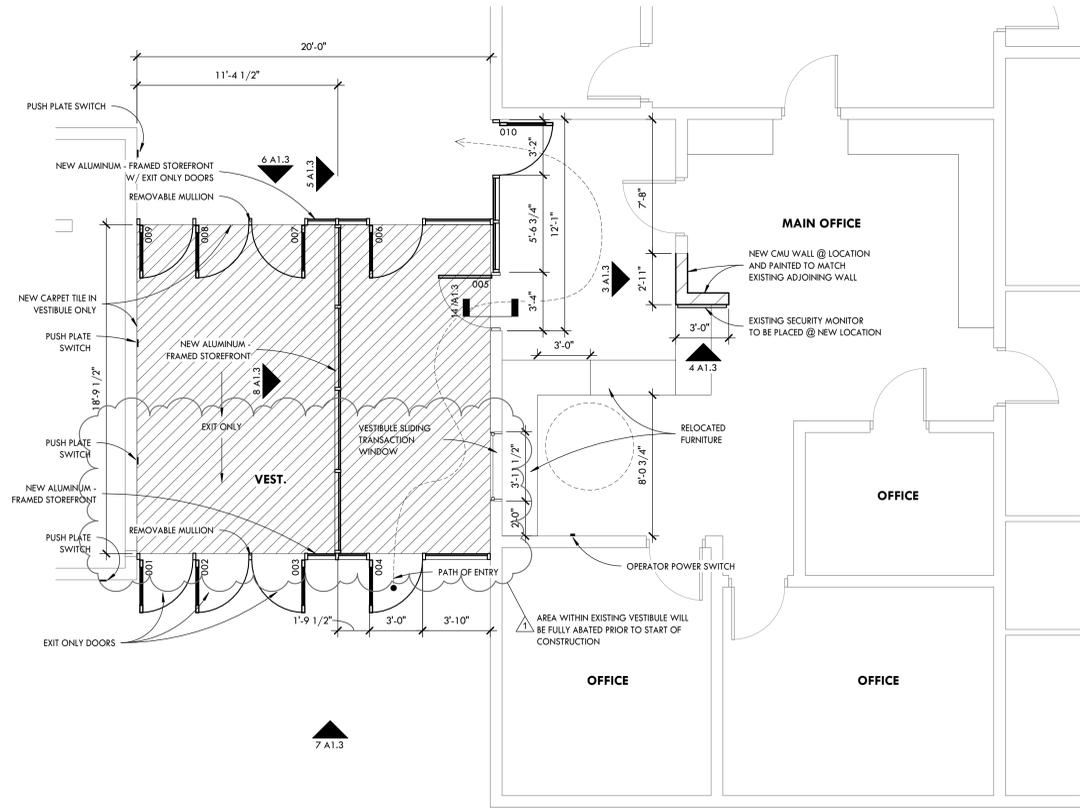
4 INTERIOR OFFICE CMU WALL ELEVATION
SCALE: 1/4" = 1'-0"



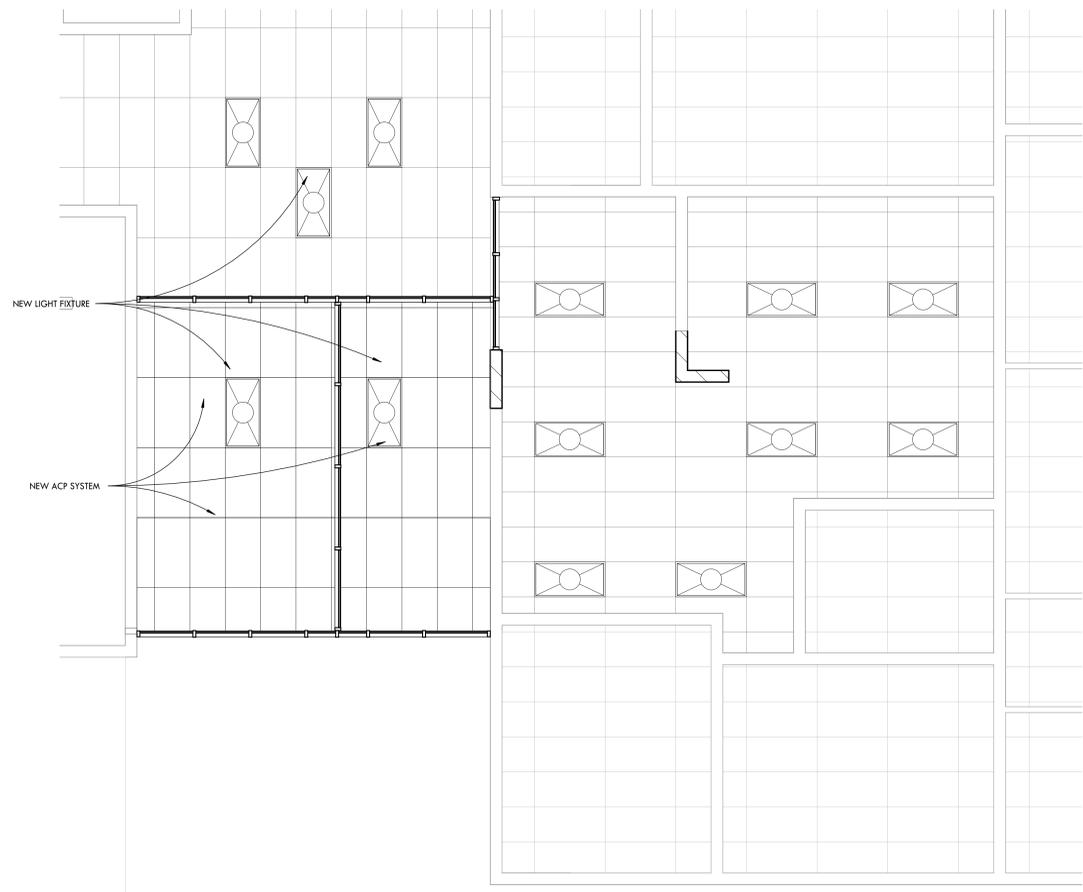
3 INTERIOR OFFICE CMU WALL ELEVATION
SCALE: 1/4" = 1'-0"



1 KEY PLAN
SCALE: 1/32" = 1'-0"



9 HS 1ST FLOOR - MAIN ENTRY ENLARGED PLAN
SCALE: 1/4" = 1'-0"



2 HS 1ST FLOOR - MAIN ENTRY RCP ENLARGED PLAN
SCALE: 1/4" = 1'-0"



DATE	ISSUED FOR:
	1 Revision 1
	ISSUED FOR REVISION 02/04/2026

DATE: 02.04.2026	PROJECT NUMBER: 2025-200	SHEET NUMBER: A1.3
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